

**FAÇADE GRANT (DIP)
APPLICATION FORM**

Applicant

Name of Business High Plains Bank

Contact Name Michelle Hovdesven

Address 600 Kimbark Street, Longmont, CO 80501

Telephone Work 303-921-3024 Home 303-921-3024

Email michelle@highplainsbank.com

Project Information

Building Address 385 Main Street, Longmont, CO 80501

Legal Description Lot 23 Block 63 Longmont OT

Year built 1901 Is this a historic property? Yes No

Is there a formal historic designation of the property? Yes No

Ownership High Plains Bank

Property Owner (if different from applicant). Please attach property owner permission document to application.

Contact Name n/a

Phone _____

Email _____

Mailing Address _____

Lease term (if applicable) _____ Lease expiration date _____

Description of Façade Project (include all work to be completed, even

those items not eligible in the Façade Grant, i.e. interior improvements, roofing, etc.)

Build a glass storefront and metal beam enclosure of the open air staircase leading to the second floor of 385 Main Street on the East/Main Street side. We will also resurface the stairs, stairwell area and add safety lights and air circulation mechanisms.

Briefly describe how your project meets the Goals and Strategies of the Downtown Longmont Master Plan of Development.

The upgraded building storefront aligns with the "placemaking" improvements outlined in the Master Plan. This will greatly enhance the visual appeal of this downtown structure and provide more safety for our employees and customers using that entry way.

Project Schedule (Attach time line for completion, if one exists)

Start Date Feb/March, 2024 End Date March/April, 2024

Source of Funds for the Project

a. <u>This fabulous grant</u>	\$ <u>10,000</u>
b. <u>Our funds</u>	\$ <u>161,820</u>

Total Cost of Project (include all improvement costs)	\$ <u>171,820</u>
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Total Cost of Façade Renovation	\$ <u>171,820</u>
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Façade Grant (DIP) Request (25% of Façade Renovation cost, \$10,000 maximum)	\$ <u>10,000</u>
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Total Grant Request should be based on bids you plan to use for your project. Applicant is not required to use low bid. If using higher bid, applicant should note on the bid the reason for choosing the high bid.

Applicant, by virtue of signature on this applicant document and upon

acceptance of funds provided by the Longmont Downtown Development Authority agrees to the terms and requirements of the Façade Grant (DIP).

Date 12/14/23

Signature *Michelle Anderson*

2024 Preliminary Budget



605 Weaver Park Road
Longmont, Co. 80501
303-776-7643 Fax 303-776-9598

Proposal Submitted To: High Palins Bank		Phone:	Date: 12/12/2023
Street 385 Main St.		Job Name: HPB 385 - Eastern Entry Atrium Enclosure	
City, State & Zip Longmont CO. 80501		Job Location	
Architect TM Architects	Date of Plans Sketches	Job Phone	

Work associated with enclosing the existing eastern entry atrium at 385 Main St. per TM Architect sketches and onsite clarifications.

Pricing Includes: See attached.

Exclusions: Hidden Conditions, Phone/Data/Computer Cabling and Hook Ups, Relocation of Owners Equipment.

We Propose: hereby to furnish material and labor -- complete in accordance with above specifications, for the sum of:


\$ 175,000

Payment to be made as follows:

Progress Payments

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specification involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized

Signature: 

This proposal may be withdrawn by us if not accepted within: 30 days

Acceptance of Proposal -- The above prices, specifications, and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Date of Acceptance: _____

Signature _____



605 Weaver Park Road
 Longmont, Co. 80501
 303-776-7643 Fax 303-776-9598

CONSTRUCTION DIVISION or COST ITEM	CONSTRUCTION BUDGET INFORMATION	
	12/12/2023	Description
General Requirements	14,200	
Permit Fees	5,000	
Supervision	5,000	
Concrete revisions	10,000	
Structural Steel	3,500	
Curtain Wall & Glazing System	76,000	
Existing Stairs - New Threads	22,500	
Mini-Split HVAC Unit	15,000	
Electrical & Lighting	5,000	
SUBTOTAL	156,200	
Contingency	0	
Performance / Payment Bond	0	
Contractors Fee	15,620	
TOTALS	171,820	

4155 Mulligan Street
Longmont CO, 80504

Meierallcountyglass@gmail.com
Phone: 720-438-9497



DATE: December 12th, 2023
PROPOSAL SUBMITTED TO: KCI Construction (ATTEN: Al Lenort)
ADDRESS: 385 Main Street, Longmont, CO 80501
PROJECT NAME: High Plains Bank Stairwell Glass & Glazing
EMAIL ADDRESS: Alenort@kciconst.com
PHONE NUMBER: 303-776-7643

- MEIER ALL COUNTY GLASS PROPOSES TO FURNISH AND INSTALL THE MATERIALS SHOWN BELOW. QUOTE PER WALK THRU ON-SITE.

CURTAIN WALL OPENINGS AT STAIRS

All exterior curtain wall framing is to be Manko 200x PT2 Series curtain wall framing with a 5 ½" Back member in a Dark Bronze Anodized Finish. All exterior framing will be glazed with 1" Overall High-performance tempered insulated glass units. All exterior curtain walls are to be sealed in Dow Corning Contractor Grade weatherproofing in a Dark Bronze Finish.

Framing to be as follows:

1- Opening APPROX. 146" x 180" Divided into (3) equal lites wide. Each lite to include (1) Horizontal in each frame APPROX. 94" from the bottom of the frame.

1- Opening APPROX. 146" x 77" on the right side and down to zero on the left to make a "Trap shaped" opening. This opening is to be divided into (3) equal lites wide

The above (2) openings are to be divided by 6" steel column furnished and installed by others. MEIER All County Glass to clad inside as well as exterior of steel column in 0.40 break metal in a dark Bronze finish.

ALL OTHER EXTERIOR GLASS AND GLAZING:

All exterior storefront framing will be Manko 2450 series 2" x 4 ½" center set anodized aluminum in a Dark Bronze finish. All new storefront framing will be glazed with 1" overall high-performance Low-E insulated glass units. All framing is to be sealed in Dow Corning's contractor grade weather proofing in a Dark Bronze Finish. All exterior framing is to be topped with a Head Receptor and sit directly into a sill pan for proper water drainage.

Exterior Framing To Be As Follows:

Below Stairs - (1) "Trap shaped" opening APPROX. 128" x 60" on the left side and down to zero on the right side. Trap opening to be divided into (3) equal lites wide. This opening is to be glazed with 1" overall Tempered "Lava Bronze" Spandrel insulated glass units.

Upper Windows - (2) Openings APPROX. 90" x 70". Each opening is to be divided into (2) Equal lites wide. Both openings to be glazed with 1" Overall tempered high-performance Low-E insulated glass units.

1ST Floor - (2) Openings APPROX. 90" x 158" Consisting of (1) 3'6" x 7'0" Storefront door with double transom door frame with (1) Sidelite frame. Sidelite framing to include (2) Horizontals. One at door header height and one APPROX. 127" off the finished floor. Sidelite frame to include 4" x 4 1/2" bottom sill per provided drawings.

- *Both exterior doors are to be Medium stile with standard 10" bottom rails. Doors are also to full-length concealed hinges with Rim panic hardware. Doors are to have standard 10" offset pull handles on the exterior and (1) standard 36" door sweep. A standard surface-mounted door closure is to be included for each door. Door Frame Jams are to be fabricated using Heavy Wall Storefront framing jam material to meet wind load for opening size.*

Project Notes

Man Lift Rental cost included in the price shown below

Current Lead time on "Custom sized" Storefront doors is 10-12 weeks per manufacture

Materials, Tax, Labor\$75,485.00

***Due to the market inflations the above price is valid for only 30 days ***

Respectfully Submitted By: Kenny and Chris Meier

This proposal is under the following terms and conditions

- ACG requires a minimum of a 50% deposit prior to ordering or installing any material. This deposit is non-refundable at the point of purchase of any ordered materials. If a credit card is used at the time of deposit, This card must remain on file until the completion of work. Credit card information shall be destroyed after the completion of this contract.
- **Balance is due within one business day of completion.** All balances not paid shall accommodate interest at the rate of 11% per month from the completion date until all sums are paid in full. Or by maximum legal rate whichever is more. ACG shall be entitled to all collection costs including court fees and attorney fees.
- ACG Craftsmanship is warranted for one year of the completion date, However, this excludes reusing any customer's materials. ACG is also not responsible for damage or breakage of those materials.
- All work shall be completed during our regular business hours.
- All pricing on this proposal is for all the above materials to be installed in one trip. If additional items are ordered to be installed outside of this proposal additional trip charges will be applied.
- ACG is not responsible for any final cleaning of the material installed.
- ACG is not responsible for damage to any furniture or window coverings that protrude from the workspace of the materials shown above. (THIS INCLUDES PLANTS OR GARDEN AREAS.)
- Due to the OSHA regulations in our state, our installers will not remove their work boots for any reason. However, we will wear booties and or use drop cloths to protect the floors in your home
- Painting and staining are excluded (IF APPLICABLE)
- Due to the lack of seals and framing on European shower doors, ACG shall not warranty any leakage that may occur after installation.
- ACG shall not be responsible for any damage to tile during installation of your shower door (THIS INCLUDES GLASS TILE)
- Wood support and backing are required for all wall-mount European shower enclosures. The cost of this blocking and installation is excluded.
- ACG requires all doors and taped miters to remain untouched for 24 hours prior to installation.
- All installed shower glass and or doors must not be used for at least 24 hours after installation.
- ACG shall not be responsible for any pre-existing damages; such as Wood rot, Tile damage, or items determined at the time of estimate.

ACCEPTED:

NAME: _____
(Printed)

SIGNATURE: _____

TITLE: _____

Project Name: _____

DATE: _____

Project Manager: _____

Distinctive Welding, Inc.
 700 West Willox Lane
 Fort Collins, CO 80524
 Tel. 970.482.2224
 distinctiveweldinginc.com



Krische Construction Inc
 385 Main Street
 Longmont CO 80501

CHANGE ORDER CUSTOMER QUOTATION NO. 8633

Quote No: 8633 CO. Job #5129
Date: 12/12/2023
Valid For: 30 Day(s)
Salesperson: Ben Adleman
Site: High Plains Bank
Site Address: 385 Main St.
 Longmont CO
Quote Name: Stair Enclosure Structural

Description

We propose to measure, draw, fabricate, prime, and install two HSS 6x4x1/4 beams as detailed in engineered drawings dated 10/24/2023.

Summary	
Stair Enclosure Structural	\$3,301.45
Sub-Total ex Tax	\$3,301.45
Tax	\$38.48
Total inc Tax	\$3,339.93

Thank you.	Sub-Total ex Tax	\$3,301.45
	Tax	\$38.48
	Total inc Tax	\$3,339.93

General Terms and Conditions

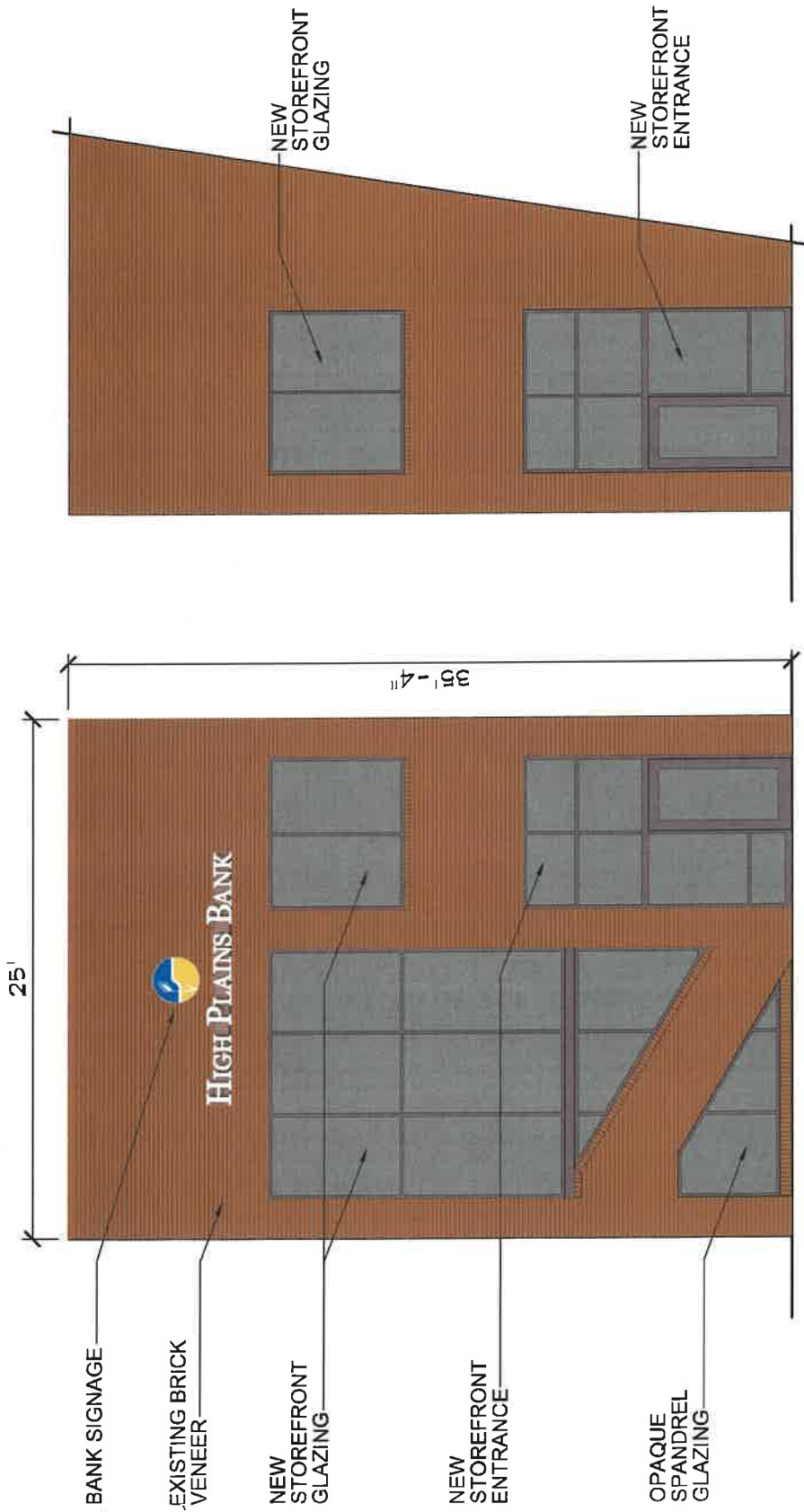
- 1) **Time for acceptance of agreement:** This agreement and general terms must be signed and returned to the contractor within 30 days of the date or contract will be deemed null and void. Acceptance by contractor of this agreement depends upon approval of customer by the credit department. The Agreement consists of both the contract and these general terms and conditions.
- 2) **Payment:** Deposit may be required prior to any work being completed or material ordered. All progress payments shall be due within 30 days from invoice date. Final payment shall be upon substantial completion and submittal of the final invoice. Any amount not paid when due shall bear interest from the due date until paid in full at 18%, or the maximum amount allowed by law.
- 3) **Warranties and limitation on liability:** Contractor grants the customer a one year warranty on workmanship. In the event of a claim of defective workmanship, the notice of the warranty claim must be submitted in writing and must describe the claim in sufficient detail to determine the nature of the problem(s), and must be signed by the customer.
- 4) **Change orders:** Any extra work which is requested or required due to the condition of the building or building code changes shall be performed only after a written change order, "Addendum", is signed by the customer upon a contractor's change order form, and delivered to contractor accompanied by full payment for the change order if applicable. A change order may increase or decrease the price, provided for more or less time to complete work, for more or less materials or labor and other clauses.
- 5) **Work funded by insurance payments:** In the event the work is to be funded from insurance proceeds, the insurance company and the contractor shall agree upon the total price. Customer authorizes the contractor to negotiate directly with the insurance company. Customer authorizes the insurance company to pay contractor directly for all work performed/provided for herein. If the insurer refuses to fund necessary work, contractor may terminate the agreement. Homeowner is responsible for paying claim deductible to contractor.
- 6) **Customers covenant noninterference:** Customer shall not attempt to direct workers on the site, exclude them from the site, demand work from them, remove the permit from the site, or interfere in any way with the contractor's work.
- 7) **Customers required insurance:** Customer shall carry homeowners insurance in the full replacement value of all improvements on the property and public liability insurance.
- 8) **Contractors required insurance:** Contractor shall carry insurance required by law or a contractor.
- 9) **Excess Materials:** In order to insure there are enough materials to do the work(s), contractor may order more materials than may be necessary to complete said work(s). Any excess materials will not result in a change of the agreed upon contract price. All materials remaining after completion of the work shall belong to Distinctive Welding, Inc.
- 10) **Default:** In the event that either party defaults in performing any covenant hereof, the non-defaulting party shall deliver to the defaulting party a dated "notice of default," specifying the default and requesting the correction thereof. In the event it is not corrected within ten(10) days after receipt of said notice, the non-defaulting party shall have all remedies at law and in equity for said default. In addition to any other remedy for default provided for herein or at Colorado law. Contractor shall have the right, but not the obligation to suspend or terminate its work(s), to retain all deposits then held and to peacefully repossess all materials previously delivered or installed, for which payment has not been made in full, to remove its equipment from the job site and terminate this agreement.
- 11) **Notices:** Any notice shall be sufficient if delivered to the address of the party given in the agreement, by hand or U.S. mail.
- 12) **Assignment:** Neither this agreement nor any warranty granted herein is assignable.
- 13) **Act of God and delays:** In the event the completion of work is prevented or delayed due to damage or destruction of the building, fire, accident, vandalism, earth movement, hurricane, tornado, windstorm, theft, labor strikes, warfare, material shortage, delay of any governmental agency in issuing any required permit or certificate, or in performing inspections, litigation, or any act of God, then the completion of work shall be delayed until a later date and contractor and customer shall sign a change order reflecting the same. If customer declines to sign the change order then this agreement may be terminated by contractor where upon all sums then due to contractor for work(s) completed shall be immediately due and payable to contractor.
- 14) **Time is of the essence for this agreement:** Upon the receiving of the first check the work specified in this contract will be put in to production as fast as possible.
- 15) **Effective date of this agreement:** this agreement becomes effective when signed and applicable terms such as insurance company approval and/or deposit are met.
- 16) **Governing law, venue, waiver of the jury trial and attorney fees:** This agreement is to be governed by the law of Colorado. Venue for any action other than a lien foreclosure may at contractor's option lie in its home county. The parties intentionally waive the right of a jury trial, in any litigation arising under this agreement; the prevailing party shall recover its attorney fees and costs.
- 17) **Entire agreement: No prior representation: Amendment:** This is the entire agreement upon the contractor and customer. There is no representation past or present, by contractor or any person acting for contractor, which does not appear herein. This agreement may not be amended except by a written change order or amendment executed and paid for as provided herein.
- 18) **Severability:** Any remaining provisions hereof shall remain in full force and effect.

Acceptance of the contract constitutes agreement to these general terms and conditions

Signature _____

Date: _____

Print Name _____



PARTIAL NORTH ELEVATION
SCALE: 3/8" = 1'-0"

EAST ELEVATION
SCALE: 3/8" = 1'-0"

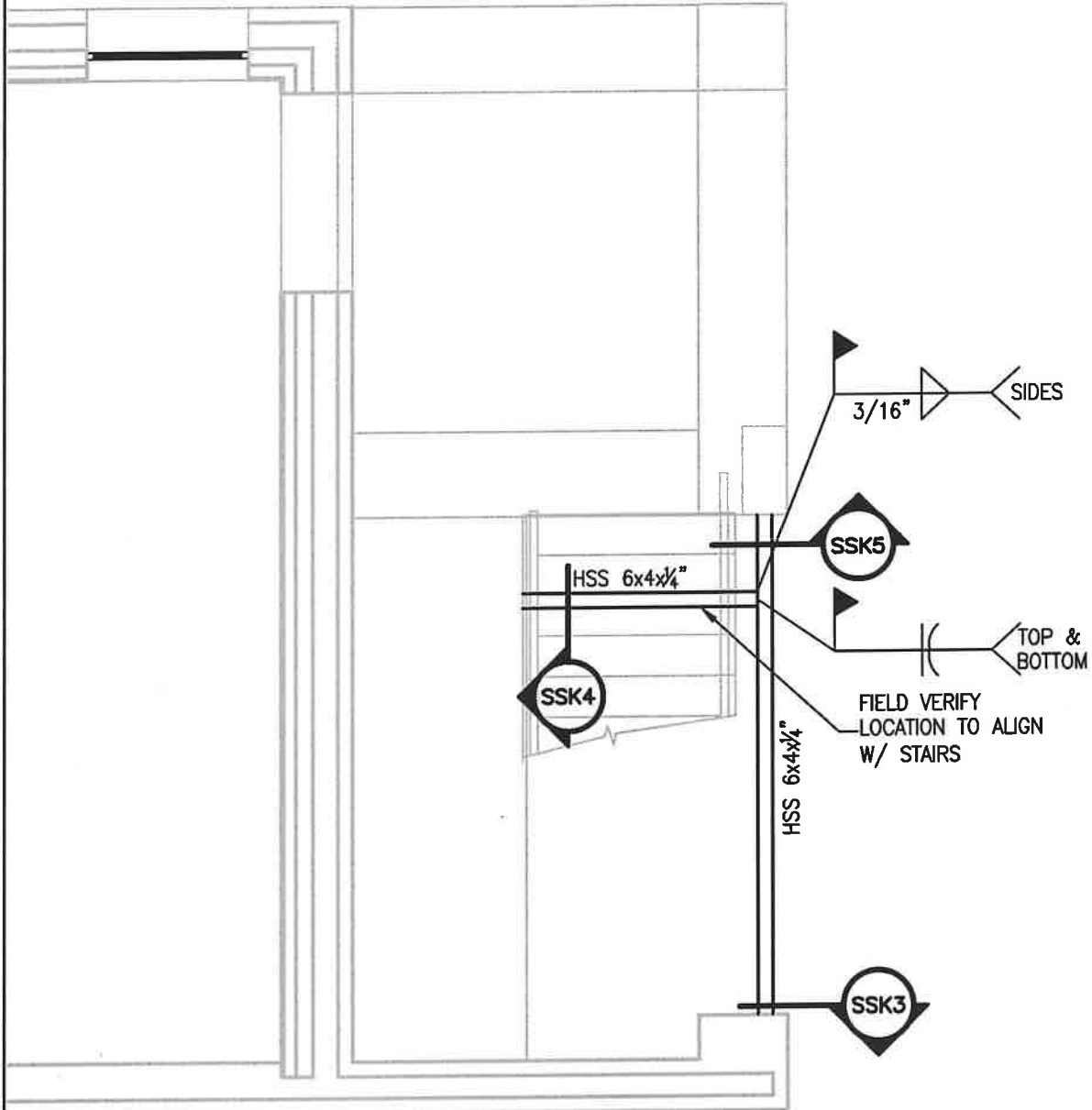
HIGH PLAINS BANK - FACADE RENOVATION
385 MAIN STREET, LONGMONT, CO 80501

LDDA GRANT APPLICATION EXHIBIT



THOMAS MOORE ARCHITECTS
1303 LONGSPEAK AVENUE, LONGMONT, CO 80501
PHONE: 303.772.2553

SSK2



HIGH PLAINS BANK
LONGMONT, CO
PROJECT No. 223042
OCTOBER 24, 2023

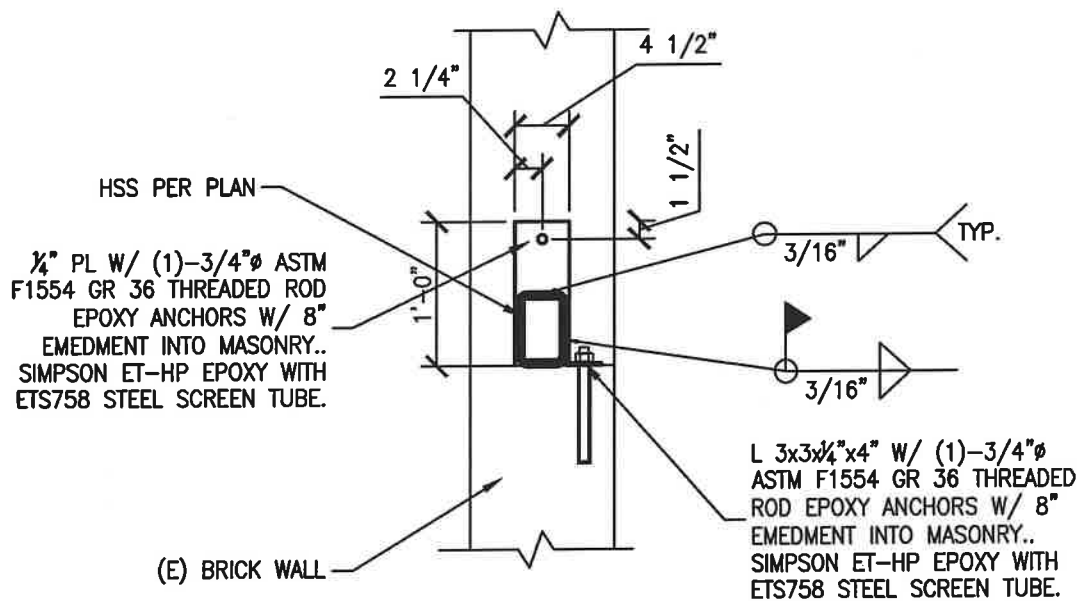
ENTRY ENCLOSURE DETAIL



WBS&S
STRUCTURAL ENGINEERS

4730 SOUTH COLLEGE #201
FORT COLLINS, CO 80525
PHONE (970) 225-2422
FAX (970) 225-2622

SSK3



DETAIL

3/4" = 1'-0"



HIGH PLAINS BANK
LONGMONT, CO
PROJECT No. 223042
OCTOBER 24, 2023

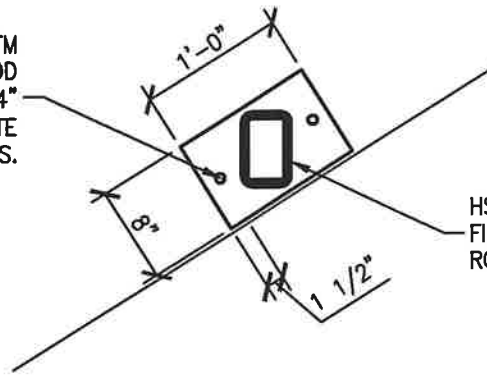
ENTRY ENCLOSURE DETAIL

WEEKS
& ASSOCIATES
STRUCTURAL ENGINEERS

4730 SOUTH COLLEGE #201
FORT COLLINS, CO 80525
PHONE (970) 225-2422
FAX (970) 225-2622

SSK4

1/4" PL W/ (2)-3/4"Ø ASTM
F1554 GR 36 THREADED ROD
EPOXY ANCHORS W/ 4"
EMEDMENT INTO CONCRETE
STAIRS.



HSS PER PLAN
FIELD VERIFY LOCATION AND
ROTATION ANGLE OF END PLATE

SSK4 DETAIL
3/4" = 1'-0"

HIGH PLAINS BANK
LONGMONT, CO
PROJECT No. 223042
OCTOBER 24, 2023

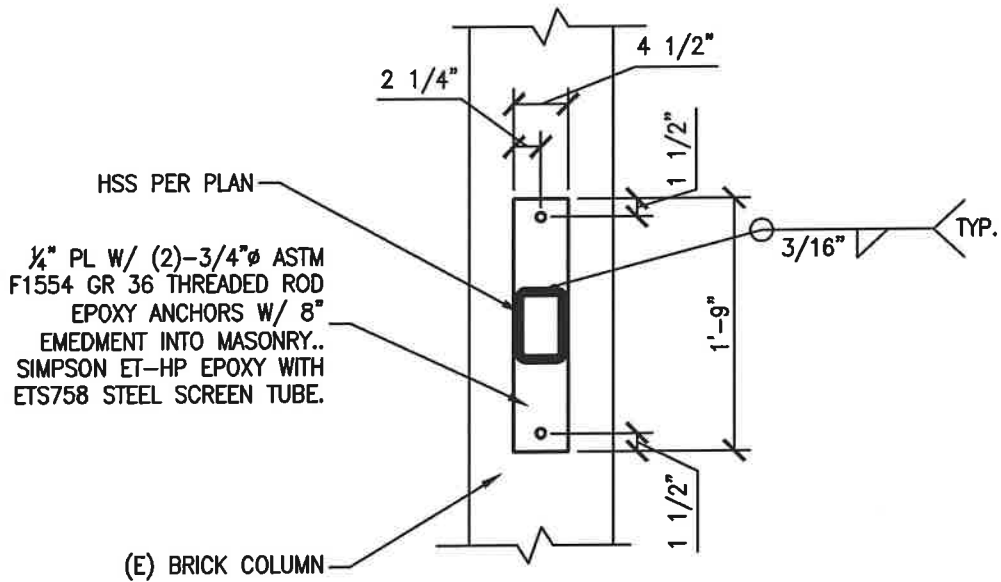
ENTRY ENCLOSURE DETAIL



**WORKS
& ASSOCIATES**
STRUCTURAL ENGINEERS

4730 SOUTH COLLEGE #201
FORT COLLINS, CO 80525
PHONE (970) 225-2422
FAX (970) 225-2622

SSK5



SSK5

DETAIL

$\frac{3}{4}$ " = 1'-0"

HIGH PLAINS BANK
LONGMONT, CO
PROJECT No. 223042
OCTOBER 24, 2023

ENTRY ENCLOSURE DETAIL



WOODS
& ASSOCIATES
STRUCTURAL ENGINEERS

4730 SOUTH COLLEGE #201
FORT COLLINS, CO 80525
PHONE (970) 225-2422
FAX (970) 225-2622