

JUNIPER GOODS - TENANT IMPROVEMENT

ARCHITECT



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CONSULTANT

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NARRATIVE

CONVERSION OF A 2,157 SF SINGLE STORY BRICK MASONRY OFFICE BUILDING TO A-2 USE. USES WILL INCLUDE COFFEE BAR, SEATING AREA, RETAIL SPACE AND WINE BAR.



**Juniper Goods
 Tenant Improvement**
 659 4th Ave, Longmont, CO 80501

DATE	08-13-2024
DRAWN BY	SP
CHECKED BY	TLS

FOR CONSTRUCTION	06-20-2024
REV 1 - LONGMONT COMMENTS	08-13-2024



PROJECT TEAM

<u>BUILDING OWNER</u>	<u>TENANT</u>	<u>ARCHITECT</u>	<u>DESIGN CONSULTANT</u>	<u>CONTRACTOR</u>
OWNER: CONTACT: GREELEY SACHS E: greeleysachs@gmail.com P:	EMILY LUEBCKE JUNIPER GOODS E: emily@junipergoods.co P: 720-201-8078	THEODORE SCHULTZ ARCHITECT, LLC 863 SANTA FE DR DENVER, CO 80204 CONTACT: TED SCHULTZ, AIA E: ted@ttsarchitect.com P: (303) 875-8719	STEPHEN PINSONNEAULT 863 SANTA FE DR DENVER, CO 80204 CONTACT: E: stephen.pinsonneault@gmail.com	THE RESTORATION UNION CONTACT: JUSTIN BOWSER E: info@therestorationunion.com P: 573.673.1093

COVER SHEET

A000

SCALE

PROJECT INDEX

- A000 COVER SHEET
- A100 EXISTING & DEMO PLAN
- A101 LIFE SAFETY & EGRESS PLAN
- A102 FLOOR PLAN
- A103 RESTROOM FLOOR PLAN & ELEVATIONS
- A104 LIGHTING, POWER, HVAC LOCATION PLAN

LOT DESCRIPTION

5,681 SF ZONE LOT
 2,157 GROSS SF TENANT SPACE
 ACREAGE: +/- 0.130

LEGAL DESCRIPTION:
 PT OF LOTS 1-4 & ALL OF LOT 5, BLOCK 63, LONGMONT
 SE 1/4 SECTION 3, T2N, R69W OF THE 6TH P.M.
 CITY OF LONGMONT, COUNTY OF BOULDER, STATE OF COLORADO

ZONING

MU-D ZONE DISTRICT MIXED-USE DOWNTOWN
 RESTAURANT (COFFEE SHOP) USE

ARCHITECT

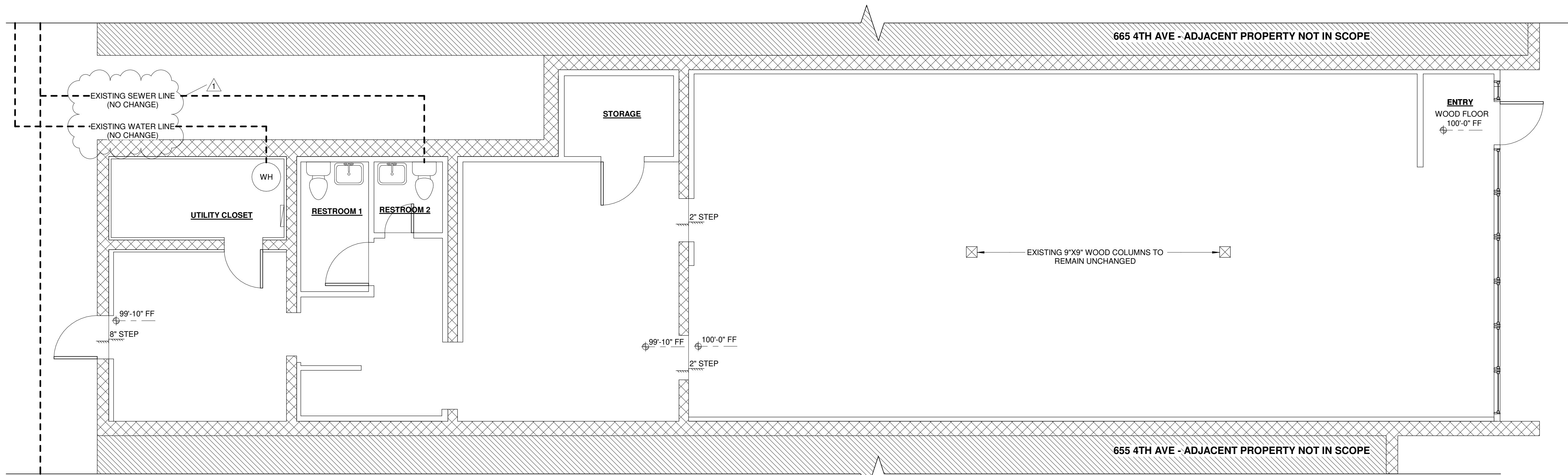
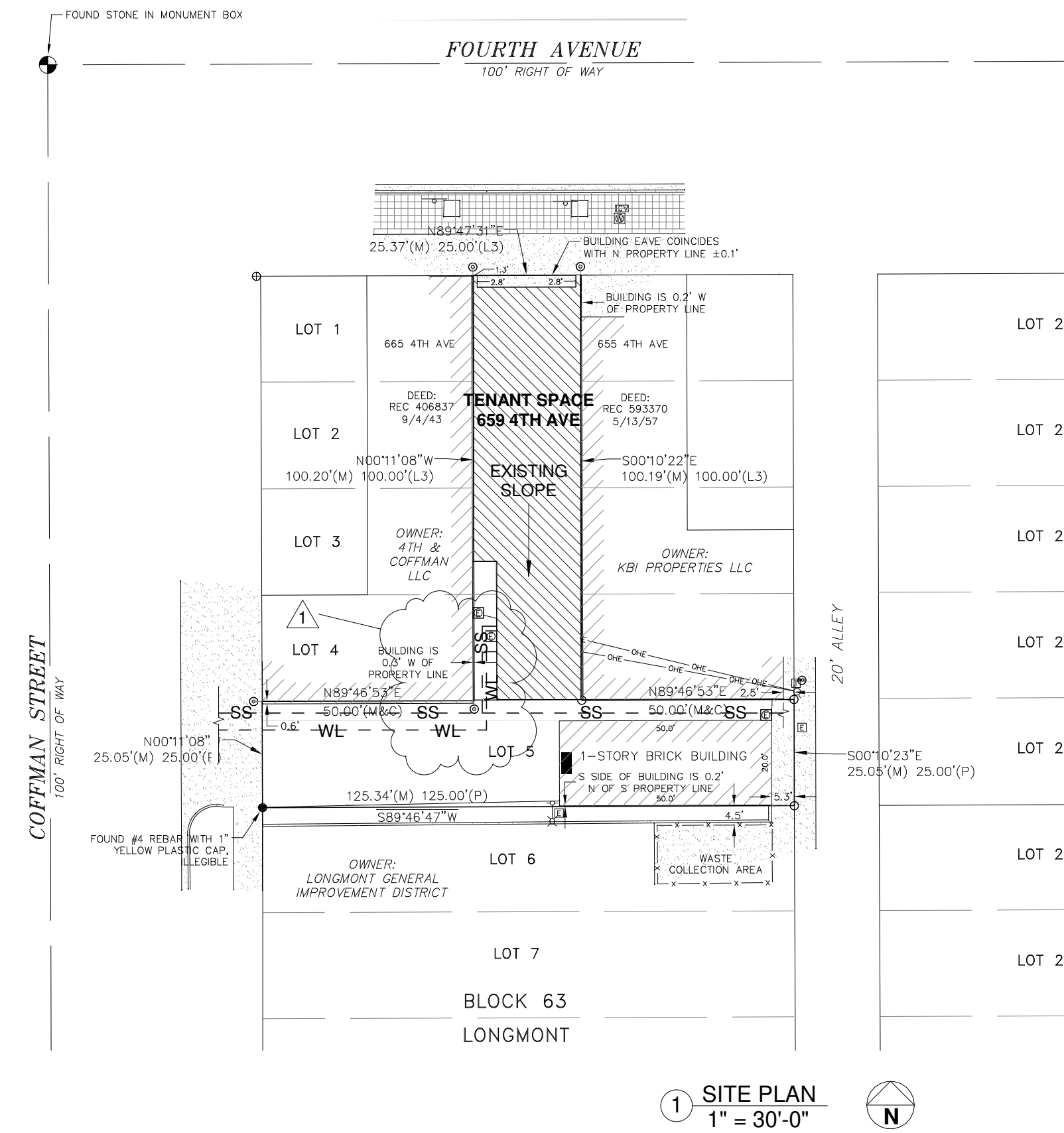


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2 EXISTING FLOOR PLAN
 1/4" = 1'-0" ACTUAL NORTH PLAN NORTH

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**EXISTING
 PLAN & SITE
 PLAN**

A100

SCALE As indicated



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LIFE SAFETY PLAN LEGEND

- EXISTING EXTERIOR WALL
- EXISTING PARTITION WALL OR FURRED WALL

OCCUPANCY SF IBC TABLE 1004.1.2

TYPE OF OCCUPANCY	TOTAL AREA (SF)
NET FLOOR AREA EXCLUSIONS: CORRIDORS, STAIRWAYS, INTERIOR WALLS, TOILET ROOMS & FIXED ELEMENTS	275 SF
MIXED RETAIL/SEATING AREA	1,078 SF
STORAGE	110 SF
SERVICE AREA	266 SF
ASSEMBLY: UNCONCENTRATED TABLES & CHAIRS	265 SF

**TOTAL INTERIOR OCCUPANCY BY AGREEMENT
BETWEEN OWNER AND FIRE MARSHAL: 49 OCC. MAX**



BUILDING CODE INFORMATION

Adopted Building Codes

- 2021 International Building Code
- 2021 International Existing Building Code
- 2021 International Mechanical Code
- 2021 International Plumbing Code
- 2021 International Fuel Gas Code
- 2021 International Energy Conservation Code
- 2021 International Fire Code
- 2023 National Electrical Code

REGULATORY AGENCY:
CITY OF LONGMONT

OCCUPANCY:

B OCCUPANCY BY AGREEMENT BETWEEN OWNER AND THE FIRE MARSHAL TO LIMIT THE MAXIMUM OCCUPANCY TO 49 THROUGHOUT THE ENTIRE ESTABLISHMENT

CONSTRUCTION TYPE:

- III-B, NOT SPRINKLERED
- REQUIRED SEPARATION: 2 HOUR EXISTING EXTERIOR BRICK MASONRY WALLS

- NO SPRINKLERS REQUIRED: A-2 OCCUPANCY <9,500 SF: NO SPRINKLERS EXISTING OR TO BE PROVIDED PER TABLE 506.2

- ALLOWABLE BUILDING HEIGHT AND STORIES: 55', 2 STORIES
- ACTUAL BUILDING HEIGHT AND STORIES: 16'-10", 1 STORY
- ALLOWABLE SQUARE FOOTAGE: 9,500 SF
- ACTUAL SQUARE FOOTAGE: 2,157 SF

EGRESS

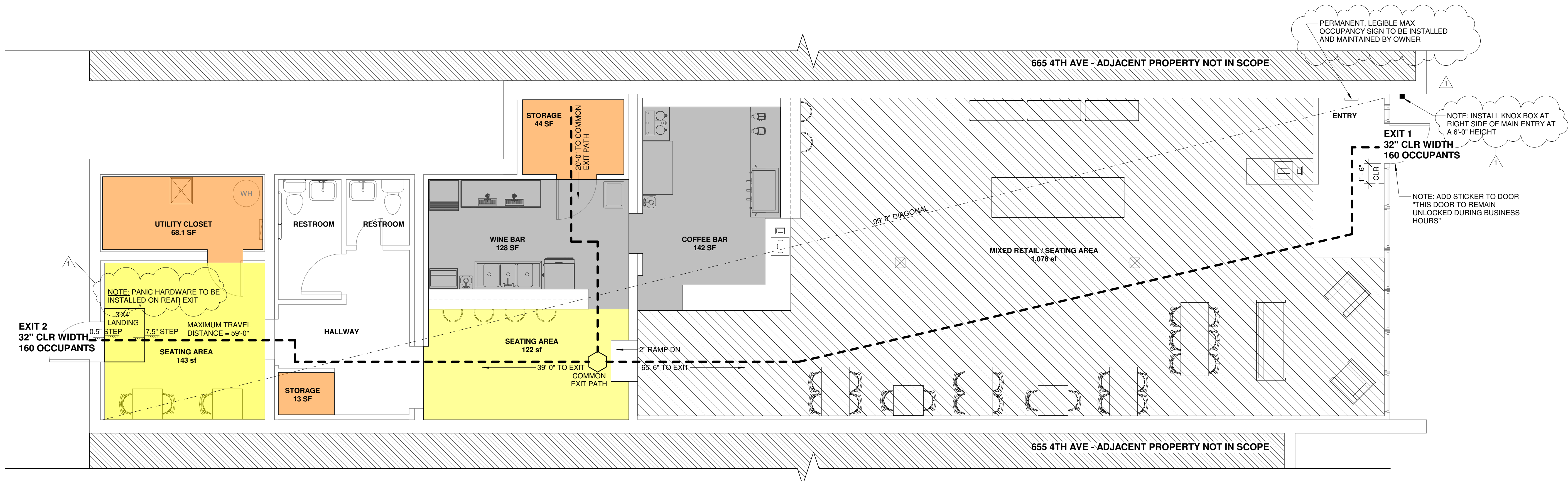
- (2) EXITS REQUIRED
- (2) EXITS PROVIDED

PLUMBING FIXTURES

- FOR A-2 OCCUPANCY, 40 OF EACH SEX = 1 WC AT 1:75 AND LAV EACH AT 1:200 OCCS
- PUBLIC ACCESS TO TWO UNISEX SINGLE OCCUPANT RESTROOMS PROVIDED.
- IBC 2902: ONE SERVICE SINK IS REQUIRED AND PROVIDED. WATER WILL BE PROVIDED FOR FREE AT THE COUNTER OF THE COFFEE BAR

FINISHES

- ALL INTERIOR WALL AND CEILING MATERIALS SHALL BE A MINIMUM CLASS 'C' RATING: FLAME SPREAD INDEX 76-200; SMOKE DEVELOPED INDEX 0-450 IN ACCORDANCE WITH ASTM E84 OR UL 723 OR BETTER



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LIFE SAFETY & EGRESS PLAN

A101

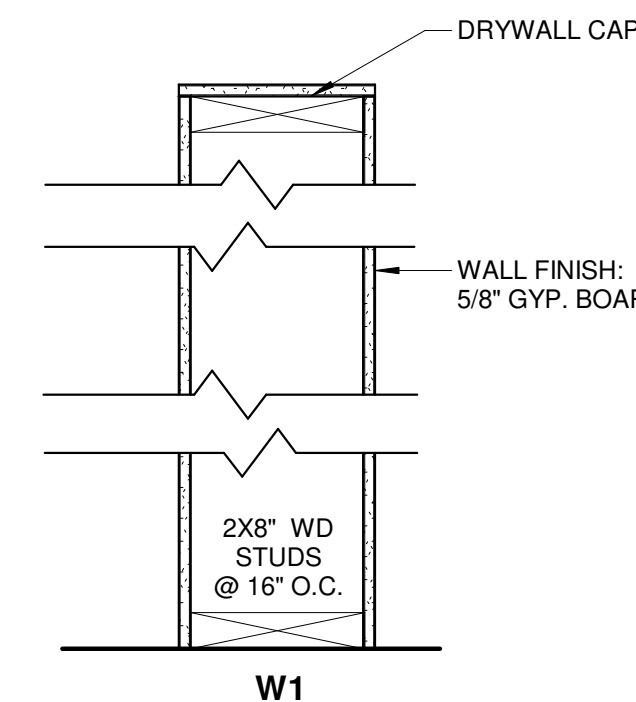
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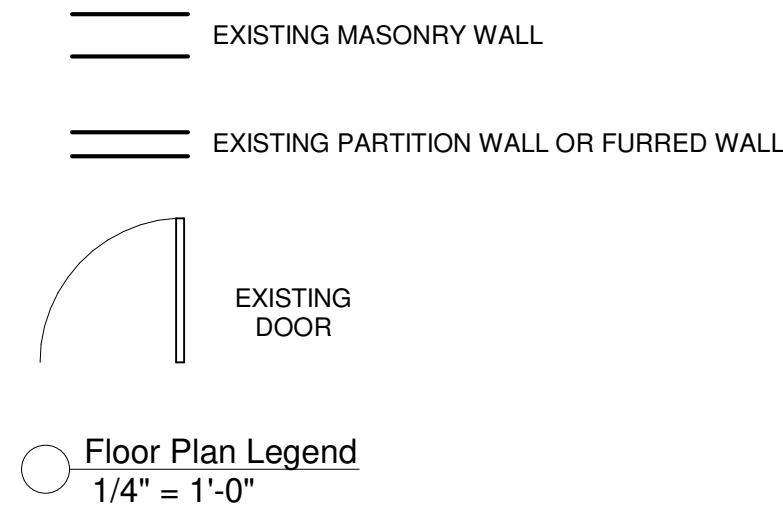
KITCHEN EQUIPMENT SCHEDULE			NSF APPROVED	NEW/USED	PLUMBING REQ
KEY	ITEM				
NEW A	COFFEE GRINDER		(NEW)	(N)	
NEW B	2-DOOR UNDERCOUNTER FRIDGE		(NEW)	(N)	
NEW C	ESPRESSO MACHINE		(NEW)	(Y)	
NEW D	POINT OF SALES MACHINE		(NEW)	(N)	
NEW E	COFFEE DOUBLE BREWER		(NEW)	(N)	
NEW F	HAND SINK		(NEW)	(Y)	
NEW G	BAR CART		(NEW)	(N)	
NEW H	GLASS WASHER		(NEW)	(Y)	
NEW I	3 DOOR REFRIGERATOR		(NEW)	(N)	
NEW J	3-COMPARTMENT SINK		(NEW)	(Y)	
NEW K	ICE MACHINE		(NEW)	(Y)	
NEW L	BAR ICE BIN		(NEW)	(N)	
NEW M	MOP SINK		(NEW)	(Y)	

ROOM FINISH SCHEDULE								
ROOM NAME	FLOORS		WALL FINISHES				CEILING	
	FINISH MATERIAL	TYPE OF BASE	NORTH	SOUTH	EAST	WEST	MATERIAL	FINISH
COFFEE BAR	WOOD	RUBBER COVE					METAL	
WINE BAR	CONCRETE	RUBBER COVE						
RESTROOM 1	VINYL	RUBBER COVE	FRP	FRP	FRP	FRP	DRYWALL	PAINT
RESTROOM 2	VINYL	RUBBER COVE	FRP	FRP	FRP	FRP	DRYWALL	PAINT



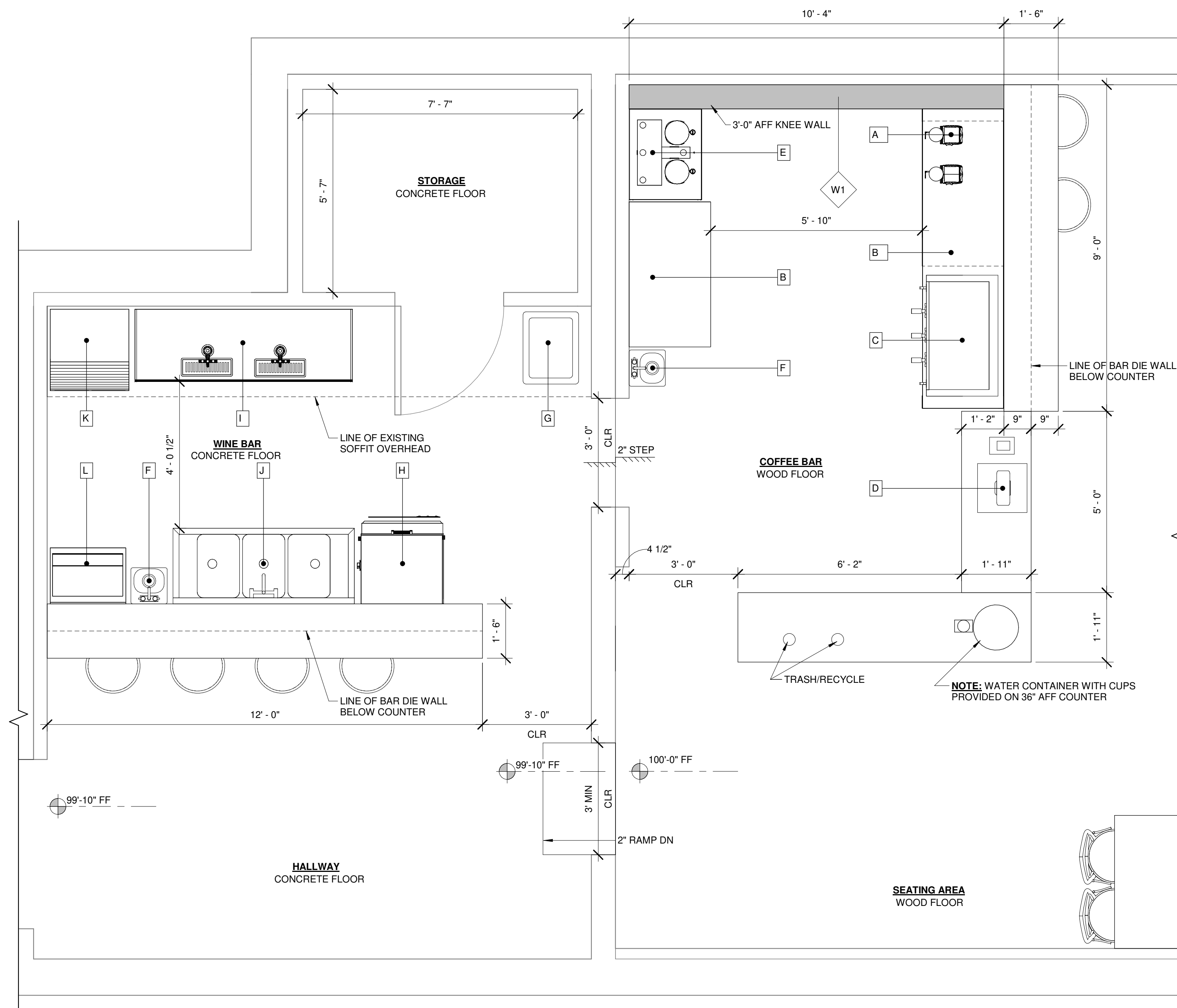
W1
Wall Type Legend
1 1/2" = 1'-0"

FLOOR PLAN LEGEND

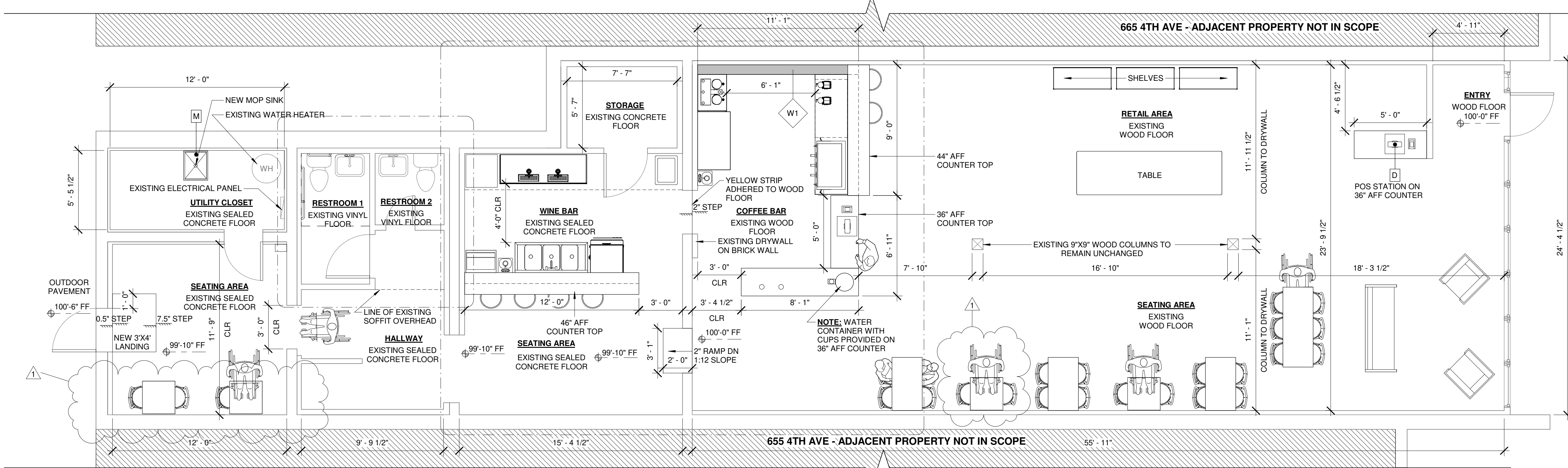


NOTE: 2021 IEBC section 306.7 Alterations.

A facility that is altered shall comply with the applicable provisions in Chapter 11 of the International Building Code, ICC A117.1 and the provisions of Sections 306.7.1 through 306.7.16, unless technically infeasible. Where compliance with this section is technically infeasible, the alteration shall provide access to the maximum extent technically feasible.



2 COFFEE & WINE BAR EQUIP. LAYOUT
1/2" = 1'-0"



1 FLOOR PLAN
1/4" = 1'-0"

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FLOOR PLAN
&
EQUIPMENT
PLAN

A102

SCALE As indicated



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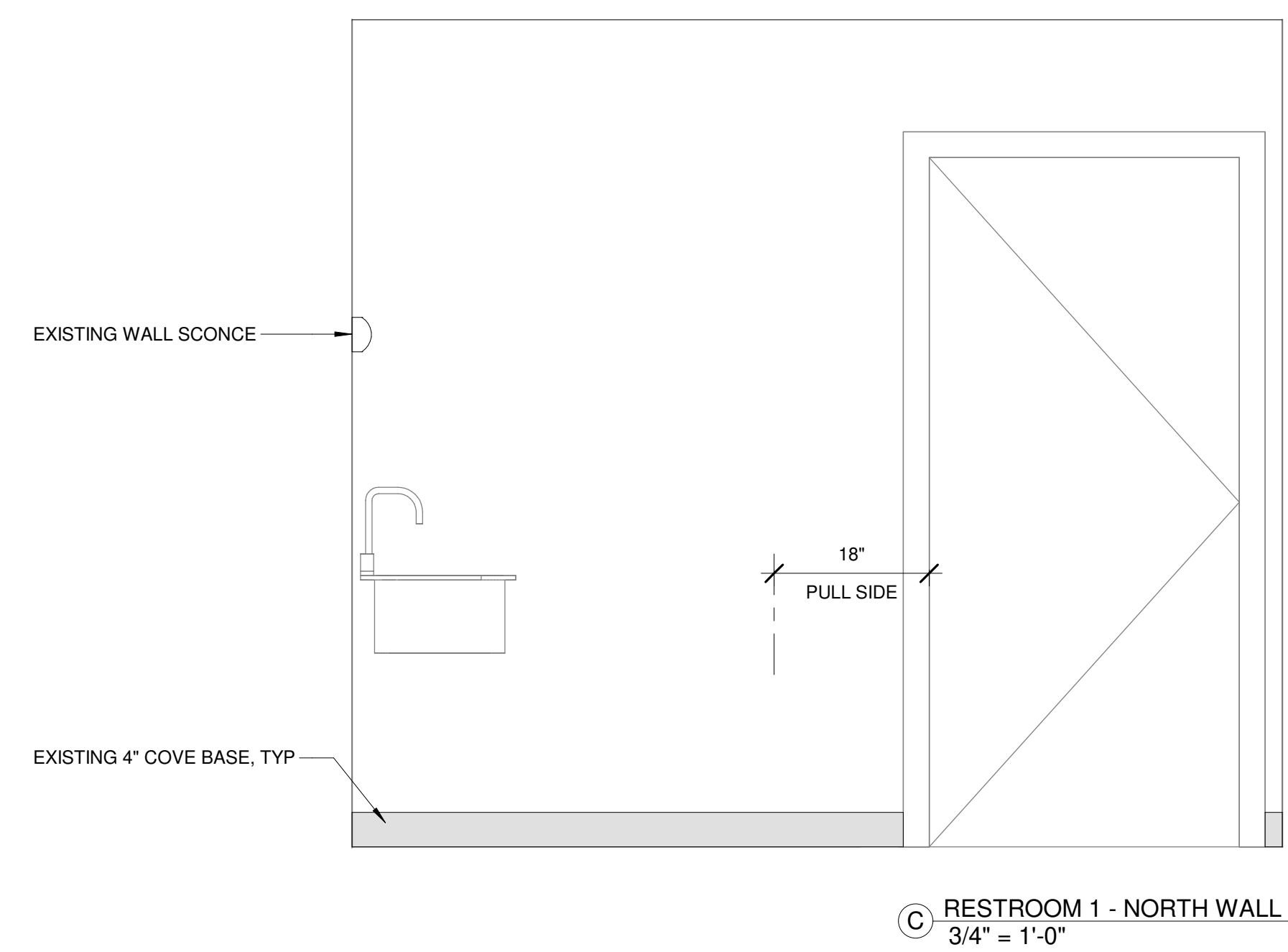
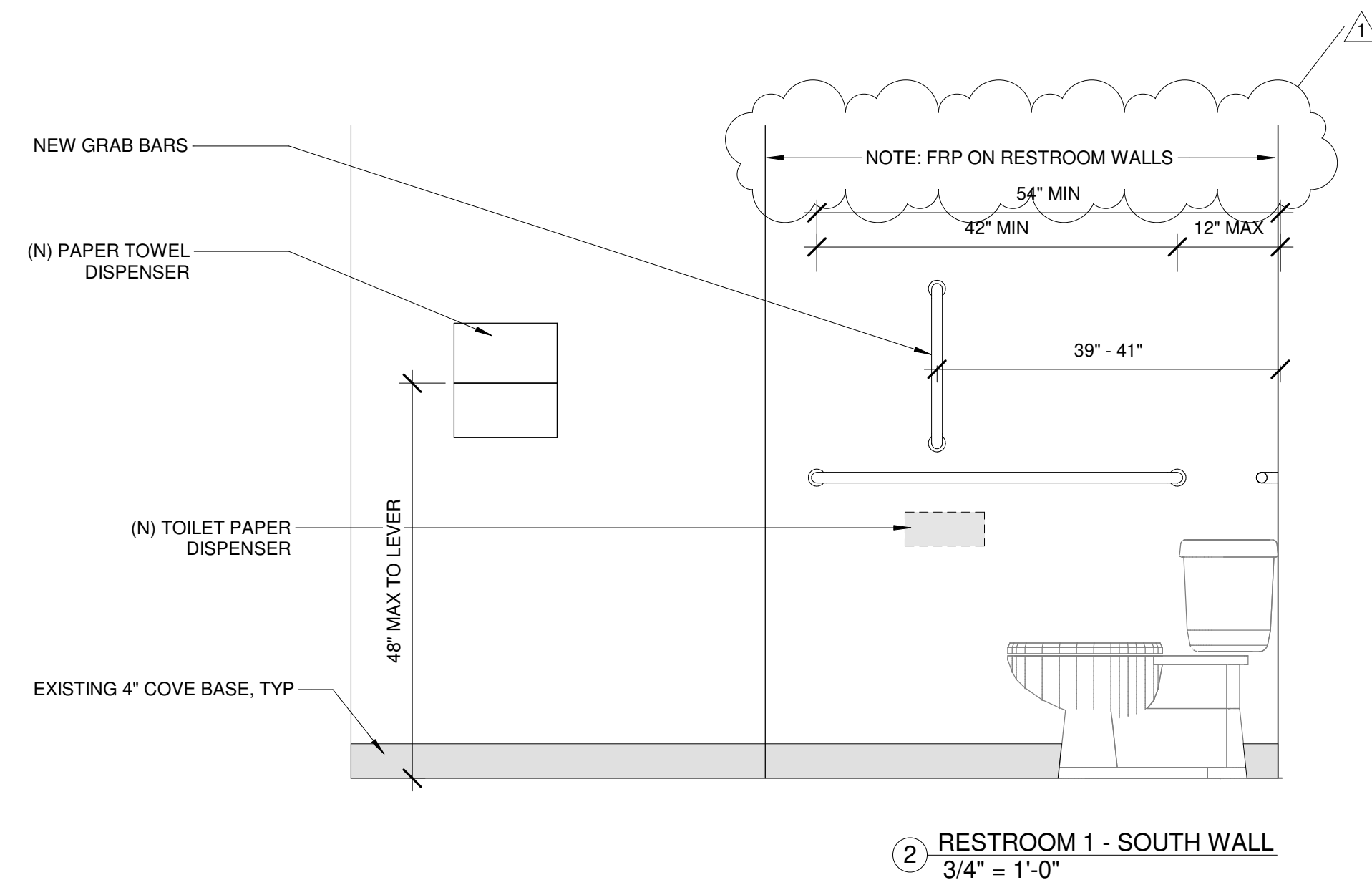
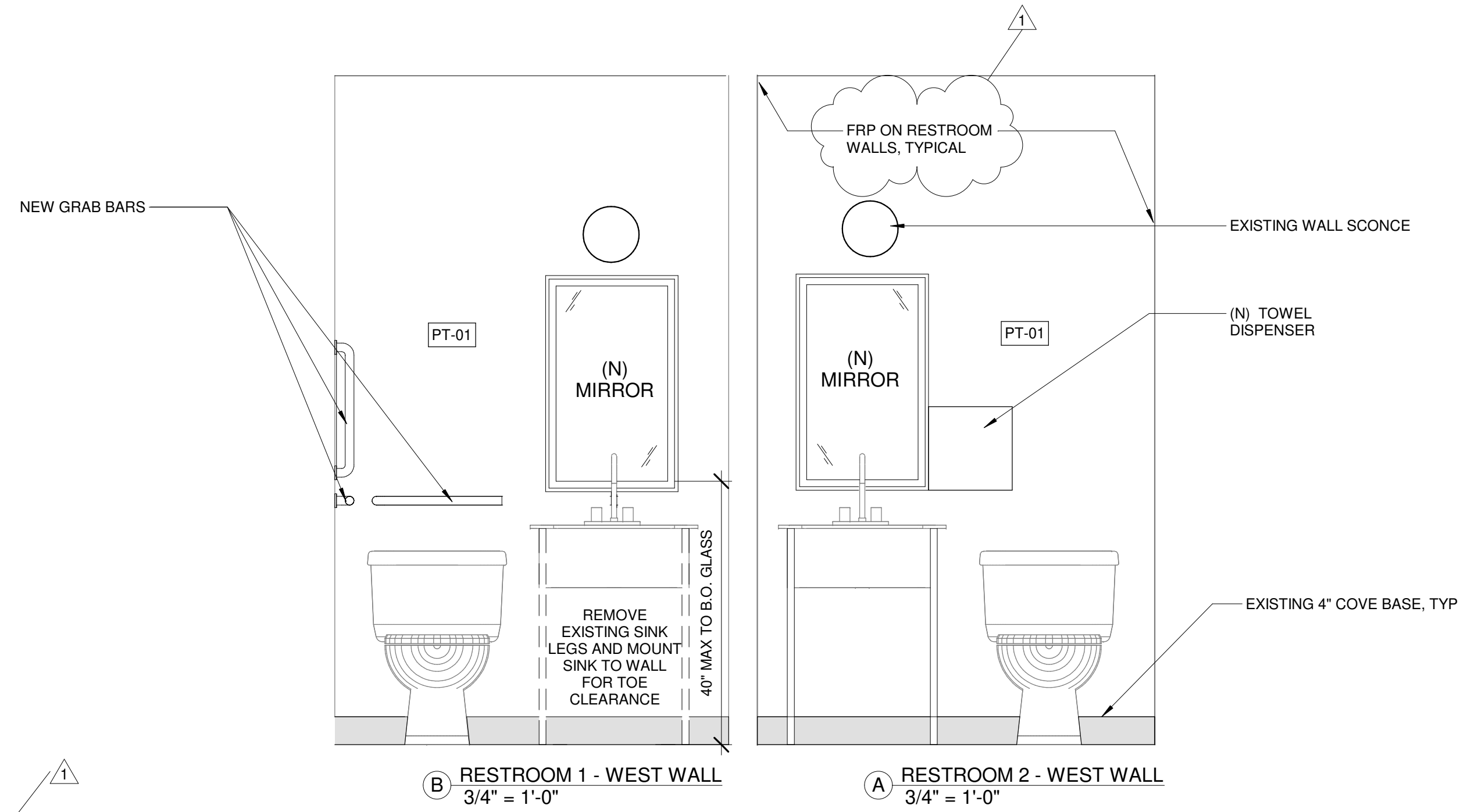
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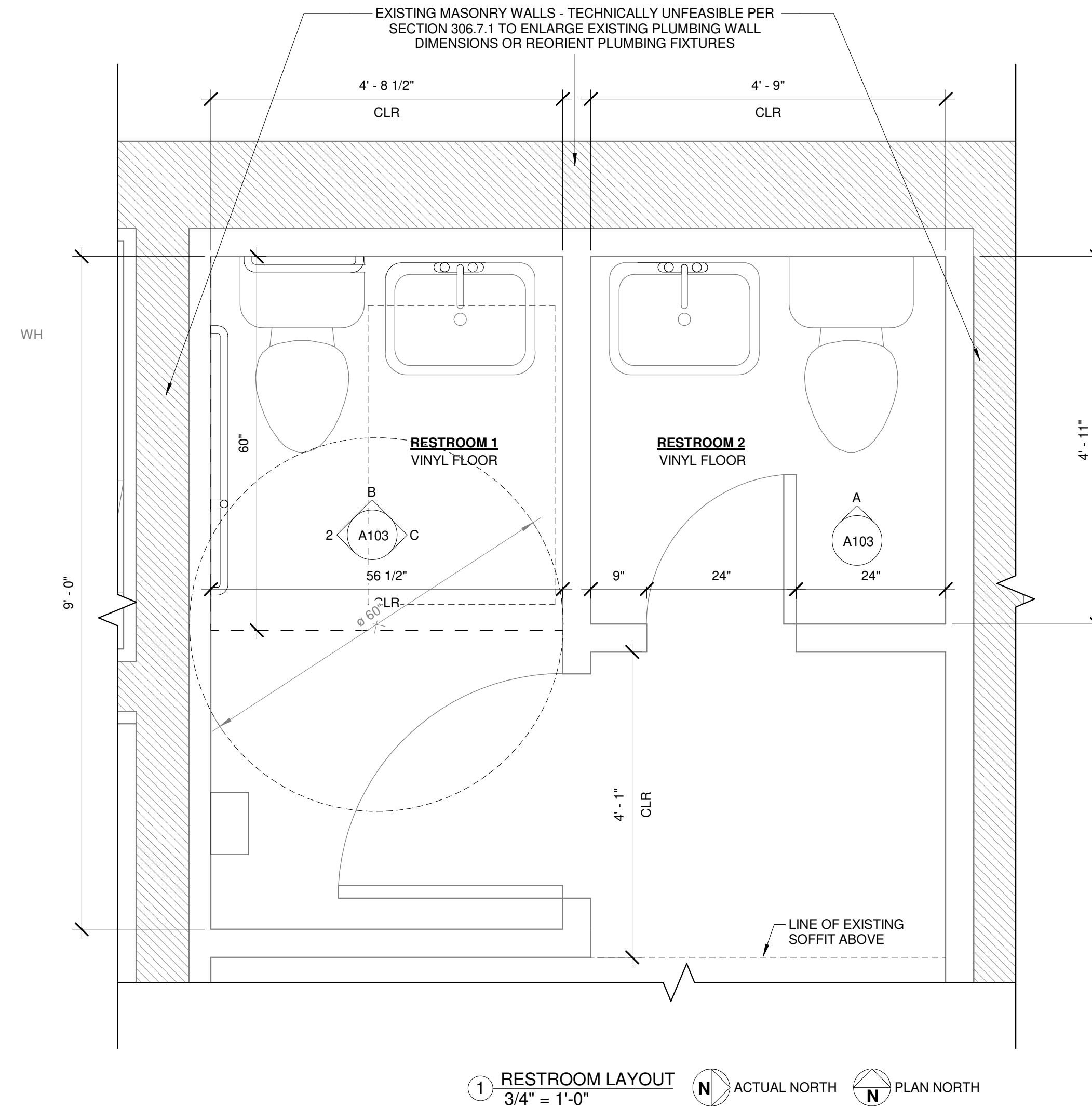


**RESTROOM
 FLOOR PLAN
 &
 ELEVATIONS**

A103



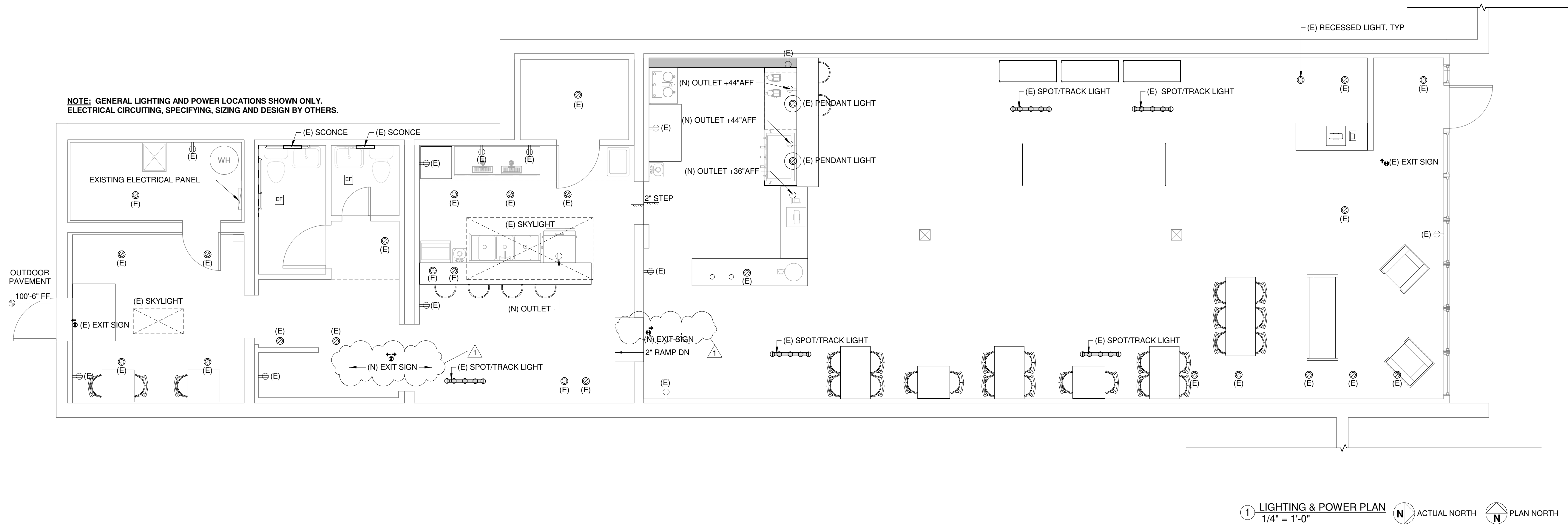
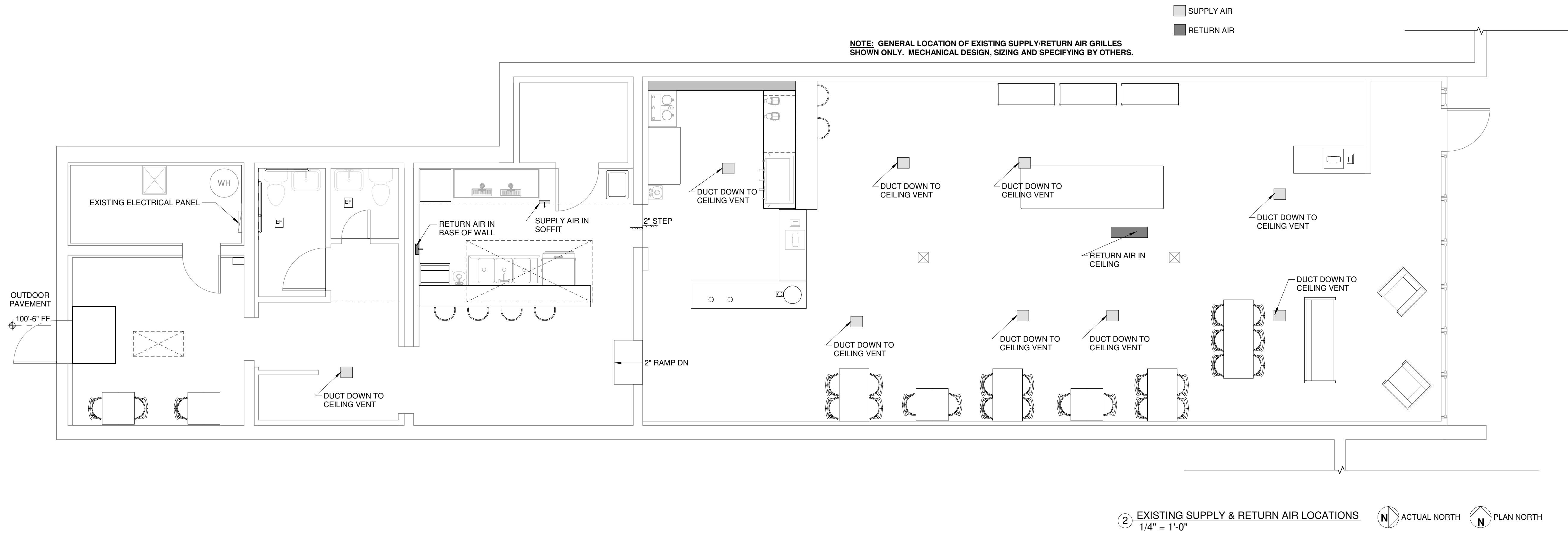
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N ACTUAL NORTH **N** PLAN NORTH



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**LIGHTING,
POWER,
HVAC
LOCATION
PLAN
A104**