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MAIN



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ALLWORLD  
Project Management, LLC

CONFIDENTIAL



## 100 N Main RFP Disclaimer

This confidential RFP Response and Appendix have been prepared by 18 Main LLC ("18 Main") as a response to the 100 North Main – Request for Proposal that was issued by the DMC on June 15, 2021.

The contents of this RFP response and Appendix are strictly confidential and are intended to provide the DMC, DMA and other relevant parties within the City of Memphis with the opportunity to determine their interest in 18 Main's proposed development at 100 N Main and may not be used or reproduced or published in any other way.

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August 31, 2021

Downtown Memphis Commission (DMC)  
Downtown Mobility Authority (DMA)  
City of Memphis  
Attention: Ms. Christine Taylor  
taylor@downtownmemphis.com

Dear Members of the DMC,

Marvel does not do it justice. One-Hundred-North-Main has the possibility to establish the inflection point in the ongoing transformation of Downtown and the City of Memphis at large. It is a building that singlehandedly can dictate where the City is to go.

We have all seen how in the past few years Memphis has gained tremendous momentum. It is certainly now moving in the right direction and more importantly delivering not only promise, but tangible results. We see this through cranes in the sky, completion of projects, and finally, finally, stabilization of apartment product at rents supporting a higher caliber of development as exemplified by One Beale.

These are all fantastic in their own right, and integral to the progression of the City. The announcements of new employment Downtown from Fedex Logistics to St. Jude, and beyond are arguably even more impactful, as we expect to see come to fruition in the coming years.

The announcement, and actual completion of the Renasant Convention Center, shows a City which literally 'puts its money where its mouth is'.

Nonetheless, it must be asked, is this enough? Is it enough not just to change the trajectory of Memphis, but as we all truly strive for, put Memphis in a position as a leading city of America if not the world?

One-Hundred-North-Main is a building both Shay, and myself have been infatuated with from day-one. We have followed its progression, or unfortunately lack thereof, in the preceding years. We have followed the various ideas being contemplated for its development, as well as explored our thoughts for its future. It is actually the building which attracted me to Downtown in the first place and reignited my interest due to activity at the property in late 2017. Such led to our subsequent acquisitions Downtown beginning in 2018.

One-Hundred-North-Main may become a beacon of hope for the City, and a spectacle on an international scale for historic preservation. In the same breath, it may become a glimmer of the past, and be demolished to make room for an uninspiring, low or mid-rise project. It must be asked, is this what we wish to see in this City? Is this in-line with the vision presented by the various stakeholders as publicly discussed and best outlined in Memphis 3.0, "build up, not out"? Will demolishing the tallest building in the City to make room for something much smaller in stature, and poorer in character prove we are truly ready to move in the direction of Memphis 3.0, and the future of the City at large?

However way you cut it, One-Hundred-North-Main not be a greatly profitable project. It is however very symbolic. So long as such is economically feasible, we should tirelessly strive to preserve it. I cannot emphasize enough the importance of what it symbolizes as displaying to the City, stakeholders, and outsiders as to the character of the City. It further emphasizes our communal ability to take calculated risk. Playing it 'safe' will not allow us as a City and as a community to leapfrog.



If demolished, aside from the loss it presents, it may be viewed simply as a two-acre parcel costing in excess of \$20m. It is still possible to acquire land in core parts of Downtown for far less than \$10m per acre, as such, simply on a market analysis, it is an unattractive development site.

Prior to discussing our plan for the building, let us address the elephant in the room. The status of our current projects Downtown. We too have been forced to enjoy the ramifications COVID has brought on. Nonetheless, at this stage, can comfortably say we view them predominantly as delays, and as such have not delineated from of our development plans.

- 18 South Main Street: Dream Hotels Group has been signed on to occupy the entirety of the ground floor and lower level, creating distinct F&B venues which will cater the needs of Downtown, and fall in line with our commitment of creating pedestrian traffic. We are now completing design in order to initiate buildout and are scheduled for occupancy Q2 2022. Actual MWBE spend to date >29%.
- 107 South Main Street: As of August 2021, we have completed design and pulled permits. Construction is being mobilized for commencement in September and occupancy is scheduled for Q4 2022. Projected MWBE spend >35%.
- 122 South Main Street: During COVID, we have prioritized our residential projects over hospitality. With those now beginning construction, we are to resume pre-development Q4 2021 and break ground Q4 2022.
- 311 South Main Street: This is a standalone 30,000 sqft building to be converted to a hospitality/F&B venue. It is prioritized in tandem with the Dream Hotel and expected to be completed Q4 2022.
- 372 South Main Street: Design and leasing was completed during COVID. The project was delivered April 2021, and as of August tenants have taken occupancy thus stabilizing the project. Actual MWBE spend >38%.
- 386 South Main Street: 32-unit multifamily project and arguably the first mid-block development done in the City. We have completed design and are awaiting permits. Upon receipt of permits, construction will commence which is anticipated September 2021 with occupancy September 2022.
- 390 South Main Street: We have chosen to separate the development of 386 and create our office space at 390 which we intend to move into by Q1 2022.
- 324 South Front Street: 164-unit multifamily project. We have completed design and are awaiting permits. Upon receipt of permits, construction will commence which is anticipated September 2021 with occupancy January 2023.
- The Pinch District: To our knowledge, all approvals have been granted. We are awaiting to execute the Development Agreement with the City. We remain committed to the terms agreed upon in 2019 and are at the ready to begin once the Development Agreement is executed. Upon signing of the Development Agreement, we anticipate 12-18 months of pre-development from which time the first phase shall be delivered 24 months thereafter. We cannot provide an accurate timeline as have been waiting to execute the development agreement for in excess of one year.



In addition to the above project detail, we have chosen to open a development office in Memphis which we have begun recruiting for. Such is to be fully operational Q1 2022. The local operation will oversee the ongoing construction at 107, 311, 386, and 324. It will additionally oversee the predevelopment of the Dream Hotel (122) and the Pinch District. Lastly, it will be responsible for all commercial leasing.

Separate from our in-house team, we have engaged on existing projects various teams including owner's representation, and project management as outlined in the organizational chart within the RFP package.

Both the local in-house team and the outside owner's representation and project management will contain the bandwidth for additional projects such as 100 North Main. Further, we intend for development outside of Memphis to be handled by our Memphis office.

Not to delineate any steam and return to our subject:

We have reviewed varied plans both those attempted and discussed in the past, as well as iterations of such of our own. The complexity of the building is vast. When exploring preservation, one must consider items including but not limited to; the great cost to complete, parking requirements relevant to usage in and around the building, possibility for absorption based on usage, vast floorplates which may be attractive for office usage however are highly inefficient for residential, and ceiling heights which may be adequate for residential but based on today's standards, not sufficient for class-A office. Such is frankly the tip of the iceberg.

We vetted options including multifamily, condo, office, retail, hotel, and varied combinations of such as previously explored by other developers.

When taking all into account and further exploring the needs of the City, it hit us that there is only one way to preserve the building while creating a development which adequately meets the needs of the community. It must be converted to affordable housing.

To address the above concerns and explore solutions presented by affordable housing:

Firstly, cost: with a combination of preservation and affordable housing, we are able to greatly reduce the cost to develop the property using both Historic Tax Credits as well as Low Income Housing Tax Credits. Moreover, the development of such housing is heavily supported by bodies such as HUD and thus enables for reduced cost of capital and better terms of financing when compared to per se commercial, or hospitality usage.

Secondly, parking: the parking requirements for affordable housing will be less than those required by office usage or likely market rate housing. Market rate housing would likely entail smaller unit sizes and thus require a higher ratio of parking per square foot. We were able to design the project to incorporate 838 parking spaces, on a total unit count of 542. While not all parking may be used for residential, it certainly enables parking at a greater ratio than we have seen at any development Downtown. Additionally, with many developments lacking on-site parking, and the City's funding sources for garage grants being greatly reduced, it makes the project all the more important for Downtown in itself to create more parking. We do not see many other opportunities to bring such significant levels of new parking to the core of Downtown.



Thirdly, absorption: as per The State of Memphis Housing 2020 report, it is determined there is a need for at least another 30,000 affordable units (at 60% AMI or lower) within the City of Memphis. We are concerned about being able to absorb such a high number of market rate apartments in one site. We are equally concerned about the ability to absorb another large scale hotel with the expectation of the Loews to be built down the block. We are perhaps even more concerned about the ability to absorb a smaller high-end hotel with the coming online of hotels such as the Dream and Grant Hyatt. And, we are most concerned of the ability to absorb office space, as the building will not pose for the most desirable product, in a market where office leasing remains an uphill battle. Such is further compounded by the addition of new office space at the Pinch, The Walk, and vacancy such as that seen at Raymond James. Moreover, and arguably most importantly, the words *inclusion*, and *gentrification* have been thrown around liberally. Gentrification may sound nice to investors, but inherently implies the moving out of certain communities, further dividing the City based on economic class. Inclusion is vastly important but locally predominantly discussed in reference to the trades being employed at these development sites. Through the building of affordable housing, we are able to solidify a base in the heart of the Downtown Renaissance which creates true inclusion, enabling a diverse demographic to live in prime real estate, and influence the culture and spirit of what we see happening Downtown for many years to come.

This alone shall be a feat for other cities to learn from, if not aspire to.

In summation, we are very excited by this opportunity, and remain no less excited regarding our existing projects Downtown. We have further outlined our proposal, along with supporting documents in the attached RFP package. We remain steadfast in our commitment to the City of Memphis, and anxiously await to see as it reap the rewards made possible through years of dedication by countless individuals from within.

Sincerely,

Tom Intrator  
Founder and Managing Partner  
18 Main



## Table of Contents

	Cover Letter
01	Project Goals
04	Commitment to Diversity, Outreach & Inclusion
05	Project Feasibility
05	Development Team
14	Relevant Experience
21	Development Concept
28	Public Parking & Diverse Mobility
29	Project Timeline
30	Financial Benefits to the City of Memphis
31	Financials

# Project Goals

At the core of our proposal is the belief that a diverse and vibrant community can be realized at 100 North Main and this community can act as a catalyst for economic development throughout downtown Memphis. As a path toward realizing this belief, we have outlined our approach to achieve and exceed the 8 project goals identified in the RFP. Our proposed development will feature:

- 542 affordable housing units, offered in a broad range of unit types to support a diversity of user/family needs. Residential units will be housed within the adaptive reuse of the historic tower, as well as within a newly constructed 7-story building wrapping a new public parking structure at the SE corner of the site.
- An amenity rich roof deck will unite the two buildings.
- 120,000 sf of new commercial uses; including ground floor retail, cafe, bar, music venue, grocery store, plaza dining, as well as club, event space, restaurant and potential city offices at the upper levels of the tower.
- Existing Parking will be renovated and additional parking will be provided within the newly constructed 7-story building for a total of 838 stalls. Diverse array of urban transportation alternatives will also be provided.
- Vibrant public plaza filled with dining, retail and a music venue will serve as an extension of Main Street and increase pedestrian engagement.



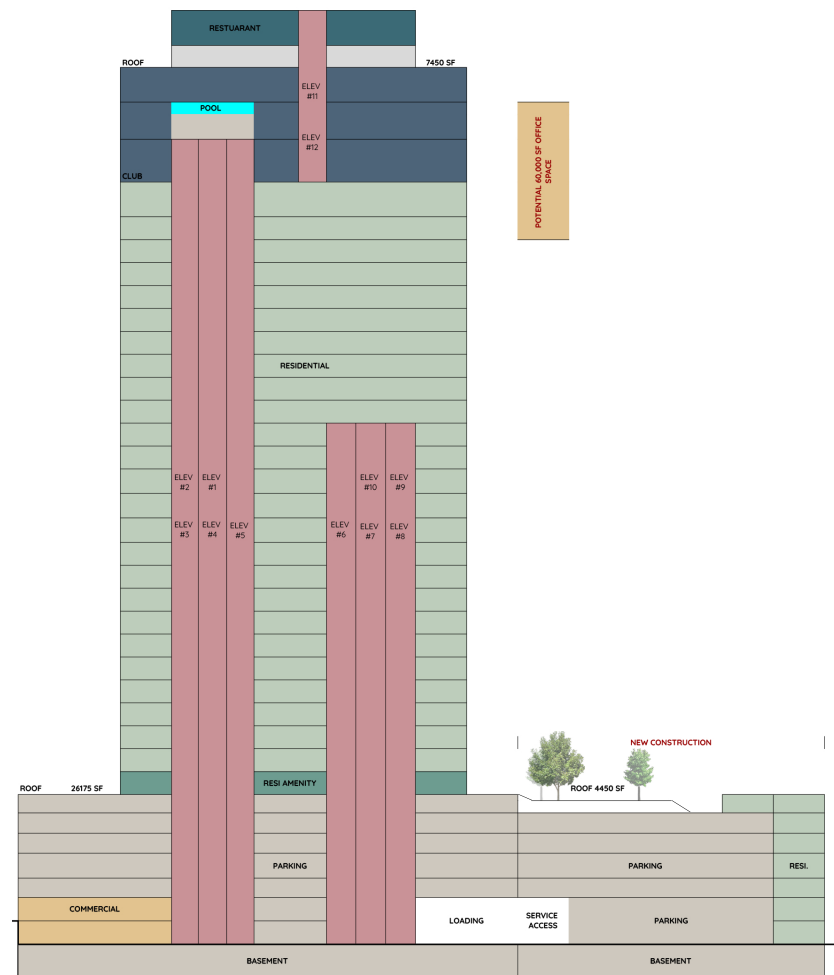
## 1. Fits Downtown & Promotes Design Excellence

Our proposed development considers context first and has conceived each building element with the intent to enhance the overall whole of the site as well as the neighborhood. We've considered the needs of the community and neighborhood and provided a high quality solution to meet those needs as exposed in our Development Concept below.

## 2. Increases Density, Grows Tax Base & Financial Benefits to the City of Memphis

The introduction of new housing units, both within the existing tower as well as newly constructed units wrapping the proposed parking structure will densify the underutilized real estate parcel. By combining this new density in tandem with open space amenities, we aim to achieve 'appropriate densification' for the site. Understanding that the project must provide for the fundamental human need for exposure to natural elements, we believe this combination provides a human centered solution. In addition, the new housing units facing the street help to engage the neighborhood and bring a classic sensibility to the character of this block.

The project will introduce hundreds of new residents to this portion of Memphis. These residents will be provided with community serving amenities such as a grocery store, retail, restaurants and additional public parking. These amenities will support not only the new residents, but the entire area as a whole with new residents, new people to work, shop, dine, and play in Downtown. This will assist the rebirth of the neighborhood and in turn the property values and incremental tax revenues of the City.



## 3. Pedestrian Experience, Enhanced Public Realm & Increased Mobility

Our proposed development includes the partial reuse and refurbishment of the existing masonry buildings along Main Street. By incorporating these existing structures and adding new storefronts, we're able to not only respect the history of these buildings, but also maintain the character and scale of this portion of Main Street.

As an additional means towards strengthening the pedestrian network along Main Street, we're proposing multiple opportunities for a porous edge (to provide visual and physical access) to the neighborhood. A well programmed plaza (just the right size to feel engaging and vibrant) will invite pedestrians into the site and beyond with vibrant music, shopping, drinking and dining.

### 3 Mini Communities in 1

We've woven 3 distinct use clusters into the project; housing, the club / lounge / public event spaces / public restaurant, and the plaza / commercial spaces - all distinct with separate circulation, parking, and their own identity. Each of these mini communities supports the other and each supports a variety of mobility options. Each mini community has gathering spaces, beautiful lush and shaded outdoor spaces and a sense of "place". As a potential alternative, 60,000 sq ft of office space may be made available to the City of Memphis and may be accommodated on the 32-35th floors

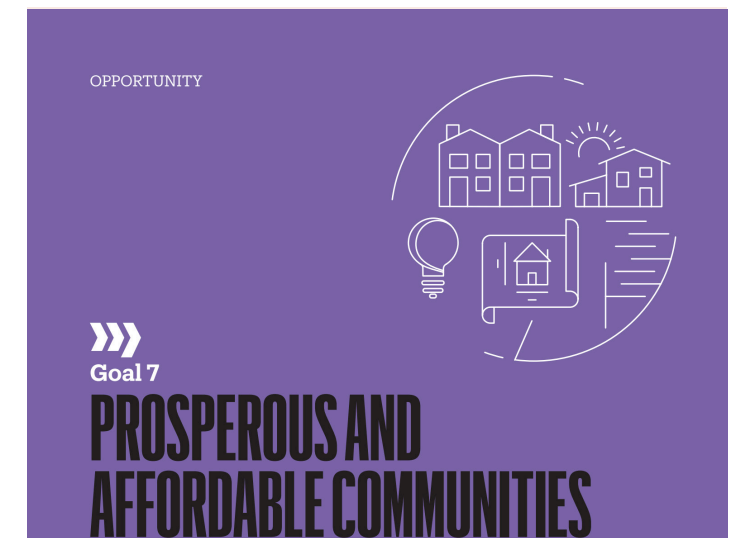


## 4. Commitment to Diversity & Inclusion

Without housing equity, any city will struggle to reach its full potential. According to the 2020 'The State of Memphis Housing' report, the City of Memphis must provide nearly 30,000 more affordable units to meet the city's needs. A significant portion of the affordable units recently lost in the City of Memphis have been lost within the downtown core. Unfortunately, housing instability is concentrated racially and ethnically.

According to the Memphis Housing Report - "In recent years, Memphians and our city leaders have become more aware of the problems associated with sprawl and its contribution to neighborhood decline and increased poverty. This heightened awareness was the driving force behind the award winning Memphis 3.0 plan approved in 2019, which seeks to guide how the city grows into our third century. Its primary vision for Memphis is to "build up, not out." While the legacy of sprawl and reduced density has exacerbated the racial segregation and economic disparity that are now obvious problems for neighborhood preservation, a trend toward density will hold down the costs and increase the access to public services on one hand while, on the other, contributing to healthier, safer environments for residents."

Our proposal will replace approximately 550 of those lost affordable units, however, we know that unit count isn't enough. Through a simple focus on detail, shade, privacy, socialization, visual and physical connection, we aim to provide high quality affordable housing, within a community that exemplifies design excellence.





## 5. Vibrancy & Memphis as Destination

Our vision is to breathe new life into the tallest building in Memphis. We plan to provide a fresh new identity, and reestablish the building as a proud contributor to the Memphis skyline. As adaptive reuse specialists, our team understands the role existing and historic buildings play in strengthening communities. Studies conducted by the National Trust for Historic preservation have revealed that neighborhoods that contain a combination of old and new structures consistently outperform their peers - economically, socially and environmentally.

The project will establish the site as a destination known throughout the city, for the music venue on the ground floor at the plaza and the club and restaurant up high in the tower. In addition, the project will house the first large scale grocery store / Big box retail store such as Target in Downtown Memphis. A place to stop on the trolley as a tourist, a place for local business people to come for lunch or a drink after work, all within the context of a robust workforce housing community. A mixed-use project that adds around-the-clock vibrancy to the neighborhood and contributes to the rich culture of Memphis.



## 6. Adaptive Reuse & New Infill

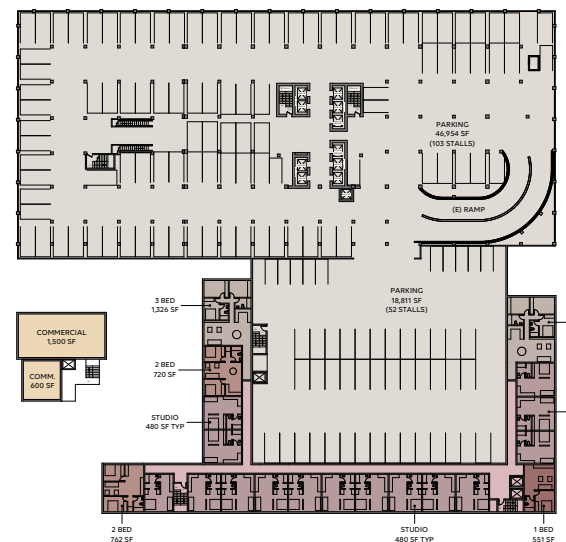
The project will retain and reuse all existing buildings on the property. New uses will be established to meet the 21st century needs of Memphis. The existing tower will receive upgrades sensitive to the historic designation of the property and aligned with the National Park Service guidelines. Only a portion of the 4 existing buildings situated on Main Street will be partially demolished to accommodate a new plaza. This partial demolition will help alter the existing building footprints and extreme building depth to provide building depths in line with typical commercial needs and small scale commercial operations.



100 N. Main Building Plan- Memphis Press Scimitar November 11, 1962

## 7. Downtown Public Parking as an Amenity & Diverse Mobility

We fully comprehend the importance of public parking and diverse mobility options in a dense urban environment. As such, our development will feature a complete renovation of the 490 existing Parking stalls in tandem with the addition of 348 new parking stalls within the newly constructed 7-story building for a total of 838 stalls. Diverse array of urban mobility options will also be provided in the form of bicycle sharing stations, electric scooter parking and chargers, dedicated ride share curbside drop-off locations at all primary building entries as well as easy access to the Main St trolley line.



## 8. Use of Available Development Incentives for Public Benefit

Our development will utilize local (HEHFB PILOT, Accelerate Memphis Fund) as well as federal (20% HTC, LIHTC) incentives. These incentives will be utilized as efficiently as possible, while maximizing the public benefit and minimizing public costs. This will be achieved by offering a quality affordable housing solutions for hundreds of Memphians along a wide array of retail, commercial, gathering spaces, public parking, increased mobility, and other services to local residents as well as to visitors from out of town. In turn, the increased density created by the development will benefit the tax revenue of the city, increase the surrounding property values, attract locals and tourist to the neighborhood, help local businesses and create new jobs

# Commitment to Diversity, Outreach & Inclusion

The 18 Main Team is energized and committed to making the 100 North Main Project a success on multiple levels. We realize the importance this project will have as a cornerstone of the revitalization of Downtown Memphis. Equally important is the desire for this development to meet and exceed expectations for Diversity and Inclusion not just in the development phase but in how the project helps making living in Downtown Memphis a reality for everyone regardless of race, creed, color, or religion.

The award-winning Memphis 3.0 Plan clearly recognized the importance of affordable housing in dense city centers "The vision of **Build Up, Not Out** is achieved through targeting resources in and around Community and Citywide Anchors. Achieving this vision calls for focusing resources in the core and neighborhood centers through activities that nurture, accelerate, or sustain development and community character. **A key part of this approach is ensuring housing remains affordable, residents are not displaced, and communities are not disrupted as a by-product of growth.** The goal of Prosperous and Affordable Communities seeks to establish the guidance to help fulfill the plan's vision in a manner that promotes affordable and healthy housing in an equitable way."

Our strategy for meeting and exceeding diversity and inclusion goals in all aspects of the 100 North Main development is to organize around principles of establishing metrics for our performance. The 18 Main Team has assembled best-in-class local and national professional development team members and will continue to expand the team, so that together we could bring about lasting change. We will ensure that all of our partner firms engage and hire local talent particularly when it comes to construction and the various trades, in a fashion that meets or exceeds the City of Memphis MWBE requirements. We believe in establishing outreach to community groups dedicated to serving minority businesses and individuals and establishing hiring practices from the onset of our work. In fact, many of our consultant team members included in this proposal response are already a part of shifting the balance of power. Design Architect Omgivning is a woman-led organization and is recognized and certified in Los Angeles County as a WBE. Allworld Project Management, who will serve as the development's project manager, as well as the responsible party for our diversity, outreach and inclusion is also a local MWBE owned business in Memphis.

We see value in creating equity by establishing a goal for building affordable housing units at 100 North Main. As a team, we are familiar with the State of Memphis Housing 2020 report and the lack of affordable housing for the community. This is why our design response includes affordable housing as part of our development not just because it "pencils out in the proforma" but because it is the right step to take for Memphis.

**The development team's executive responsible for our diversity, outreach, and inclusion is Michael A. Hooks Jr., Executive Project Manager at AllWorld Project Management, who can be reached at +901-481-0357 or via email at mahjr@allworldmail.com**

The 18 Main development team is dedicated to bringing about positive change and is empowered to execute on a development plan that is focused on what is best for Memphis. 18 Main's commitment to Diversity and inclusion can be further exemplified by our recent projects in Memphis such as 18 S Main St., 372 S Main St and 107 S Main St. which far exceeded the city's MWBE requirements (over 29% MWBE participation in 18 S Main, over 38% in 372 S Main and an expected 35%+ in 107 S Main).

# Project Feasibility

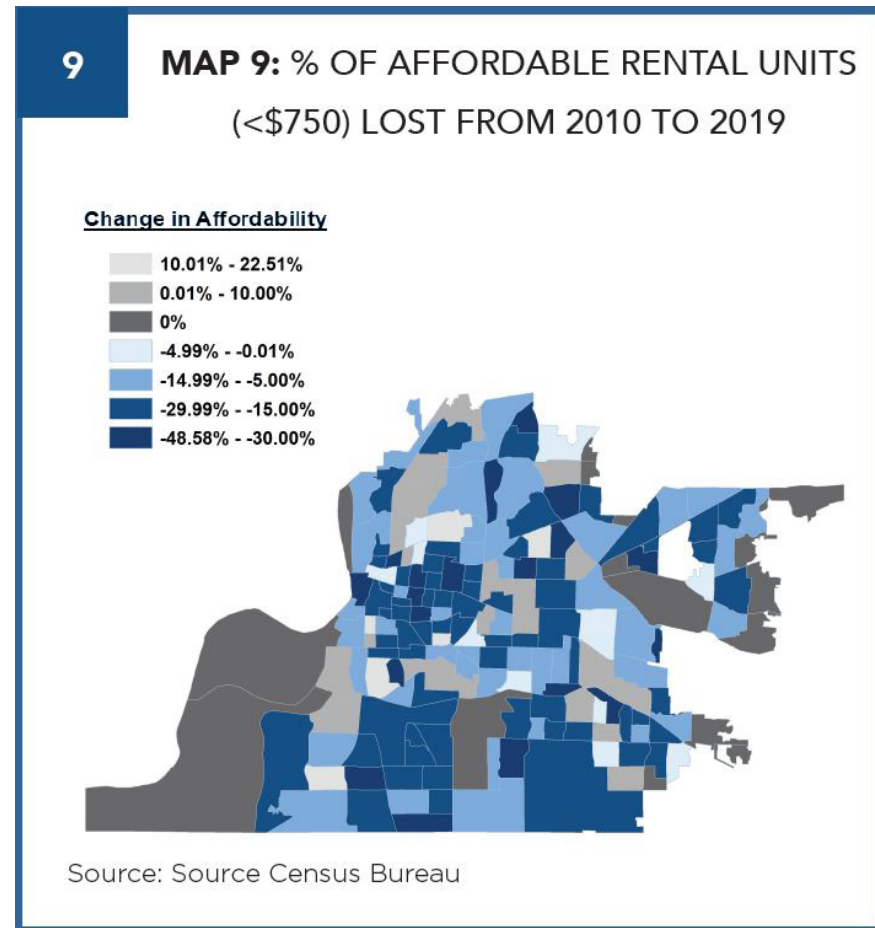
As Thomas Edison said, "Vision without execution is hallucination." It is good to have vision. It is fine to know your why. But if you cannot execute it, then it has no value whatsoever.

At 18 Main, we truly believe that in order to successfully execute a project, one needs both a solid vision as well as robust execution. For our proposed development at 100 N Main, the Why is crystal clear. Memphis has a serious affordable housing crisis. This crisis is likely to be exacerbated during the COVID Era and is another side effect of the Memphis post-recession housing boom. Downtown Memphis is one of the areas which have suffered the highest drop in affordability over the last decade with a drop of over 40% in the affordable units inventory. As such, it was no surprise when our recent market research indicated that quality affordable residential units in the downtown Memphis area have long waitlists and are at close to 100% occupancy.

As to the How, 18 Main has assembled the A-team of professionals and financial partners that will bring this vision to reality from design through stabilization. We have a Term Sheet for the required debt for this development from Arbor Commercial Funding. We have already allocated the required funding for the acquisition and pre-development costs as specified within the attached sources & uses. In an effort to display our commitment to this development, we are happy to provide proof of available funds to that effect.

Our development team has carefully studied the due-diligence materials provided with the RFP and performed additional preliminary independent reports and analysis of the site. Our due diligence to date entailed careful studies of the historic as-builts drawings, updated seismic analysis report including 3D modeling of the existing podium and tower, energy performance analysis, preliminary investigation of the deteriorated existing conditions of the façade with the assistance of a specialty forensic engineering drone and more. This extensive preliminary Due Diligence combined with our team's extensive and proven track record of delivering projects of similar scale, complexity, and nature, provides us with a high level of confidence in our ability to successfully execute this Development on time and on budget.

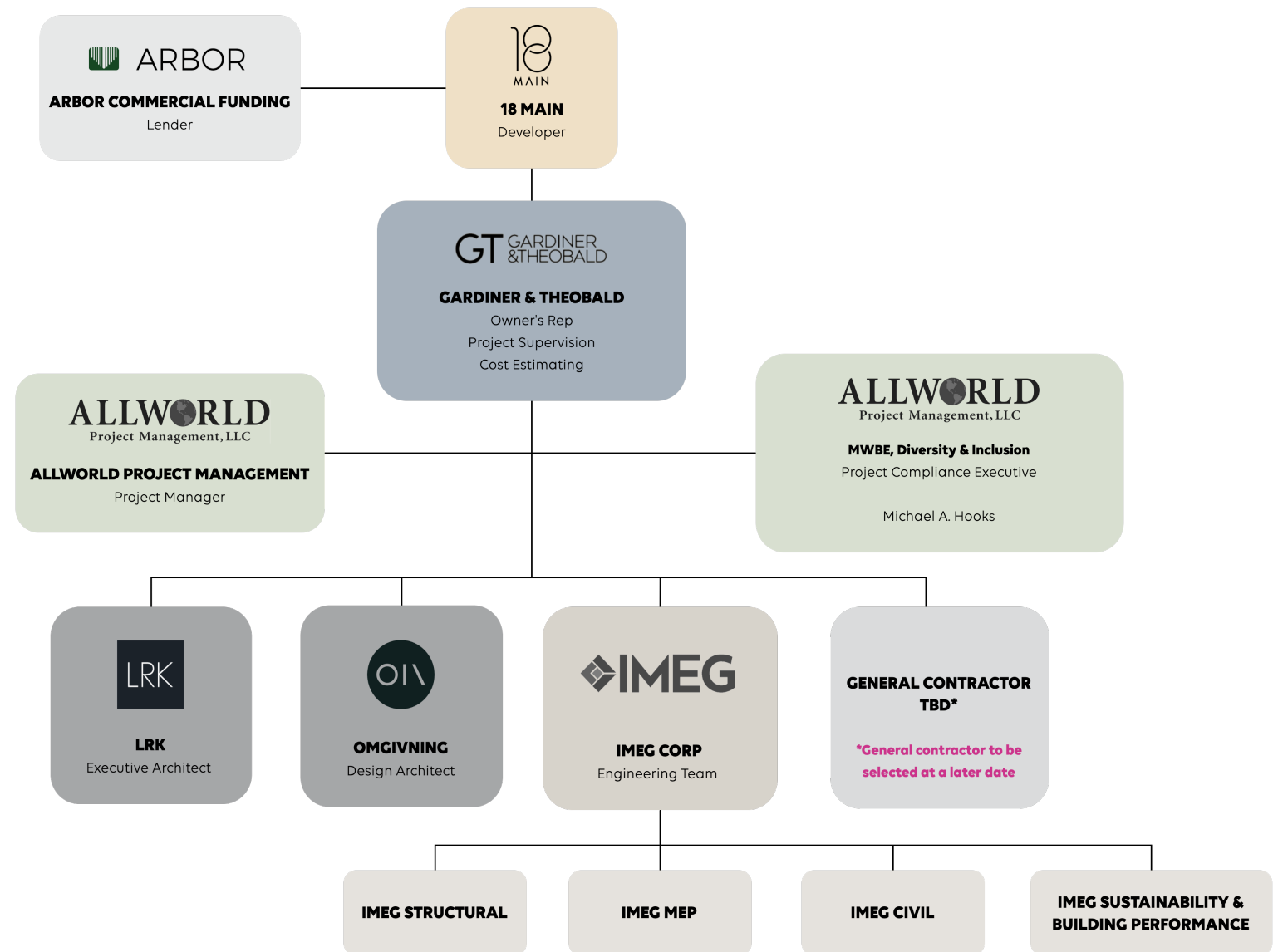
For the avoidance of doubt, 18 Main has no expectation that the DMC will provide pre-development financial assistance. We will fund any such expenses directly.



# Development Team

## Team Organization Chart

18 Main has assembled a team of locally and nationally acclaimed professionals for this assignment. Each of these firms have been selected based on their extensive years of experience on adaptive reuse and urban revitalization projects. Many of the team members have collaborated and worked on projects together over the years and we are poised to engage quickly to envision a new future for 100 North Main.



# Development Team

18 Main, LLC, Developer



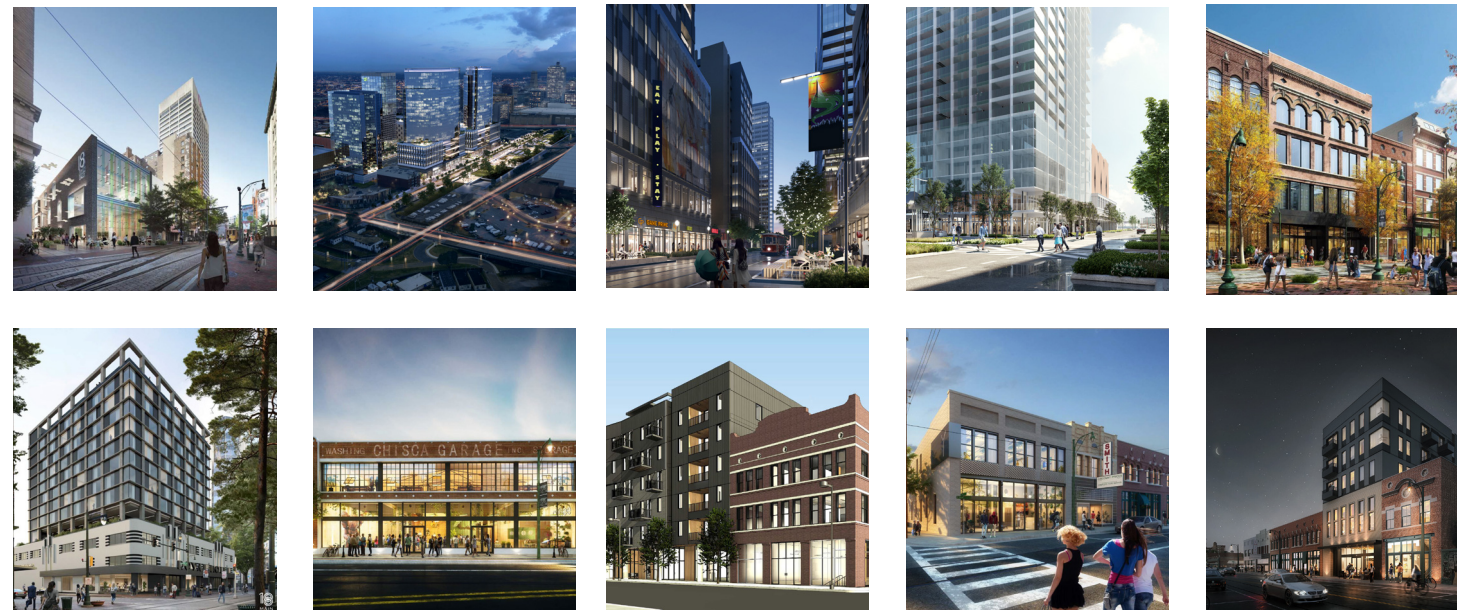
18 Main is a privately held investment group with a core focus in real estate investment, experiential retail, and hospitality. Our vision is to develop beautiful and thriving communities, cultivate sustainable growth, and provide attractive returns to our investors. We accomplish this with an opportunistic eye and a team experienced in varied investment.

Our investment strategy utilizes a two-pronged approach:

1. Long-term, multi-strategy real estate investment; and
2. Investments in experiential residential, retail and hospitality

Because of our diligence, expertise, and passion for improving communities, our investments have tangible impact. 18 Main invokes a sense of pride in its investments by breathing life into communities and lifestyle businesses.

Prior to forming 18 Main, our principals aggregated a portfolio comprising approximately 4,000 multifamily units spread across the Midwest and Southeast. This portfolio was built into a vertically integrated operation along with management comprising a staff of nearly 100 of our associates. At present, the portfolio has been primarily exited producing strong returns for our investors.



**Tom Intrator**  
Founder & Managing Partner

Tom is the founder and managing partner of real estate investment group, 18 Main, LLC. With a decade of substantial real estate experience, Tom has deep industry knowledge spanning the syndication, ownership, rehabilitation, financing, and management of commercial real estate.

Tom has served as a founding partner of New-York based Hyde Capital, LLC since 2010. Hyde Capital and its subsidiary, The Lennox Companies, has acquired and managed a real estate portfolio in excess of \$300M across multifamily, retail, and office assets. The group has been active in Memphis since 2013, owning and managing 1,630 multifamily units in the area, to date.

Prior to forming Hyde, Tom worked with Silverback Capital, a real estate investment and development firm in New York City. He is also the managing member of financial services holding company, J.I. & Sons, LLC and its financial technology platform Vessti.



**Shay Yadin**  
Partner, Head of Development

As the Head of Department of 18 Main, LLC, Shay oversees the acquisition, development, and rehabilitation of the firm's real estate portfolio. Shay holds over a decade of extensive experience in property development as well as real estate law, enabling him to structure and execute complex real estate transactions.

Shay has worked closely with investors, consultants, contractors, and municipal authorities to develop more than 3 million square feet, valued in excess of \$750M across retail, office, hospitality, and residential assets nationwide.

Previously, Shay worked as a real estate attorney at Goldfarb Seligman LLP and as a senior wealth management and market analyst at Psagot Investment House in Israel. Shay holds a dual bachelor's degree in Law and Business Administration with a focus in real estate. He also earned his master's degree in Law (LL.M) with a focus in Real Estate Law. He is a retired Lieutenant from the Israel Defense Forces.



**Joseph Ammar**  
Vice President of Investments

Joseph heads investments at 18 Main including the firm's acquisition and developments activity across the US. Additionally, Mr. Ammar is responsible for the firm's capital structuring and financing activity.

Prior to 18 Main, Joseph served as head of real estate investment & management at Data Driven Properties initiating their investment platform. At Data Driven Properties he grew the investment activity in the short-term and vacation rental spaces as well as building their corresponding management platform.

Prior to Data Driven Properties, Joseph started his career as an Analyst at Hyde Capital/Lennox Companies, where he was involved in over \$150m of acquisition and disposition activity.

Joseph earned his BA in finance from Yeshiva University while interning at both Morgan Stanley and Raymond James.

# Development Team

Gardiner & Theobald, Owner's Representative, Project Monitoring, & Cost Estimating



G&T, NEW YORK, NY

Gardiner & Theobald has been providing project and cost management services throughout the United States for over 25 years.

Gardiner & Theobald Inc. was formed 1992 and is a division of Gardiner & Theobald LLP, which was founded 1835 in London, England. We have offices located in New York City, Los Angeles, Miami, Portland, San Diego, and San Francisco. We focus on minimizing risk and creating opportunities to maximize the value of our clients' developments and property assets. We deliver project leadership, commercial success, construction excellence, and specialist consultancy while working across all sectors of the built environment.

## Project Management Group

The Project Management Group provides complete Project Management services through design, construction, and project close-out. Our team is comprised of professionals with diverse backgrounds in architecture, engineering, FFE, and construction management.

## Cost Management Group

The Cost Management Group provides estimating, cost planning, and cost management services from inception through design and construction, and financial close-out. **We do not subcontract out any of our cost estimating or cost management services.**



**Chris Burke**  
Senior Director

Christopher is one of Gardiner & Theobald's senior team leaders. Christopher is known for his creative design, procurement, and construction solutions that help facilitate the successful execution of projects for developers, landlords, tenants, and both public and private institutions around the world.

**Qualifications**  
LEED AP  
Assoc. Society of Civil Engineers  
Assoc. General Contractors

**Experience**  
17 Years

**Projects**  
77 Greenwich  
Carlyle Hotel  
The Refinery  
Knickerbocker Hotel  
560 West 24th Street  
Essex House Hotel  
Fasano Hotel  
Brooklyn Botanic Garden



**Pavan Thaker**  
Director of Cost Management

Pavan and his team have overseen the Cost Management of a number of complex projects in a variety of sectors. These projects include multi-billion dollar developments in the infrastructure, hospitality, and residential sectors. Pavan specializes in utilizing innovative procurement to drive buy-out savings for his clients.

**Qualifications**  
BSC (HONS) Quantity Surveying and Construction Commercial Management

**Experience**  
11 Years

**Projects**  
The Carlyle  
9 Orchard Street  
Soho House Dumbo  
28 Livery Street  
Millennium  
31-11 30th Street  
Soho Works, 10 Jay Street  
Soho House Austin  
Soho House Nashville  
Rosewood Washington DC



**Brian Hart**  
Associate Director of Cost Management

Brian is a hardworking, highly motivated, and ambitious individual with extensive experience in the hospitality and residential sectors at Gardiner & Theobald.

**Qualifications**  
BS, Civil Engineering  
Cert, Construction Project Management and Real Estate Finance

**Experience**  
14 Years

**Projects**  
37-05 30th Street (20% Affordable)  
2401 3rd Avenue, Bronx, NY (40% Affordable)  
Soho House  
2420 Amsterdam  
Soho Works Multiple Locations  
Google  
975 Washington  
The Carlyle  
NED DC  
55 Jordan Avenue  
41-17 Crescent Street  
230 West 113th Street

# Development Team

Allworld Project Management, LLC, Project Management



## Delivering Innovative Solutions to the Built Environment

Since 2010, Allworld Project Management has successfully administered high quality projects on time and within budget.

From smaller task orders to multi-million-dollar programs, each project is customized using fundamentals established by the Project Management Institute (PMI)®. We manage projects both, during a particular phase or from initiation through close out. We are committed to quality and have maintained an audited quality management system certified by the International Standards Organization since 2017.



At Allworld Project Management, our mission is to consistently exceed our clients' expectations by providing value-added solutions one task at a time. ”

MICHAEL A. HOOKS, JR. | FOUNDER AND CEO

### OUR SERVICES



CONSTRUCTION SUPPORT



ECONOMIC AND COMMUNITY DEVELOPMENT



ENGINEERING SUPPORT



GEOGRAPHICAL INFORMATION SYSTEMS



INFORMATION TECHNOLOGY



CUSTOMIZED PROJECT MANAGEMENT



WATER RESOURCES



Michael A. Hooks, Jr. PMP  
Executive Project Manager,  
Diversity Agent

#### Role Description

With over 20 years of experience in program and project management, Michael Hooks Jr. serves as Founder and Chief Executive Officer of Allworld Project Management. For these proposed services, Michael will serve as Executive Project Manager. Michael will apply his project management, construction administration, government relations, and diversity programming experience to provide high-level guidance to team members and the client.

#### Project Experience

Michael is uniquely qualified for this position based on several project-based experiences. The City of Memphis Sewer Assessment and Rehabilitation Program is a relevant example. Michael initiated this project as Deputy Project Manager, Controls and Communications. At the program initiation in 2012, Michael assisted the team in developing KPI's and worked with staff to implement program controls and participated in monitoring these to maintain program success. Michael participated in preparing and presenting reports to local, state, and federal government agencies for this \$250 Million Dollar Program.



Christopher Acuff  
Project Manager

#### Role Description

With over 25 years of project management, Christopher (Chris) has strong program management experience includes construction administration, budgeting, permitting, and quality control. As the Lead Project Manager, Chris will provide primary and direct support to the Ownership team.

#### Project Experience

Chris's career in project management has included several complex, multi-disciplinary projects including hotel development activities from concept to opening including oversight of design teams, consultants and contractors for all new builds, renovations, and rebrands.

Owner's Rep/Construction Manager for Crosstown Concourse - \$200m Adaptive Re-Use of the former 1.5Mil SF Sears Crosstown Building in Memphis. Tabbed as the largest historic adaptive reuse LEED Platinum project in the world, the Crosstown project has won numerous awards for design, construction and community impact.



Brent A. Hooks  
Executive Project Manager

Chief Administrative Officer for a fast-growing project management firm. Solution-oriented organized, and well-rounded individual with concentrated skills in accounting, finance, and business administration. Respected by peers and colleagues as a strong ethical example in the workplace. Brent thrives as a strategic leader in a creative environment that solves problems and provides value added solutions to the marketplace.

#### Project Experience

Crosstown Concourse, Memphis, TN The Crosstown Development Center completes a \$200 million renovation of over 1.1 million sq. ft. To turn the historical Sears building into a vertical urban village consisting of education, healthcare, retail, arts, and apartments.

Brent participated as project manager in the urban economic planning which also included community engagement. Additionally, Brent coordinated technical resources and budgeting while assisting with project scheduling.

# Development Team

Omgivning, Design Architect



**Address**  
724 S. Spring Street #501  
Los Angeles, CA 90014  
213.596.5602  
omgiving.com

**Certified Woman-Owned Business**  
**Enterprise, Small Business Enterprise**

**Areas of Experience**  
Architecture, Interiors, Adaptive Reuse, Core/Shell, New Construction, Tenant Improvements, Renovation, Restoration, Rehabilitation

**Project Types**  
Mixed Use, Multifamily Housing, Hotel, Restaurant/Bar, Retail, Theaters, Workplace

**Company Staff**  
1 Principal  
6 Directors  
8 Project Managers  
13 Job Captains  
8 Designers

## We uncover potential in spaces, in buildings, and in communities.

Founded in 2009, we initially focused on the revitalization of downtown Los Angeles through the adaptive reuse of existing buildings and spaces. Through the years, we have continued to expand our services to design for a variety of new construction projects and build our imprint across Southern California and further afield. Today, our design work has touched over 500 projects, from two-million square foot historic landmarks to small, local cafes. From the design of boutique hotels, multifamily housing, workplaces, to retail, dining, and theaters, our projects are welcoming environments that become essential parts of their communities. Our team of architects and designers share our belief in the power of design to positively transform. Our open and collaborative spirit is enriched by the significant participation of clients and users, as well as associate architects and consultants resulting in successful projects for our community.

### Design Philosophy

Unifying all of our work is our design approach. We believe in working from the inside out, seamlessly blending architecture and interior design, connecting at every scale from the macro to the micro. As urbanists, we see our projects as points in a larger network of social and cultural activity extending from the street, the block, and the neighborhood. Drawing on our extensive connections and collaborations, we work to amplify local and sometimes forgotten histories, facilitate neighborhood growth, and advocate for policy reform at the municipal level. As humanists, we celebrate the details that give meaning to our lives. Texture, form, color, light, and historic fabric become cues for inspiration and engagement. Our design work focuses on uniting us to a space and to our neighbors. We design for healthy, sustainable, and resilient communities.

### Commitment to Diversity and Sustainability

Our team shares our belief in the power of design to positively transform. The varied backgrounds of our individual team members are celebrated, embraced, and acknowledged for their capacity to contribute based on their unique talents and skills. Omgivning's commitment to sustainability is organized by our core values. We view all our efforts as interdependent and believe it is important to take a holistic approach when setting sustainable goals and targets for our work. Our framework streamlines efforts in order to research, analyze and provide useful information to our clients and collaborators.



**Karin Liljegren, FAIA, IIDA**  
Founder and Principal

Karin Liljegren has dedicated her career to revitalizing downtown Los Angeles's rich stock of existing buildings. In 1999, she worked on the very first projects under Los Angeles's Adaptive Reuse Ordinance, which launched her nuanced understanding of the challenges and opportunities of adaptive reuse. Karin is a thought leader in the downtown community and is active with city and county officials in crafting policies that ease the challenges of working on existing buildings. Her design projects breathe new life into the buildings and communities. Her impact created the return of historic downtown Los Angeles as a livable, walkable neighborhood.

Karin founded Omgivning in 2009. The firm puts new life to underutilized buildings transforming them into hotels, multifamily housing, offices, restaurants, and bars. Omgivning has grown and expanded having touched more than 500 buildings in Downtown Los Angeles. In 2014, the firm received a Presidential Honoree award for an Emerging Practice from the AIA Los Angeles.



**Peter Rindelaub**  
Architect, Projects Director

Downtown Los Angeles has been a draw for Peter since his move to the city in 2007. The renaissance of historic buildings here has offered an excellent platform for combining his design interests with his construction expertise.

At Omgivning, Peter has led a number of project teams on high profile adaptive re-use and renovation projects. He focuses on the design goals for the project and he works diligently to keep them front and center when communicating with project teams and the client. Peter's attention to detail helps set a high standard, especially as a building code resource. He has worked on a variety of building types over his career including multi-family residential, mixed use, office and institutional projects.

Peter is an advocate for sustainable design principles on all his projects. He acknowledges that the adaptive re-use of existing buildings contributes to positive, sustainable solutions for our cities.



**Richard Kassab**  
Project Architect and Lead Designer

Richard's diverse design experience comes from a 15-year career working on award winning international competitions in Istanbul, Budapest and Bamian, new constructions in Beirut, and historic remodels in Los Angeles.

He believes that ideas rather than shapes drive the design environment, and design doesn't end with a phase, it is carried throughout every project decision. Maintaining a project's design integrity, he is heavily involved in managing the daily process of the project, consultants and internal team.

Richard was a partner at a multidisciplinary architectural office based in Beirut, Lebanon, where he also was the marketing managing director before moving to the US. His experience in California includes freelancing with Michael Maltzan, SPF Architects, and working with private clients on single family remodels and additions.

# Development Team

LRK, Executive Architect



## Who Is LRK?

LRK is a nationally recognized full-service architectural, planning, and interior design firm. With offices in Little Rock, Memphis, Philadelphia, Princeton, Baton Rouge, Dallas, New Orleans, and Celebration, Fla., LRK is intent on creating places that make a difference in people's lives.

With an eye towards long term sustainability, LRK is committed to revitalizing and energizing communities through historic preservation and adaptive reuse. LRK balances aesthetic visions with economic realities, while also acknowledging a region's architectural traditions and history of its people. Experienced in working with U.S. Department of the Interior National Park Service guidelines and the complex challenges often associated with renovations, LRK works with clients to protect a building's original architectural character while developing thoughtful solutions for modern living.

In addition, we are committed to design with a sense of place. LRK views each project as an opportunity to improve, complement and in some cases, complete the fabric of the surrounding environment. LRK's preservation and renovation projects have been recognized by the American Institute of Architects, the National Trust for Historic Preservation, Congress for the New Urbanism, and the Urban Land Institute.

Understanding the needs of a client first and then providing creative and innovative design solutions that respond specifically to those needs is the focus of our culture. Every project we undertake starts and ends the same way: We listen.



**Frank Ricks, FAIA**  
Founder and Principal

Frank is a founding principal of LRK and the firm's managing principal. He is actively involved in select projects that require strong leadership in design, engagement, and process of delivery. He also continues to lead the firm into position for increased opportunities for design influence, from simple buildings to entire neighborhoods and urban districts. He relishes projects that present an aesthetic challenge, are uniquely complex or difficult, or are the first of a kind for the firm. In his focus on the design and management of projects, Frank is always concerned with their impact on external/internal communities at all levels and strongly believes in the collective power of the team through collaboration that includes both the client and users. He stays involved in the community by serving on several boards, including working with the Center City Development Corporation for 12 years where he focused on improving access and connection to the Memphis's downtown riverfront.



**Tony Pellicciotti, AIA, CDT,  
LEED AP BD+C**  
Principal

Tony brings more than 25 years of highly relevant leadership, collaboration, and design experience to LRK. With a broad, diverse portfolio, Tony has focused his professional practice to prove that good design transcends budget and program. He believes that intentional, thoughtful design inspires and motivates people to be, and to achieve, more than they thought possible. This thoughtfulness has led to the social, economic, and critical success of internationally acclaimed Crosstown Concourse, the world's largest historic, adaptive reuse, LEED Platinum certified project. Tony maintains that, as architects, we have a unique responsibility to learn from the rich tapestry of contributions and tailor an individualized response to each project. He is passionate about historic/adaptive reuse work and he weaves practical, proven sustainability strategies throughout to bring the greatest value to his clients.

His projects have been recognized with numerous industry awards and featured in publications, including ARCHITECT, Architectural Record, Architectural Digest, Metropolis, Building Design + Construction, and Contract.



**Krissy Buck Flickinger, RA,  
LEED AP BD+C, WELL AP,  
NGBS Green Verifier**  
Associate, Sustainability Director

Krissy is an architect and also serves as the firm's Director of Sustainability. She has practiced architecture for more than 13 years and has built a reputation for her belief that good design is about celebrating the history of a community and working within the existing fabric to create the perfect blend of old and new. It is because of this passion for preservation, adaptive reuse, and sustainability that she boasts her own scorecard of 26 projects certified to a variety of green building rating systems, meanwhile encouraging all of LRK's designs to strive for environmental excellence. Krissy is the chair of USGBC's Memphis Branch, where she has spearheaded the yearly "Paper Power" event geared toward empowering area youth to practice sustainability. She was awarded USGBC TN's Green Volunteer of the Year award in 2018 and is the first Green Globes Professional, WELL Accredited Professional, and NGBS Green Verifier in the Mid-South region. Before joining LRK, Krissy was a project architect and the Sustainability Coordinator at Treanor Architects (now TreanorHL) in Kansas City, Missouri.

# Development Team

## IMEG Corp, Engineering Team



We are employee-owned and results driven with a passion for transforming environments and communities through high-performance design and infrastructure.

### AT-A-GLANCE

- Top 5 Engineering Firm in U.S.
- 100% Employee-Owned
- Full-service Engineering & Consulting
- 50 Locations
- 1,500 Team Members
- 490 Licensed Engineers
- \$234M in Annual Revenue

### SERVICES

#### Building Design: Engineering & Planning

- Structural
- MEP/FP
- Technology Design
- Automation & Controls
- Security Design & Engineering
- Acoustics & Noise Control
- Architectural Lighting
- Medical Equipment Planning
- Building Performance Analysis

#### Commissioning

#### Consulting & Advisory Services

- Intelligent Buildings
- Technology Consulting
- Healthcare Information Technology
- Protective Services Consulting
- Forensic Consulting & Investigations
- Grant Writing

#### Infrastructure: Design & Planning

- Civil Engineering
- Municipal Engineering
- Land Development & Surveying
- Environmental Services
- Landscape Architecture
- Materials Testing
- Construction Observation

#### Process Engineering

- Automation & Controls
- Chemical Process
- Bulk Processing

IMEG is the leading U.S.-based engineering design firm that delivers a rare combination — the broad expertise of a national leader with the personal relationships and deep collaboration of a local firm. **But what really sets IMEG apart?**

- Our market-sector team structure providing data-driven solutions and innovation.
- A culture of learning and development – sharing knowledge and solving complex design problems.
- An extensive breadth of expertise and deep bench of client knowledge – helping transform environments.
- A reputation for delivering many “firsts” in sustainable design – helping clients become energy stewards and reduce impact.
- A commitment to deliver high quality, cost-effective outcomes through a collaborative and flexible project approach.



**Ed Gharibans, PE, SE**  
Principal-In-Charge

Ed has been practicing structural engineering for more than 40 years. He holds expertise in the design and development of various healthcare buildings and works closely with all of his clients to ensure each project is delivered on time and within budget. His experience includes the design and development of new buildings, as well as building modifications, upgrades and equipment anchorage for healthcare facilities. Ed has recently gained a considerable amount of experience in preparing reports for hospital facilities relating to Senate Bill 1953. His leadership role makes him an active participant in all stages of the project.



**Wally Ford, PE, LEED AP**  
Structural Lead

Wally Ford, P.E., LEED AP, has 44 years of experience in the planning and design of structural systems for commercial and institutional buildings. He specializes in high-rise design, having been involved in the design of dozens of buildings over 25 stories and many over 50 stories. He has contributed to the architecture and engineering community by teaching a variety of structural engineering courses in the Architecture Departments of both Rice University and the University of Houston.



**Naseer Ahmed, PE**  
MEP Lead

Naseer’s electrical engineering experience includes the design and construction of fire alarm, fire protection, power distribution, motor control centers, process control panels, lighting, and grounding systems for education facilities. He has extensive design experience for new facilities including classrooms, auditoriums, theaters, and gymnasiums. This vast experience includes emergency generator, boiler, and chiller plants. Naseer is involved in site evaluations, studies, and master planning of several existing facilities. He has also developed an excellent relationship with DSA for more than 25 years providing an effective review process.



# Relevant Experience

We have assembled a team of experts in their field, with a range of experience to compliment one another. Below please find several examples of the team's past relevant experience. For additional information, see Appendix.



## Broadway Trade, 801 S. Broadway

Collaboration with the Principles of 18 Main, Omgivning, and IMEG

The Broadway Trade Center building occupies two-thirds of a city block in the Broadway Theater & Commercial District, a National Historic District. In addition to seismic upgrades and building's program includes 500,000 SF of offices, a 150-room hotel, and 200,000 SF devoted to retail, and restaurants. New levels are being added to the expansive roof while restoring its original use as a public gathering area. The roof design includes a park, an urban farm, two swimming pools, and several restaurants/bars.



## Desmond's, 612 S. Broadway

Collaboration with the Principles of 18 Main, Omgivning, and IMEG

Desmond's opened in 1924 as a Los Angeles-based retail chain and ultimately closed in 1981 as downtown department stores lost their allure. In 2020, Desmond's building became a Los Angeles Cultural Historic Monument. The adaptive reuse and historic restoration of Desmond's is a story of flexibility and designing within a modern historic interpretation. The building is now a mixed-use building with retail at the ground and basement level and offices on floors two through six for national co-working group, Bond Collective. The roof area has been dramatically transformed with the addition of two new stories that have the potential to hold restaurants with downtown skyline views.



## The Rendon

Omgivning

Omgivning is rehabilitating an existing hotel and designing a new tower on the same lot, which will become a focal point for artistic activity. The existing 3-story unreinforced brick structure was built in 1914 and will be designed for housing and studios for an artist residency program. On the rooftop, there will be a garden, a bar, installation/performance areas, and a grassy area for relaxation. The project also includes a new 15-story, 100-key hotel tower. On the bi-level rooftop, a restaurant/bar will occupy the space below an outdoor spa and lounge with gardens.



## Crosstown Concourse, Memphis, TN

LRK Architects, Allworld Project Management

Once a vital distribution center for the Mid-South, the 1,500,000-square-foot historic Sears building (1927) had been dormant for over 20 years. LRK worked with a non-profit arts-based organization and its partners to redevelop the 10-story building into a "vertical urban village" that integrates residential, commercial, retail, health and wellness, arts and culture, and education. The design weaves a purposeful collection of diverse tenants and varied uses into a precedent-setting mixed-use community that has served as an anchor and catalyst for further revitalization. Crosstown Concourse received LEED CS Platinum certification and is the largest historic adaptive reuse LEED Platinum certified project in the world.



## The Commonwealth, Memphis, TN

LRK Architects

Construction is nearing completion on the 91-year-old Hickman Building in downtown Memphis. Vacant for nearly 50 years, the 100,000-square-foot building will house offices, apartments, and retail. The renovation of the Hickman Building spreads revitalization east toward two other emerging areas: the Edge and Medical Districts, helping to knit the downtown community together. LRK is providing architectural and interior design services for the renovation.



## 100 Van Ness, Los Angeles, CA, LEED Silver Certified

IMEG

Structural engineering and design services were provided for this remodel and adaptive-reuse project that transformed the outdated 1974 office building into a 510,000-sf modern apartment building. The 29-story building includes 418 units with indoor and outdoor amenities. These amenities include a dramatic roof deck providing residents with 360° views of the Bay Area, garden space, grass lawn, lounges, fire pit and a grilling area.



## Commerce Towers Adaptive Reuse, Houston, TX

IMEG

Major renovation and adaptive reuse of a 24-story two-towered office building into a 537,000-sf multi-family luxury condominium high-rise with 39 units, pool and amenities. All structural revisions to the concrete and steel structure were made without disturbing the original brick facade. Structural challenges included converting the lower six levels of the building into a parking garage, which required the insertion of a new floor, ramp additions and column relocations.



## 100 Barclay, New York, NY

Gardiner & Theobald

Gardiner & Theobald provided project monitoring for iStar Financial on the conversion of commercial-to-residential condominiums. The project is a 1,249,557 GSF commercial-to-residential condominium conversion occupying floors 11-31 of the 32-story historic landmarked building across the street from the World Trade Center/ One World Trade Center.

# Development Concept

An extensive range of uses will be introduced within a series of buildings, ranging in scale and height. The buildings are carefully clustered and organized to maximize user experience and needs.

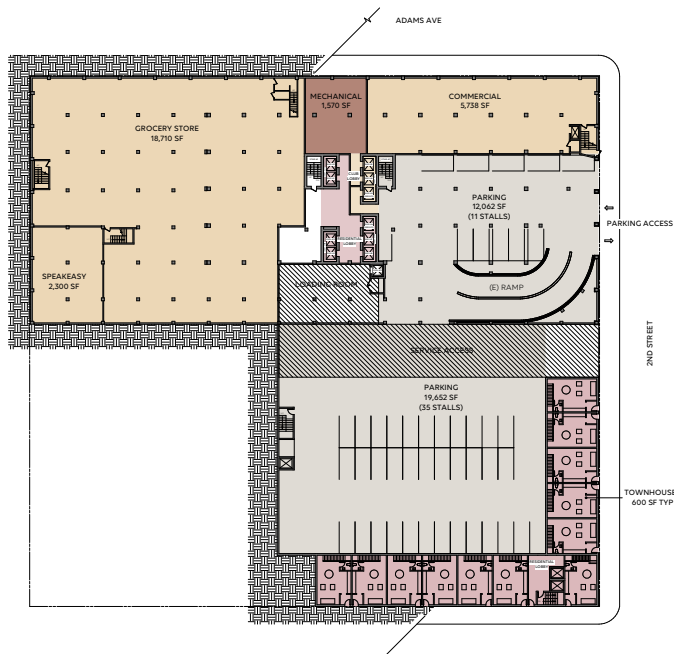
Our proposed development will feature:

- 542 affordable housing units, offered in a broad range of unit types to support a diversity of user / family needs. Residential units will be housed within the adaptive reuse of the historic tower, as well as within a newly constructed 7 story building wrapping a new public parking structure at the southeast corner of the site
- An amenity rich roof deck will unite the two buildings
- 120,000 sf of new commercial uses; including ground floor retail, cafe, bar, music venue, grocery store, plaza dining, as well as club, event space, restaurant and potential city offices at the upper levels of the tower.
- Existing Parking will be renovated and additional parking will be provided within the newly constructed 7-story building for a total of 838 stalls. Diverse array of urban transportation alternatives will also be provided.
- Vibrant public plaza filled with dining, retail and a music venue will serve as an extension of Main Street and increase pedestrian engagement.

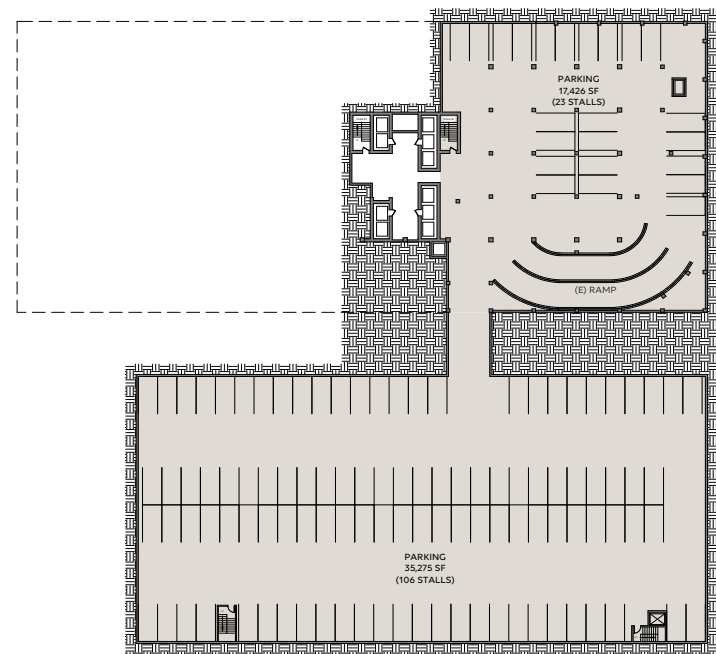
## Following is a walk through of key floors of the proposed development.

The new proposed parking structure sits south of the podium, allowing a connection to the existing parking at all levels including the basement. The new structure acts like an extension to the existing, taking full advantage of the ramp and of the existing vehicular access at 2nd St.

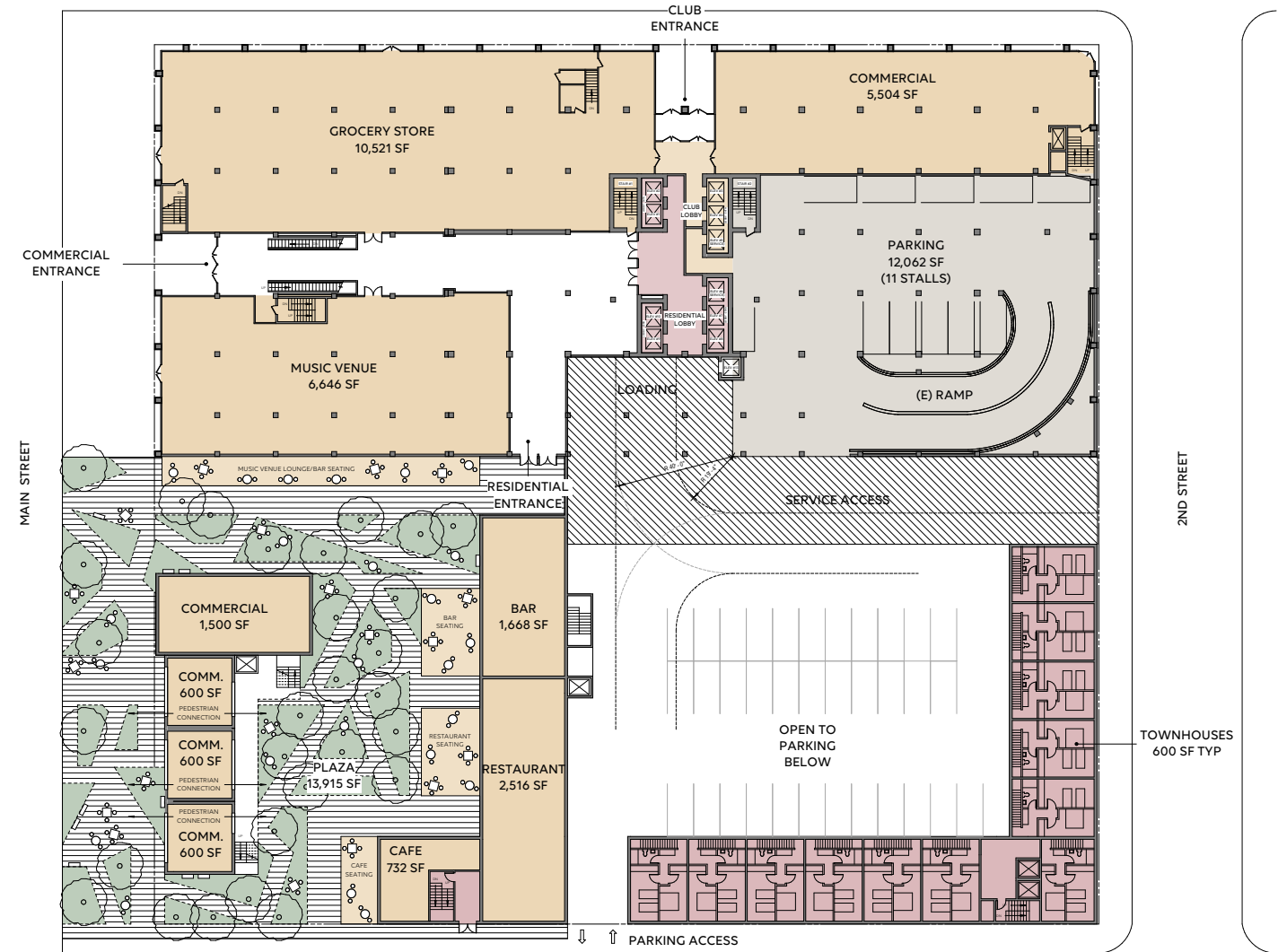
A portion of the first floor parking is dedicated to service through the loading area. In addition, a second car access is provided at Jefferson Ave.



Lower Lobby Floor Plan



Basement Level Floor Plan

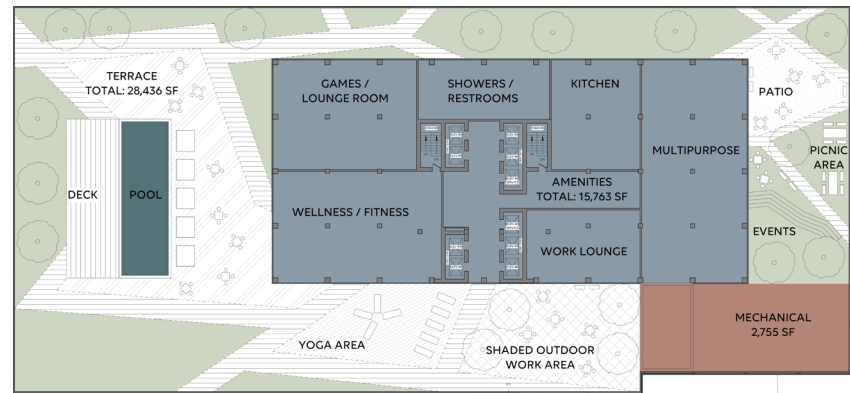


Upper Lobby & Plaza Floor Plan

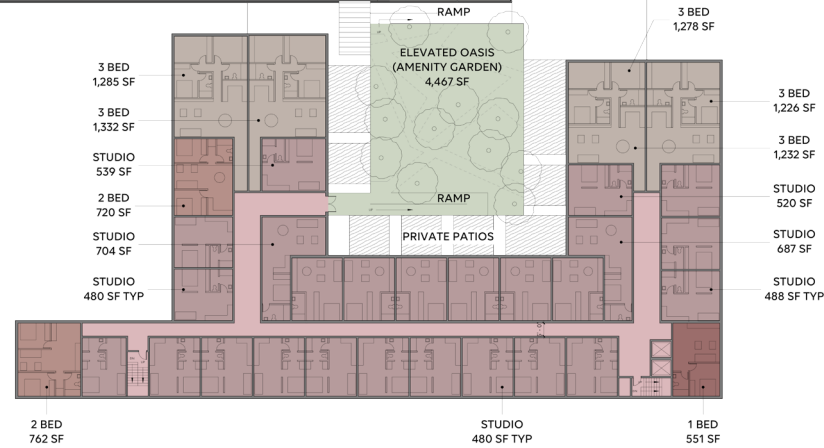
The new parking structure is wrapped with a 7 story residential component at 2nd St. and Jefferson Ave, providing townhouses on the first and second floors, with studios, 1 bedroom, 2 bedroom, and 3 bedroom apartments at the upper levels. On the corner of Main and Jefferson a public plaza emerges, open to the south and west and surrounded by commercial spaces. We propose to rehabilitate the West portion of the four historic buildings at Main St., while partially demolishing their East portion and introducing new storefronts to accommodate a new plaza. This partial demolition will Maintain the historic feel and sense of scale along Main St. and help alter the existing building footprints and provide building depths in line with typical commercial needs and small scale commercial operations.

Inside the existing podium a music venue is proposed, taking advantage of the plaza as an extension. A grocery store at the corner of Main and Adams will provide service to the entire neighborhood.

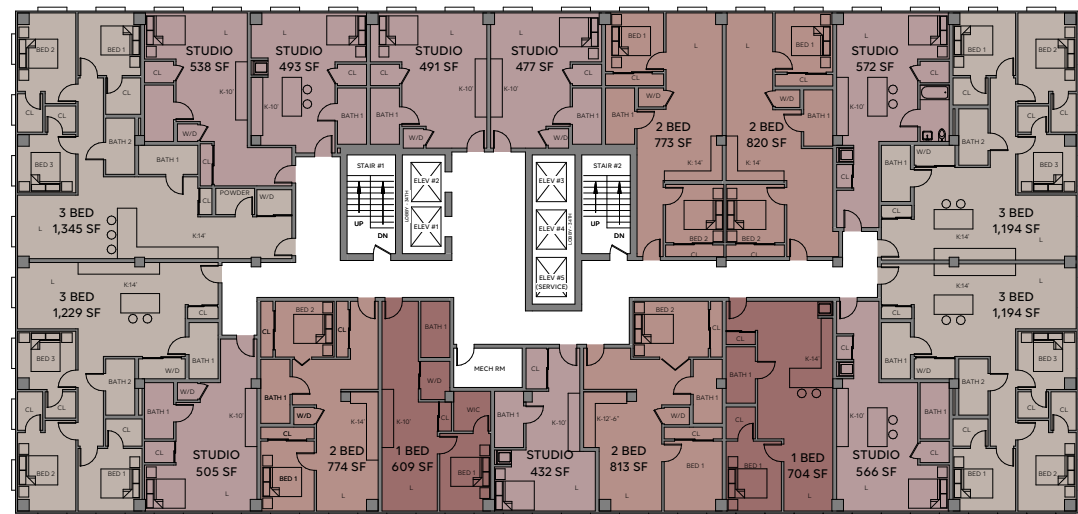
8th Floor - Existing



7th Floor - New Construction

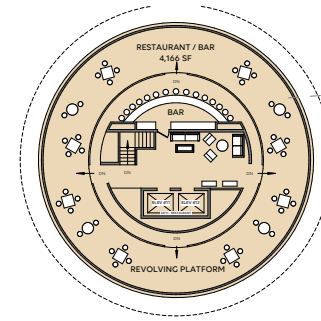


The roof of the new parking structure will be dedicated to the residential tenants, landscaped with full grown trees to provide a sanctuary like space. Connected to the podium roof that provides a diverse amenity spaces: pool to the west, wellness and work space to the south, and patios to the east. The 8th floor tower is fully dedicated to indoor residential amenities.



Typical Tower Residential Floor Plan

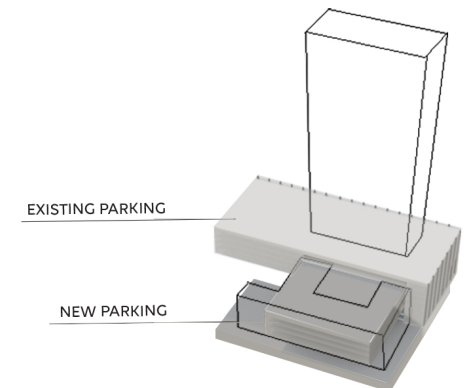
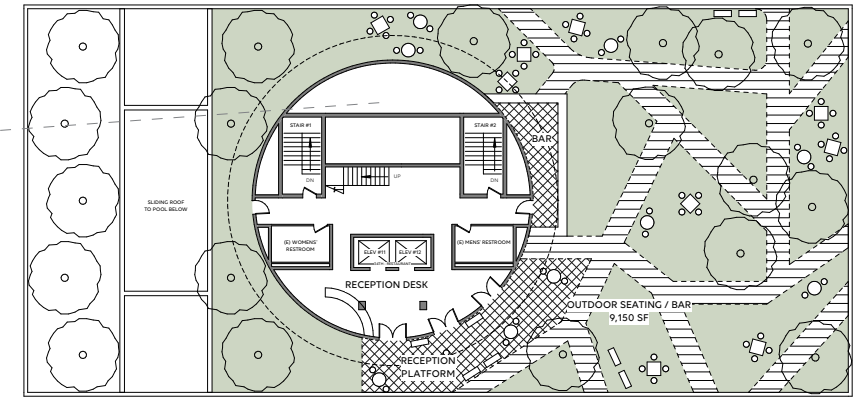
Each floor plate is laid out to provide 16 or 18 new residential units, ranging from studios to 3 bedroom apartments, all with expansive views of the downtown skyline, taking advantage of the added light and visibility offered by the updated and enlarged glazing system around the tower.



38th Floor - Roof Deck

Taking full advantage of the surrounding view, the upper roof will be dedicated to the restaurant and bar with new paving and landscape work.

We are proposing to rehabilitate the sliding glass roof to the west, and reintroduce the 36th floor pool below as part of the proposed club and public event space.

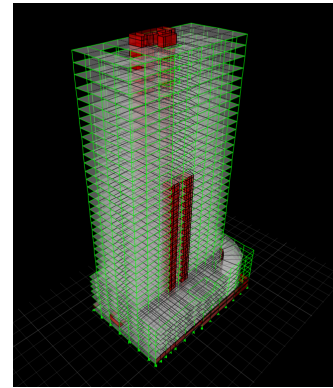


# Design Principles

The five core design principles of the Design Review Board will be exemplified in the following manner:

## 1. Promote Excellence in Design

Through a combination of building restoration and introduction of new high quality building materials, the project aims to be a positive addition to the neighborhood context. In addition, a project scale congruent with neighboring buildings and urban design features that enhance the overall urban fabric will be highlighted.



## 2. Embrace Creativity

The proposed project aims to provide a series of innovative solutions to many of the challenges faced with urban design. As an example, the wrapping of the public parking structure with a single loaded residential block, supports the urban fabric and human scale of the neighborhood and hides the vehicle infrastructure within the core of the property while providing a great public parking amenity to the neighborhood.

## 3. Design with Authenticity, Durability, & Sustainability

**Authenticity** - Is supported whenever building reuse is considered. As adaptive reuse specialists, we understand the value that users place on authentic experiences and we know that these experiences are best supported within existing and historic buildings and neighborhoods.

When we provide a connection to the History of a place, authentic experiences are given a context to thrive. In addition, we always look to uncover potential wherever we can within an existing building. Every unique design feature will be considered and highlighted.



We are proposing a sensitive alteration of the existing tower. As a historically designated building, we understand we must enhance and support the character defining features of the building, while simultaneously modernizing the building envelope.

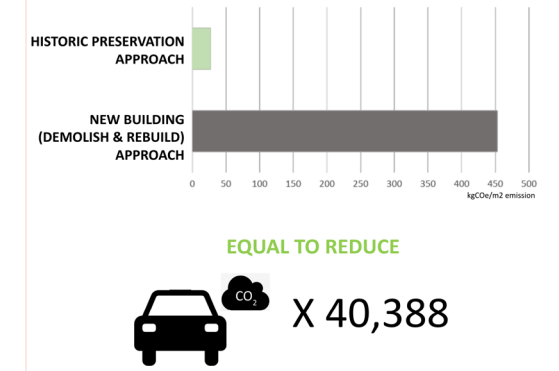
The existing tower facade includes a combination of precast concrete wall panels, precast concrete louvers and punched aluminum windows. The character defining feature of the building is the vertically oriented precast concrete wall panels. The existing horizontal louvers create a secondary 'ladder' pattern on the building and have the negative effect of blocking views and constricting daylight into interior spaces.

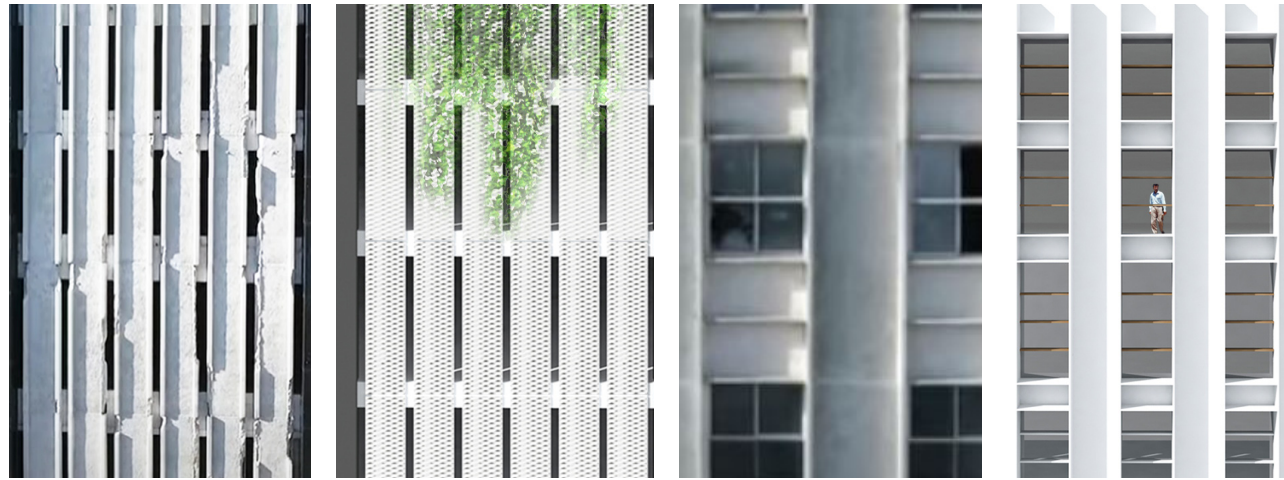
We propose to maintain and enhance the vertical components of the building while simultaneously upgrading the building envelope and building daylighting. Due to advancements in energy performance associated with modern glazing units, our initial analysis suggests we may remove 1/2 of the existing horizontal louvers while improving the building performance, both structurally, increase energy performance, and still maintain building performance targets.

**Durability** - A preliminary seismic assessment of the existing tower has been conducted by our experienced engineering team and initial findings are positive. Our engineering team is considering a series of interventions to retrofit the building per modern standards, seismic upgrades, and life safety. These upgrades have been priced and included in our project budget.

\*See appendix for full assessment document.

**Sustainability** - Our approach in developing this building will align with the Memphis **Climate Action Plan\*** which targets green building implementation in 2025. We also target to exceed Memphis Climate Action Plan goals in energy that requires 10% reduction in buildings and 30% in low-income housing. By reusing the existing building, the embodied carbon saved during the





Existing

Proposed

Existing

Proposed

construction process will likely exceed the targeted carbon reduction compared to building a brand-new building. Understanding the Memphis master plan goal to be carbon free in 2050, we will develop the project with this decarbonization goal in our target and align it with our project budget. In our estimate, our approach will reduce 46% energy usage compared to the existing building with similar usage and 39% reduction in carbon emissions per year. \*See Appendix for full plan.

#### 4. Design to Fit the Context

We are proposing a new construction housing element to align with the tower base podium. This will create a cohesive massing element for the entire site with breaks in massing to accommodate key circulation elements. The new construction features are primarily designed in the international style, complementary to the existing historic tower. Unlike the existing tower, highlighted by the use of precast concrete, the new building will feature a series of lighter vertical shading fins and a warm color palette to offset the tower aesthetic.

#### 5. Enhance the Public Realm & Build a Great Pedestrian Experience

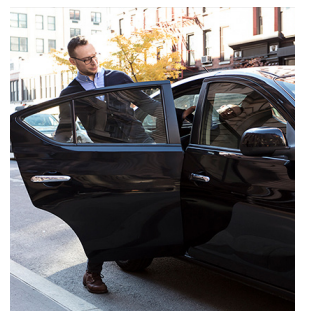
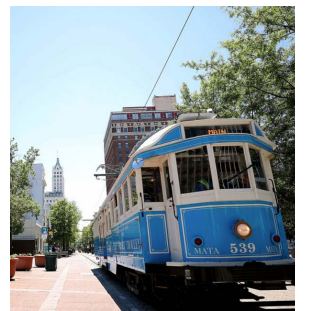
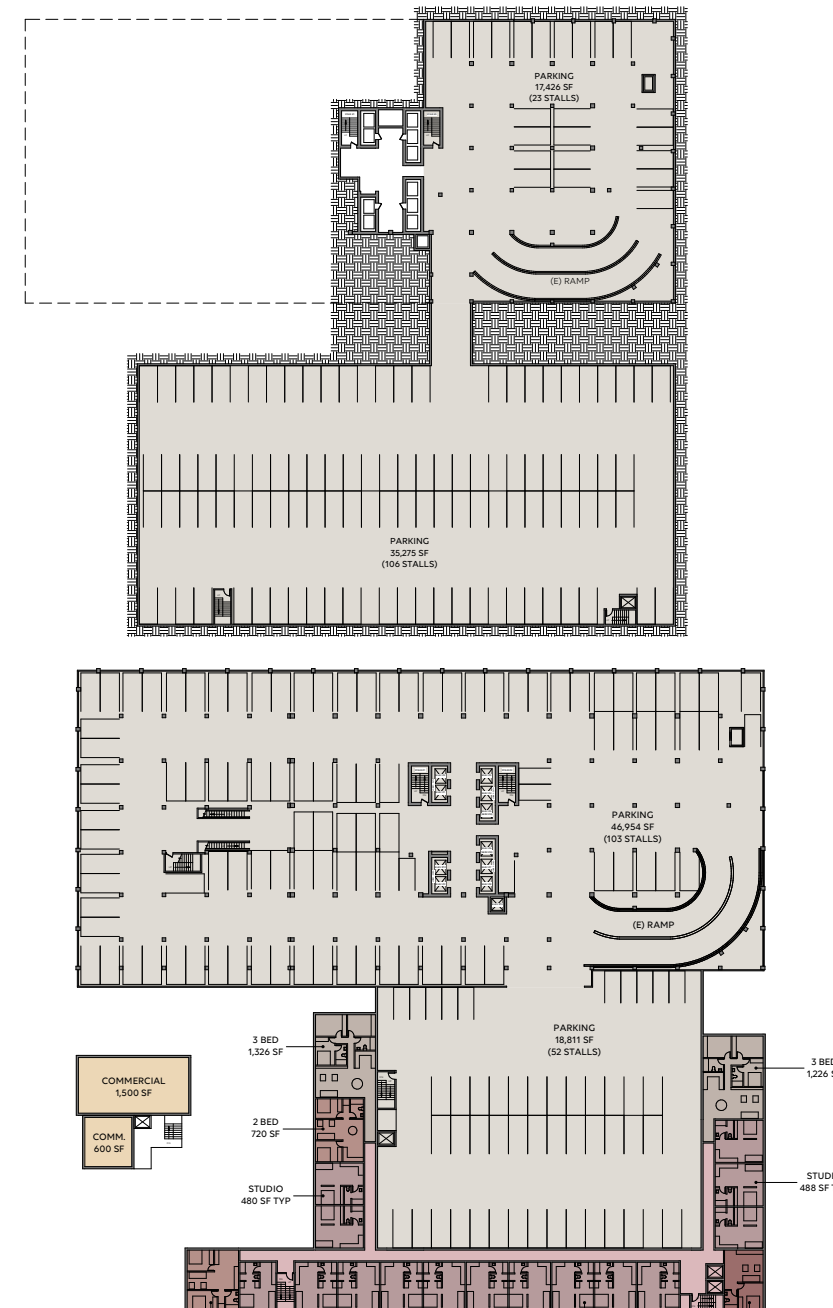
As mentioned, we are proposing a plaza element to complement the public realm. In addition, our proposal will activate 2nd street with townhomes on the ground floor and residential above. This housing addition will provide presence and connection to the sidewalk experience.



# Public Parking & Diverse Mobility

Our team fully comprehends the importance of public parking and diverse mobility options in a dense urban environment. As such, our development will feature a complete renovation of the 490 existing Parking stalls in tandem with the addition of 348 new parking stalls for a total of 838 stalls, a significant portion of which will be dedicated as public parking.

- In addition to parking a diverse array of urban mobility options will also be provided and supported by the development:
- New influx of urban dwellers to support existing pedestrian & public transit networks
- New public plaza to support existing Main St pedestrian street
- Dedicated parking locations for personal mobility scooters and bike sharing integrated into the streetscape
- Dedicated ride share curbside drop-off locations at all primary building entries
- New commercial uses immediately adjacent to existing trolley line-
- New walk-up townhouse units at Jefferson Avenue and North 2nd Street designed to promote pedestrian access to residential units
- Active uses integrated into all site frontages to enhance the public realm and increase pedestrian walkability



# Project Timeline

Our estimated Project Timeline is shown below. No phasing is required or anticipated for this project.

Phase	Start	End	Cal. Days	Notes
RFP Submittal Due	Aug 31, 2021	Sep 1, 2021	1	
Selection Committee Review	Sep 1, 2021	Oct 1, 2021	30	
Finalist Interviews & Development Agreement Negotiations	Oct 1, 2021	Dec 31, 2021	91	
Official engagement of third parties (A&E, GC, PM etc.)	Nov 1, 2021	Dec 31, 2021	60	
Pre-Design, Engineering and Pre-Con Mobilization	Jan 4, 2022	Jan 25, 2022	21	
Schematic Design	Jan 25, 2022	Mar 1, 2022	35 days	
Owner Review	Mar 1, 2022	Mar 11, 2022	10 days	
CM/GC Budget	Mar 1, 2022	Mar 15, 2022	14 days	
Design Development	Mar 15, 2022	May 14, 2022	60 days	
Owner Review	May 14, 2022	May 24, 2022	10 days	
CM/GC Pricing	May 14, 2022	May 28, 2022	14 days	
Construction Documents	May 28, 2022	Aug 11, 2022	75 days	
Owner Review	Aug 11, 2022	Aug 25, 2022	14 days	
Final Bidding & Negotiation	Aug 11, 2022	Sep 8, 2022	28 days	
Permit Issued	Aug 1, 2022	Sep 30, 2022	60 days	Subject to City of Memphis and/or Shelby County review periods.
Notice to Proceed		Oct 1, 2022		
Construction Administration	Oct 1, 2022	Apr 3, 2024	550 days	
Substantial Completion		Apr 3, 2024		

\*No phasing is required or anticipated for this project

# Financial Benefits to the City of Memphis

The introduction of new housing units, both within the existing tower as well as newly constructed units wrapping the proposed parking structure will densify the underutilized real estate parcel and offer hundreds of newly available public parking spots.

The project will introduce hundreds of new residents to this portion of Memphis. These residents will be provided with community serving amenities such as a grocery store, retail, restaurants and additional public parking. These amenities will support not only the new residents, but the entire area as a whole with new residents, new people to work, shop, dine, and play in Downtown. This will assist the rebirth of the neighborhood and in turn the increase property values and incremental tax revenues of the City. Moreover, the site will generate significant sales tax and serve as a new employment basis, with hundreds of new jobs across the project's 120,000 square feet of new commercial, event, retail, restaurant, and grocery outlets.

Through the Accelerate Memphis Fund, we are planning on utilizing the \$10,000,000 of allocated proceeds towards the redevelopment of 100 N Main. The funds will be used to improve the public experience, while minimizing public costs, by being allocated towards public areas and site improvements such as the new public Plaza, sidewalks, lighting, and landscaping as well as towards the newly built onsite public parking. By combining this new density in tandem with open space amenities, we aim to achieve 'appropriate densification' for the site, while reducing public expenditure on infrastructure.

## Our Past and Present Financial Partners



# Financials

## Budget Summary

Our team of professionals has carefully studied the due-diligence materials provided with the RFP and performed additional preliminary independent reports and analysis of the site. Our due diligence to date encumbered careful studies of the historic as-builts drawings, updated seismic analysis report including 3D modeling of the existing podium and tower, energy performance analysis, preliminary investigation of the deteriorated existing condition of the façade with the assistance of a specialty forensic engineering drone and more. Our estimated project budget is shown below.

### 100 North Main

#### Development Budget August 27, 2021

Overall Project Cost						
Description	Extension	Total				
1.00 Overall Project Budget						
2.00 Development Budget Total	\$ 224,298,394	\$ 224,298,394				

Purchase Price, Tenant Improvements and Programmatic Soft Costs						
Description	% Soft Costs	Unit Cost	Extension	Total		
1.00 Purchase Price			5,000,000	5,000,000		
2.00 Architecture & Engineering			6,500,000	6,500,000		
3.00 Carry costs during construction			1,000,000	1,000,000		
4.00 Commercial TI			2,021,130	2,021,130		
5.00 Club, Restaurant and Event Space TI			3,855,000	3,855,000		
6.00 Commercial Leasing Commissions			1,000,000	1,000,000		
7.00 Interest Reserves, Origination and Closing Costs			6,197,308	6,197,308		
8.00 HEHFB PILOT Fee			2,728,969	2,728,969		
8.00 Program Budget Total			\$ 28,302,407	\$ 28,302,407		

Programmatic Construction Costs - Summary						
Description	% SF	GSF	Unit Cost	Extension	Total	
1.00 Existing Structure & Shell				64,351,580	64,351,580	
2.00 Existing Residential Upfit (8 Amenity, 9 - 23 Floor, & 24 - 33 Floor)	42.6%	440,690	\$ 136.13	59,993,150	59,993,150	
3.00 Existing Commercial Upfit	10.6%	109,275	\$ 61.44	6,713,750	6,713,750	
4.00 Existing Commercial Low Rise Upfit - Jefferson & Main	0.9%	9,200	\$ 75.00	690,000	690,000	
5.00 Existing Parking (Repair / Upgrades)	23.3%	241,025	\$ 19.03	4,585,750	4,585,750	
6.00 New Shell & Structure				6,707,563	6,707,563	
7.00 New Residential Upfit	9.1%	94,000	\$ 135.00	12,690,000	12,690,000	
8.00 New Commercial Upfit	0.6%	6,000	\$ 50.00	300,000	300,000	
9.00 New Parking Deck	12.9%	133,250	\$ 93.05	12,399,500	12,399,500	
10.00 Site				2,000,000	2,000,000	
11.00 Project Construction Contingency (15%)				25,564,694	25,564,694	
12.00 Program Budget Total		1,033,440	\$ 189.65	\$ 195,995,986	\$ 195,995,986	

\*Programmatic Construction Budget prepared with the professional assistance of Robins & Morton General Contractors

# Financials

ROBINS & MORTON							
100 North Main							
Programmatic Construction Costs - By Space							
Description	Qty	Unit SF	Net SF	GSF	Unit Cost	Extension	Total
<b>1.00 Existing Structure &amp; Shell</b>							\$ 64,351,580
1.01 Abatement Allowance	1	559,165			\$ 10.00	\$ 5,591,650	
1.02 Building HVAC - Chiller System	1	1			\$ 15,000,000	\$ 15,000,000	
1.03 Building Plumbing Service - 5' Out to 1' AFF	1	1			\$ 2,500,000	\$ 2,500,000	
1.04 Building Fire Protection Service & Pump	1	1			\$ 1,500,000	\$ 1,500,000	
1.05 Building Electrical Service & Generator	1	1			\$ 2,500,000	\$ 2,500,000	
1.06 Skin Restoration (Parking)	1	32,000			\$ 75.00	\$ 2,400,000	
1.07 Skin Restoration (Tower) Pressure wash existing precast	1	181,000			\$ 3.50	\$ 633,500	
1.08 New Roof w/Pavers	1	15,750			\$ 65.00	\$ 1,023,750	
1.09 Tower Windows	1	81,640			\$ 170.00	\$ 13,878,800	
1.10 Ground Level Windows	1	3,754			\$ 65.00	\$ 244,010	
1.11 Restaurant Windows	1	1,500			\$ 75.00	\$ 112,500	
1.12 Elevator Modifications / Modernizations	1	309			\$ 32,000	\$ 9,888,000	
1.13 Escalators	2	3			\$ 100,000	\$ 600,000	
1.14 Building Signage	1	1			\$ 250,000	\$ 250,000	
1.15 ADA /Life Safety Modification Allowance	1	559,165			\$ 8.00	\$ 4,473,320	
1.16 Tower Crane	1	1			\$ 1,000,000	\$ 1,000,000	
1.17 Structural Retrofit and reinforcement	1	1			\$ 2,756,050	\$ 2,756,050	
<b>2.00 Existing Residential Upfit (8 Amenity, 9 - 23 Floor, &amp; 24 - 33 Floor)</b>							\$ 59,993,150
2.01 Residential Amenity Level w/Pool (8th Floor)	1	46,950	46,950	46,950	\$ 135.00	\$ 6,338,250	
2.02 Pool on 8th Floor Deck	1	1			\$ 500,000	\$ 500,000	
2.03 Residential Totals (9-23)	15	12,782	191,730	191,730	\$ 135.00	\$ 25,883,550	
2.04 Studio (9-23)	90					\$ -	
2.05 1 Bed (9-23)	45					\$ -	
2.06 2 Bed (9-23)	45					\$ -	
2.07 3 Bed (9-23)	60					\$ -	
2.08 Circulation (9-23)	15	1,299	19,485	19,485	\$ 135.00	\$ 2,630,475	
2.09 Common / Mechanical (9-23)	15	1,669	25,035	25,035	\$ 135.00	\$ 3,379,725	
2.10 Residential Totals (24-33)	10	13,680	136,800	136,800	\$ 135.00	\$ 18,468,000	
2.11 Studio (24-33)	80					\$ -	
2.12 1 Bed (24-33)	40					\$ -	
2.13 2 Bed (24-33)	20					\$ -	
2.14 3 Bed (24-33)	40					\$ -	
2.15 Circulation (24-33)	10	888	8,880	8,880	\$ 135.00	\$ 1,198,800	
2.16 Common / Mechanical (24-33)	10	1,181	11,810	11,810	\$ 135.00	\$ 1,594,350	
<b>3.00 Existing Commercial Upfit</b>							\$ 6,713,750
3.01 Lower Lobby - Grocery Store Shell	1	30,000	30,000	30,000	\$ 75.00	\$ 2,250,000	
3.02 Upper Lobby	1	17,400	17,400	17,400	\$ 50.00	\$ 870,000	
3.03 Upper Lobby - Main Lobby / Residential Entrance	1	5,000	5,000	5,000	\$ 150.00	\$ 750,000	
3.04 3rd Floor	1	5,475	5,475	5,475	\$ 50.00	\$ 273,750	
3.05 34th Floor	1	15,750	15,750	15,750	\$ 50.00	\$ 787,500	
3.06 35th Floor	1	15,750	15,750	15,750	\$ 50.00	\$ 787,500	
3.07 36th Floor	1	15,750	15,750	15,750	\$ 50.00	\$ 787,500	
3.08 38th Floor	1	4,150	4,150	4,150	\$ 50.00	\$ 207,500	
<b>4.00 Existing Commercial Low Rise Upfit - Jefferson &amp; Main</b>							\$ 690,000
4.01 Upper Lobby	1	3,050	3,050	3,050	\$ 75.00	\$ 228,750	
4.02 3rd Floor	1	3,050	3,050	3,050	\$ 75.00	\$ 228,750	
4.03 4th Floor	1	1,850	1,850	1,850	\$ 75.00	\$ 138,750	
4.04 5th Floor	1	1,250	1,250	1,250	\$ 75.00	\$ 93,750	


# Financials

5.00 Existing Parking (Repair / Upgrades)								\$ 4,585,750
5.01	Basement	1	17,400	17,400	17,400	\$ 15.00	\$ 261,000	
5.02	Lower Lobby	1	12,050	12,050	12,050	\$ 15.00	\$ 180,750	
5.03	Upper Lobby	1	11,725	11,725	11,725	\$ 15.00	\$ 175,875	
5.04	3rd Floor	1	12,050	12,050	12,050	\$ 15.00	\$ 180,750	
5.05	4th Floor	1	46,950	46,950	46,950	\$ 15.00	\$ 704,250	
5.06	5th Floor	1	46,950	46,950	46,950	\$ 15.00	\$ 704,250	
5.07	6th Floor	1	46,950	46,950	46,950	\$ 15.00	\$ 704,250	
5.08	7th Floor	1	46,950	46,950	46,950	\$ 15.00	\$ 704,250	
5.09	MEP / Sprinkler Upgrades	1	194,075			\$ 5.00	\$ 970,375	
6.00 New Shell & Structure								\$ 6,707,563
6.01	Skin Reconfiguration for Retail 1500 ( 4 Floors)	1	7,050			\$ 75.00	\$ 528,750	
6.02	Skin Reconfiguration for Retail 600 ( 3 Floors)	1	2,800			\$ 75.00	\$ 210,000	
6.03	Skin Reconfiguration for Retail 1200 (2 Floors)	1	3,500			\$ 75.00	\$ 262,500	
6.04	Demolition / Abatement of back half of Retail	1	10,000			\$ 30.00	\$ 300,000	
6.05	Demolition / Abatement of Existing Retail to remain	1	3,300			\$ 20.00	\$ 66,000	
6.06	New Upper Lobby Retail 6,000 (1 Floor)	1	6,000			\$ 130.00	\$ 780,000	
6.07	Residential Skin & Structure (1st & 2nd)	2	7,188			\$ 75.00	\$ 1,078,125	
6.08	Residential Skin & Structure (3rd-6th)	4	12,813			\$ 55.00	\$ 2,818,750	
6.09	Residential Skin & Structure (7th)	1	12,063			\$ 55.00	\$ 663,438	
7.00 New Residential Upfit								\$ 12,690,000
7.01	Lower Lobby	1	7,500	7,500	7,500	\$ 135.00	\$ 1,012,500	
7.02	Upper Lobby	1	7,500	7,500	7,500	\$ 135.00	\$ 1,012,500	
7.03	3rd Floor	1	14,250	14,250	14,250	\$ 135.00	\$ 1,923,750	
7.04	4th Floor	1	14,250	14,250	14,250	\$ 135.00	\$ 1,923,750	
7.05	5th Floor	1	14,250	14,250	14,250	\$ 135.00	\$ 1,923,750	
7.06	6th Floor	1	14,250	14,250	14,250	\$ 135.00	\$ 1,923,750	
7.07	7th Floor	1	22,000	22,000	22,000	\$ 135.00	\$ 2,970,000	
8.00 New Commercial Upfit								\$ 300,000
8.01	New Upper Lobby Retail 6,000 (1 Floor)	1	6,000	6,000	6,000	\$ 50.00	\$ 300,000	
9.00 New Parking Deck								\$ 12,399,500
9.01	Basement	1	35,000	35,000	35,000	\$ 110.00	\$ 3,850,000	
9.02	Lower Lobby			-	-	\$ 70.00	\$ -	
9.03	Upper Lobby	1	19,650	19,650	19,650	\$ 70.00	\$ 1,375,500	
9.04	3rd Floor	1	19,650	19,650	19,650	\$ 70.00	\$ 1,375,500	
9.05	4th Floor	1	19,650	19,650	19,650	\$ 70.00	\$ 1,375,500	
9.06	5th Floor	1	19,650	19,650	19,650	\$ 70.00	\$ 1,375,500	
9.07	6th Floor	1	19,650	19,650	19,650	\$ 70.00	\$ 1,375,500	
9.08	Shoring	1	16,720			\$ 100.00	\$ 1,672,000	
10.00 Site								\$ 2,000,000
10.01	Site Allowance - Sidewalks, Landscaping, Fencing and Plaza Area	1	1			\$ 2,000,000	\$ 2,000,000	
11.00 Project Contingency								\$ 25,564,694
11.01	Project Construction Contingency & Escalation	1	15%			\$ 25,564,694	\$ 25,564,694	
11.00 Program Budget Total			1,033,440	1,033,440		\$ 189.65	195,995,986	195,995,986

# Financials

## Proforma, Sources & Uses

Our project proforma and sources & uses are shown below. Further breakdown of our assumptions can be provided upon request.

Purchase Price		100 N Main - Development Proforma Summary		CAP (at Stabilization)				
PP	\$ 5,000,000			CAP (at Stabilization) <b>6.55%</b>				
Total	\$ 5,000,000							
Capitalization				Debt Structure				
Equity	\$ 21,862,597			Start (YR)	1			
Debt	\$ 80,286,600			End (YR)	40			
LIHTC/HTC	\$ 112,149,197			Loan Type	HUD Loan			
Accelerate Memphis Fund	\$ 10,000,000			Amount	\$ 80,286,600			
Total	\$ 224,298,394			Finance Costs	\$ 2,197,308			
				Debt Service during Construction	\$ 4,000,000			
Proposed Areas		Gross SF						
Residential	505,825							
Retail / Commercial	67,371							
Club, Restaurant and Event Space	51,400							
Parking	371,675							
Total SF	996,271							
Parking Spaces	838							
Costs \$/PSF								
Total Cost \$/PSF	\$ 225.14							
INCOME PROJECTIONS - (at full stabilization - Year 5)								
Gross Income Per Use	Unit Count	Gross SF	Net SF	Lease Type	SPSF (Yr)	Occupancy (%)	Rent (Mo)	Rent (Yr.)
Residential Income	542	505,825	404,852			95%	434,401	5,212,810
Residential - Other Income (1%)							4,344	52,128
Retail / Commercial		67,371	67,371	NNN	32.50	93%	169,691	2,036,288
Club, Restaurant and Event Space		51,400	51,400	NNN	32.50	93%	129,464	1,553,565
Office				FSG		0%	0	0
Parking Spaces	838			Per Stall / Annum	900.00	100%	62,850	754,200
<b>Effective Gross Income</b>							<b>800,749</b>	<b>9,608,991</b>
Fixed Expenses								
Taxes							48,625	583,498
Management							24,022	288,270
Insurance							14,679	176,150
Utilities							33,875	406,500
Variable Expenses								
Payroll							45,167	542,000
Admin							18,067	216,800
Contract Services							22,583	271,000
R&M							22,583	271,000
<b>Total Operating Expenses</b>							<b>229,601</b>	<b>2,755,218</b>
Replacement Reserves							13,550	162,600
<b>NOI</b>							<b>557,598</b>	<b>6,691,173</b>
*Residential rents are underwritten at an average of 60% of AMI								

Sources	Uses		
Equity	21,862,597	Purchase Price	5,000,000.00
Debt	80,286,600	Hard Costs	170,431,292.50
LIHTC/HTC	112,149,197	TI & LC	6,876,130.00
Accelerate Memphis Fund	10,000,000	Soft Costs - A&E and Carry	7,500,000.00
		Debt Service during construction	4,000,000.00
		Origination, Finance costs	2,197,308.30
		Contingency (15%)	25,564,693.88
		HEHFB's PILOT Closing Fee	2,728,969.39
<b>Total</b>	<b>224,298,394.06</b>	<b>Total</b>	<b>224,298,394.06</b>



# Financials



**To:** A to be formed SPE controlled by Tom Intrator  
**From:** Bill O'Brien  
**Date:** August 27, 2021  
**Re:** Proposed 536-unit LIHTC development  
 100 N Main St.  
 Memphis



August 26, 2021

To Whom It May Concern,

This letter is in reference to the proposed acquisition and development of 100 North Main Street, Memphis, TN 38103 by an entity to be controlled by Tom Intrator.

Arbor Realty Trust has worked with Tom Intrator for several years closing our first transaction together in 2013. Since then, we have closed on both acquisitions as well as refinancing transactions across multiple platforms including Fannie Mae, Freddie Mac, HUD, CMBS and Bridge. Such transactions have totaled in excess of \$200mm which have since been repaid in full.

Sincerely,

Noah Passage  
 Agency Production Associate

ARBOR REALTY TRUST, INC.  
 333 Earle Ovington Blvd. · Suite 900 · Uniondale, NY 11553-3617 · 516.506.4200 · Fax: 516.832.8045

Arbor Commercial Funding, LLC ("Arbor") has reviewed the request for financing, and based on a limited review, has interest in providing financing at the following terms:

FHA Section 221(d)(4) Conditional Loan Terms	
Loan Amount	\$80,286,600
Loan Term	Up to 40 Years (Limited to 75% of Remaining Economic Useful Life of Property as determined by Arbor and HUD)
Amortization (act/360)	Up to 40 Years (Will match Loan Term)
Note Rate	2.93%
Prepayment	1 year lockout followed by 9% of the outstanding principal balance in Year 2, declining 1% per year thereafter. No prepayment penalty after 10 years.
Arbor Commitment Fee	1.0%
Application/Legal Deposit	\$50,000
Recourse	Non-Recourse
Borrowing Entity	Single Asset and Single Purpose Entity
Minimum DSCR	1.30x
Maximum LTV/LTC	80%
HUD Mortgage Insurance	0.75% of the Loan Amount payable at Closing and 0.25% of the Loan Amount calculated annually and included with the debt service constant calculation.
HUD Exam Fee	0.30% of the Loan Amount payable at submission of application for Firm Commitment to HUD.
HUD Inspection Fee	The HUD inspection fee is \$5 per thousand of the mortgage amount for new construction and \$5 per thousand of improvement costs for substantial rehabilitation.
Estimated Replacement Reserves	Estimated to be \$250/unit per annum funded at Closing (final amount will be determined based upon the PCNA report)
Comments	<p><sup>1</sup> Prior to initiating processing and underwriting, Arbor will discuss the Project with the applicable HUD office. The proposed terms herein are subject to HUD's endorsement of the feasibility of the Project based on its current assessment of property operations, economic conditions and the supply and demand factors in the Project's market.</p> <p><sup>1</sup> The Proposed Loan assumes that demand from non-military households is sufficient to sustain occupancy in both the subject property and the market as a whole. This must be confirmed by the appraisal.</p> <p><sup>1</sup> The Proposed Loan assumes HUD approval of commercial income and space</p> <p><sup>1</sup> The Proposed Loan assumes project will qualify for Green MIP</p> <p><sup>1</sup> Arbor's underwriting is subject to the appraiser's confirmation of Borrower's estimated rents, other income, vacancy, and expenses appropriate for the market.</p> <p><sup>1</sup> Arbor's credit and financial analysis of the Borrower is subject to its review of the proposed Borrower structure. Generally, individuals or entities holding controlling interests and/or ownership interests of 25% or greater in the Borrower are considered Principals and must be underwritten for HUD approval.</p> <p><sup>1</sup> The estimated Interest Rate reflects the current applicable U.S. Treasury yield and current market conditions for the spread. Both the Treasury yield and spread are subject to movement based on market conditions and/or FHA program changes. The Interest Rate will fluctuate until Rate Lock.</p>

**DISCLAIMER**

All properties are subject to satisfactory Arbor due diligence underwriting including: satisfactory appraisal and Phase I (documenting no environmental risks), satisfactory credit review of the borrowing entity and Key Principals, and satisfactory review of the property's market and submarket. Please note this letter of interest serves to outline the terms of the proposed financing of the referenced transaction. If the proposed terms are acceptable, Arbor would begin processing a formal application letter, based on the above terms, subject to receipt of any additional property, market, and borrower information deemed necessary to complete the preliminary loan analysis.



# 18 MAIN

CONFIDENTIAL



# 18 MAIN

## APPENDIX

CONFIDENTIAL



### **100 N Main RFP Disclaimer**

This confidential RFP Response and Appendix have been prepared by 18 Main LLC (“18 Main”) as a response to the 100 North Main – Request for Proposal that was issued by the DMC on June 15, 2021.

The contents of this RFP response and Appendix are strictly confidential and are intended to provide the DMC, DMA and other relevant parties within the City of Memphis with the opportunity to determine their interest in 18 Main’s proposed development at 100 N Main and may not be used or reproduced or published in any other way.

This RFP Response does not constitute an offer to sell or a solicitation of an offer to buy any securities and may not be used or relied upon in connection with any such offer or sale of securities.

The information set forth herein (the “Information”) does not purport to be complete, is subject to change and is not guaranteed as to completeness or accuracy. No representations or warranties, express or implied, are made with respect to the accuracy or completeness of the Information. Should you be interested in further information and 18 Main so elects, you will have the opportunity to access additional information and have the ability to conduct additional due diligence regarding the Opportunity.

Certain statements contained in this presentation are forward-looking statements. These forward-looking statements are based on current expectations, estimates and projections about the market in which the properties are located, and the beliefs and assumptions of 18 Main. Words such as “expects”, “anticipates”, “should”, “intends”, “plans”, “believes”, “seeks”, “estimates”, “forecasts”, “projects”, variations of such words and similar expressions are intended to identify such forward-looking statements. These statements are not guarantees of future performance and involve certain risks, uncertainties and assumptions which are difficult to predict. Therefore, actual outcomes and results may differ materially from what is expressed or forecasted in such forward-looking statements.

Among the factors that could cause actual results to differ materially are the general economic climate, inflationary trends, competition and the supply of and demand for property, interest rate levels, the availability of financing, potential environmental liability, changes in tax and corporate regulations and other risks associated with the ownership and acquisition of property, including risks in occupancy, changes in the legal or regulatory environment or that operation costs may be greater than anticipated.

This RFP Response and Appendix are strictly confidential and intended solely for your own limited use and consideration within the RFP process and under no circumstance be published without prior written consent by 18 Main LLC. By acknowledgment of your receipt of this summary, you agree that the summary and its contents are confidential, that you will hold and treat it in the strictest of confidence, that you will not, directly or indirectly, disclose or permit anyone else to disclose this RFP Response and Appendix or its contents to any other person, firm or entity without prior written authorization of 18 Main, and that you will not use or permit to be used this RFP Response and Appendix or their contents in any fashion or manner detrimental to the interest of 18 Main.

Photocopying or other duplication is strictly prohibited. If you do not wish to pursue discussion leading to this Opportunity, or if in the future you discontinue such discussion, you agree to return this confidential RFP Response to 18 Main.



## Appendix - Table of Contents

Architectural Concept Drawings

Development Team Statement of Qualifications

Preliminary Seismic Assessment

18  
MAIN



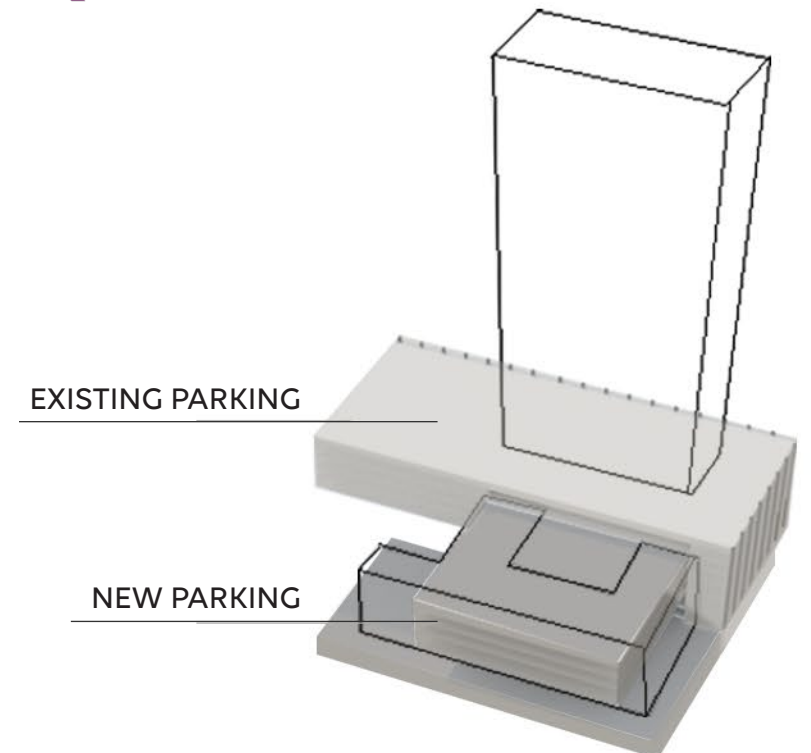
# 18 MAIN

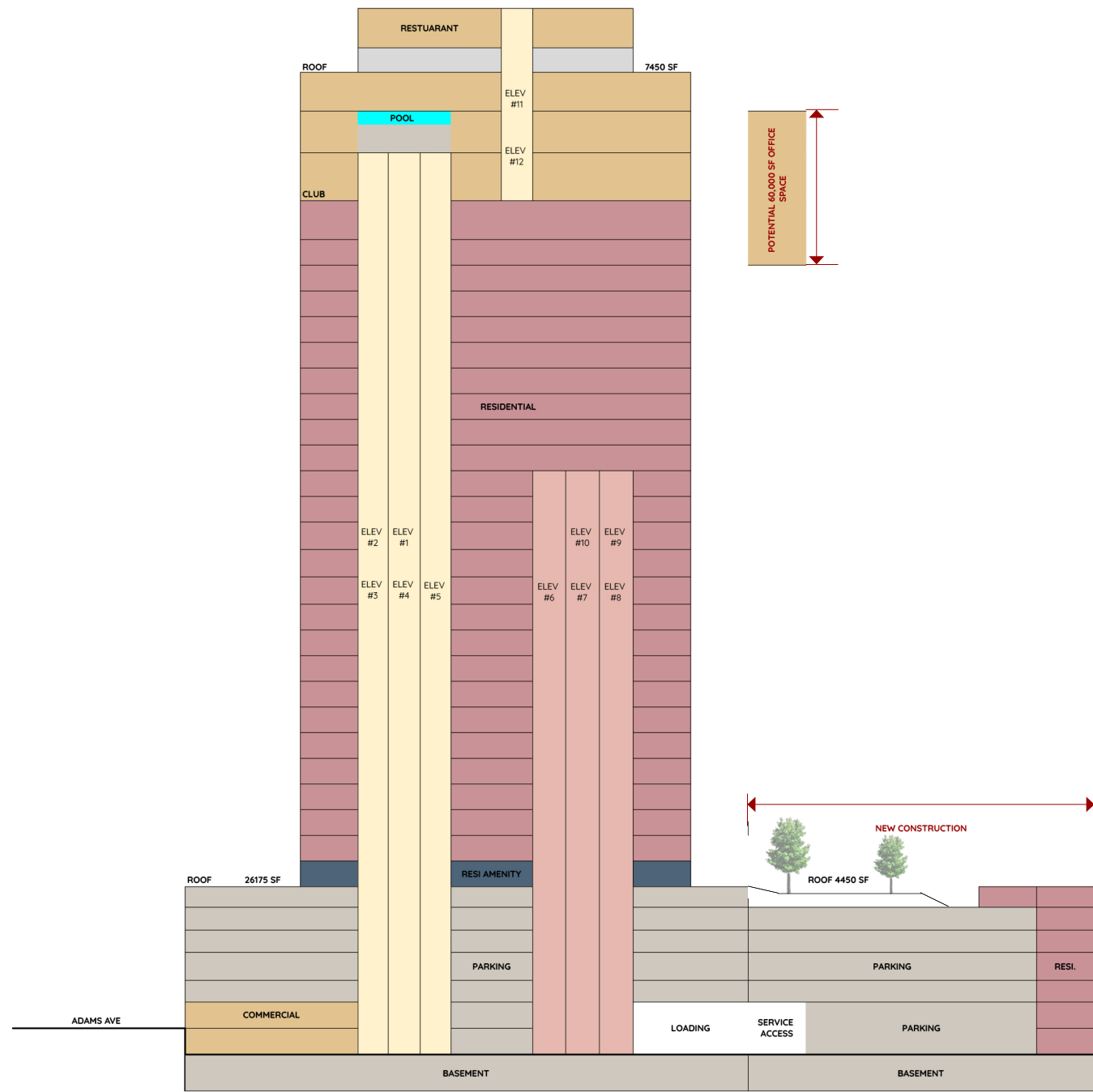
## APPENDIX ARCHITECTURAL CONCEPT DRAWINGS

CONFIDENTIAL



PEDESTRIAN ACCESS  
 VEHICULAR ACCESS





38TH FLOOR	-	4,150	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
37TH FLOOR	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
36TH FLOOR	-	15,750	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
35TH FLOOR	-	15,750	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
34TH FLOOR	-	15,750	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
33RD FLOOR	15,750	-	-	-	-	-	-	-	18	-	-	-	8	2	4	4	-	-	-	-
32ND FLOOR	15,750	-	-	-	-	-	-	-	18	-	-	-	8	2	4	4	-	-	-	-
31ST FLOOR	15,750	-	-	-	-	-	-	-	18	-	-	-	8	2	4	4	-	-	-	-
30TH FLOOR	15,750	-	-	-	-	-	-	-	18	-	-	-	8	2	4	4	-	-	-	-
29TH FLOOR	15,750	-	-	-	-	-	-	-	18	-	-	-	8	2	4	4	-	-	-	-
28TH FLOOR	15,750	-	-	-	-	-	-	-	18	-	-	-	8	2	4	4	-	-	-	-
27TH FLOOR	15,750	-	-	-	-	-	-	-	18	-	-	-	8	2	4	4	-	-	-	-
26TH FLOOR	15,750	-	-	-	-	-	-	-	18	-	-	-	8	2	4	4	-	-	-	-
25TH FLOOR	15,750	-	-	-	-	-	-	-	18	-	-	-	8	2	4	4	-	-	-	-
24TH FLOOR	15,750	-	-	-	-	-	-	-	16	-	-	-	7	1	4	4	-	-	-	-
23RD FLOOR	15,750	-	-	-	-	-	-	-	16	-	-	-	7	1	4	4	-	-	-	-
22ND FLOOR	15,750	-	-	-	-	-	-	-	16	-	-	-	7	1	4	4	-	-	-	-
21ST FLOOR	15,750	-	-	-	-	-	-	-	16	-	-	-	7	1	4	4	-	-	-	-
20TH FLOOR	15,750	-	-	-	-	-	-	-	16	-	-	-	7	1	4	4	-	-	-	-
19TH FLOOR	15,750	-	-	-	-	-	-	-	16	-	-	-	7	1	4	4	-	-	-	-
18TH FLOOR	15,750	-	-	-	-	-	-	-	16	-	-	-	7	1	4	4	-	-	-	-
17TH FLOOR	15,750	-	-	-	-	-	-	-	16	-	-	-	7	1	4	4	-	-	-	-
16TH FLOOR	15,750	-	-	-	-	-	-	-	16	-	-	-	7	1	4	4	-	-	-	-
15TH FLOOR	15,750	-	-	-	-	-	-	-	16	-	-	-	7	1	4	4	-	-	-	-
14TH FLOOR	15,750	-	-	-	-	-	-	-	16	-	-	-	7	1	4	4	-	-	-	-
13TH FLOOR	15,750	-	-	-	-	-	-	-	16	-	-	-	7	1	4	4	-	-	-	-
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9TH FLOOR	15,750	-	-	-	-	-	-	-	16	-	-	-	7	1	4	4	-	-	-	-
8TH FLOOR	15,750	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-
7TH FLOOR	-	-	-	-	46,950	23,025	-	-	-	32	103	-	25	1	2	4	-	-	-	-
6TH FLOOR	-	-	-	-	46,950	14,425	-	18,800	-	20	112	52	15	1	2	2	-	-	-	-
5TH FLOOR	-	-	-	-	46,950	14,425	-	18,800	-	20	112	52	15	1	2	2	-	-	-	-
4TH FLOOR	-	-	2,100	46,950	14,425	-	18,800	-	20	103	52	15	1	2	2	-	-	-	-	-
3RD FLOOR	-	5,500	3,300	12,000	14,425	-	19,650	-	20	11	52	15	1	2	2	-	-	-	-	-
UPPER LOBBY	-	22,650	3,300	12,050	7,800	4,900	-	-	-	11	-	-	-	-	-	-	-	-	-	-
LOWER LOBBY	-	26,750	-	12,050	7,800	-	19,650	-	12	11	35	-	-	-	-	-	-	-	-	12
PARKING	-	-	-	17,425	-	-	35,275	-	-	-	23	106	-	-	-	-	-	-	-	-
<b>TOTAL</b>	<b>409,500</b>	<b>106,300</b>	<b>8,700</b>	<b>241,325</b>	<b>96,325</b>	<b>4,900</b>	<b>130,975</b>	<b>418</b>	<b>124</b>	<b>486</b>	<b>349</b>	<b>269</b>	<b>39</b>	<b>110</b>	<b>112</b>	<b>12</b>				
	RESL.	COMM. TOWER	COMM. LOW RISE	PARKING	RESL.	COMM.	PARKING	EXISTING Bldg.	NEW Bldg.	EXISTING Bldg.	NEW Bldg.	STUDIO	1BED	2BED	3BED	TOWNHOUSE (2BED)				
<b>GRAND TOTAL</b>	<b>(E) GROSS FLOOR AREA (SQFT)</b>				<b>(N) GROSS FLOOR AREA (SQFT)</b>			<b>UNIT COUNT</b>		<b>PARKING COUNT</b>		<b>UNIT TYPE</b>								
	765,825				232,200			542		835		542								

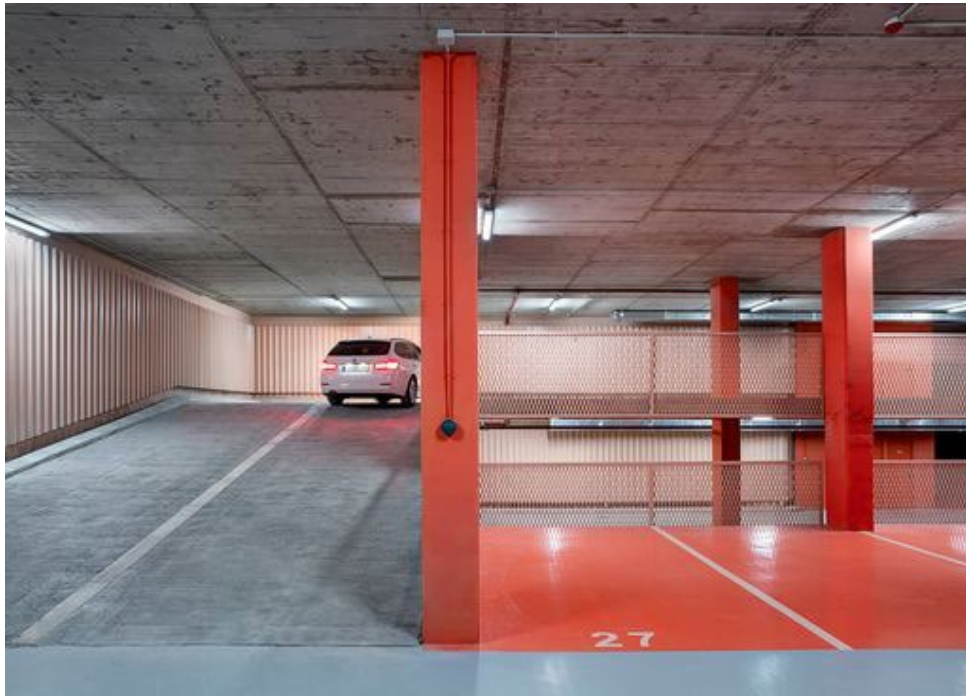




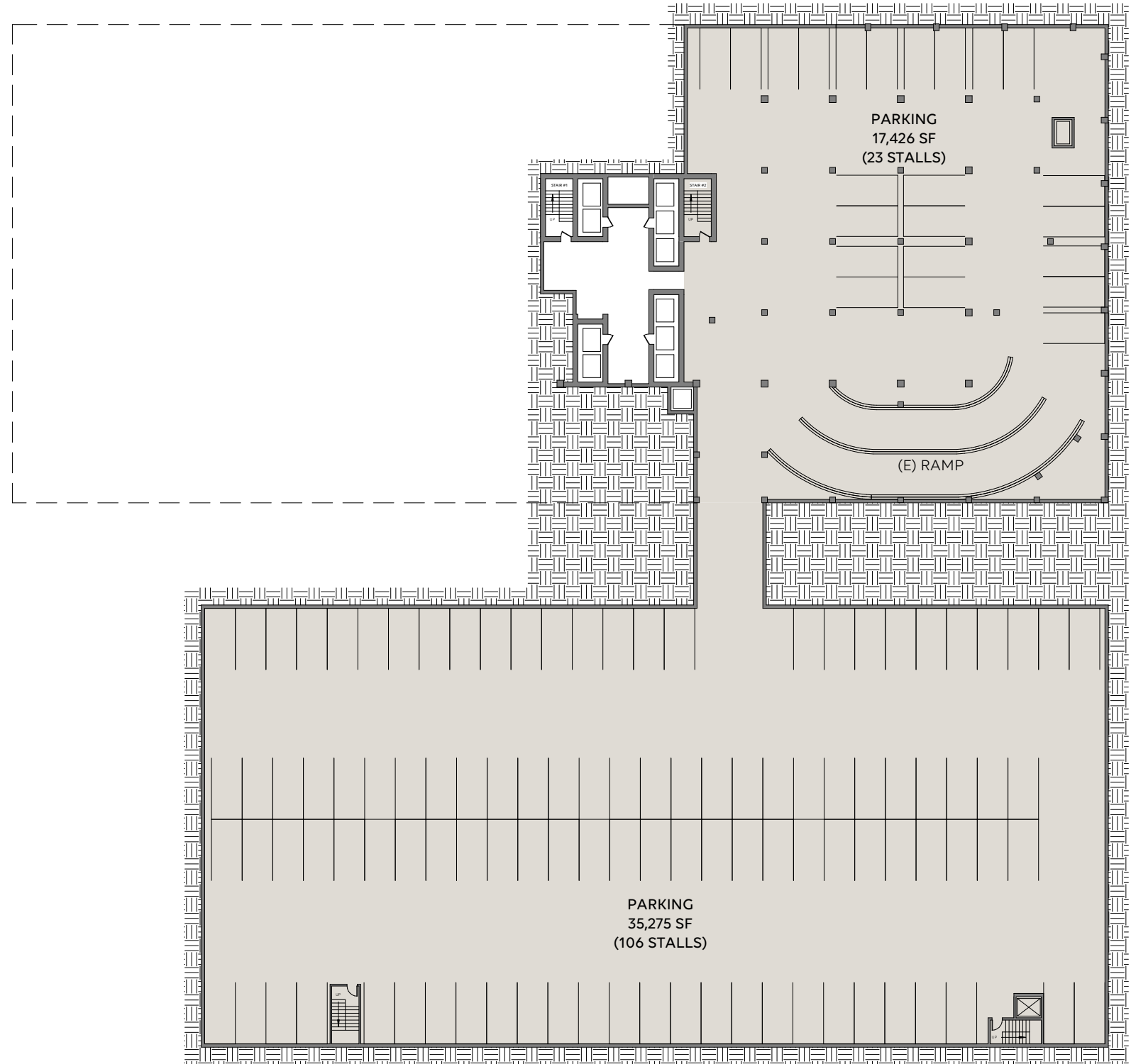
Parking Garage, Birk Heilmeyer und Frenzel Architekten



Social Housing, Moussafir Architects



Málaga, Muñoz Miranda Architect



UNDERGROUND PARKING PRECEDENT IMAGES



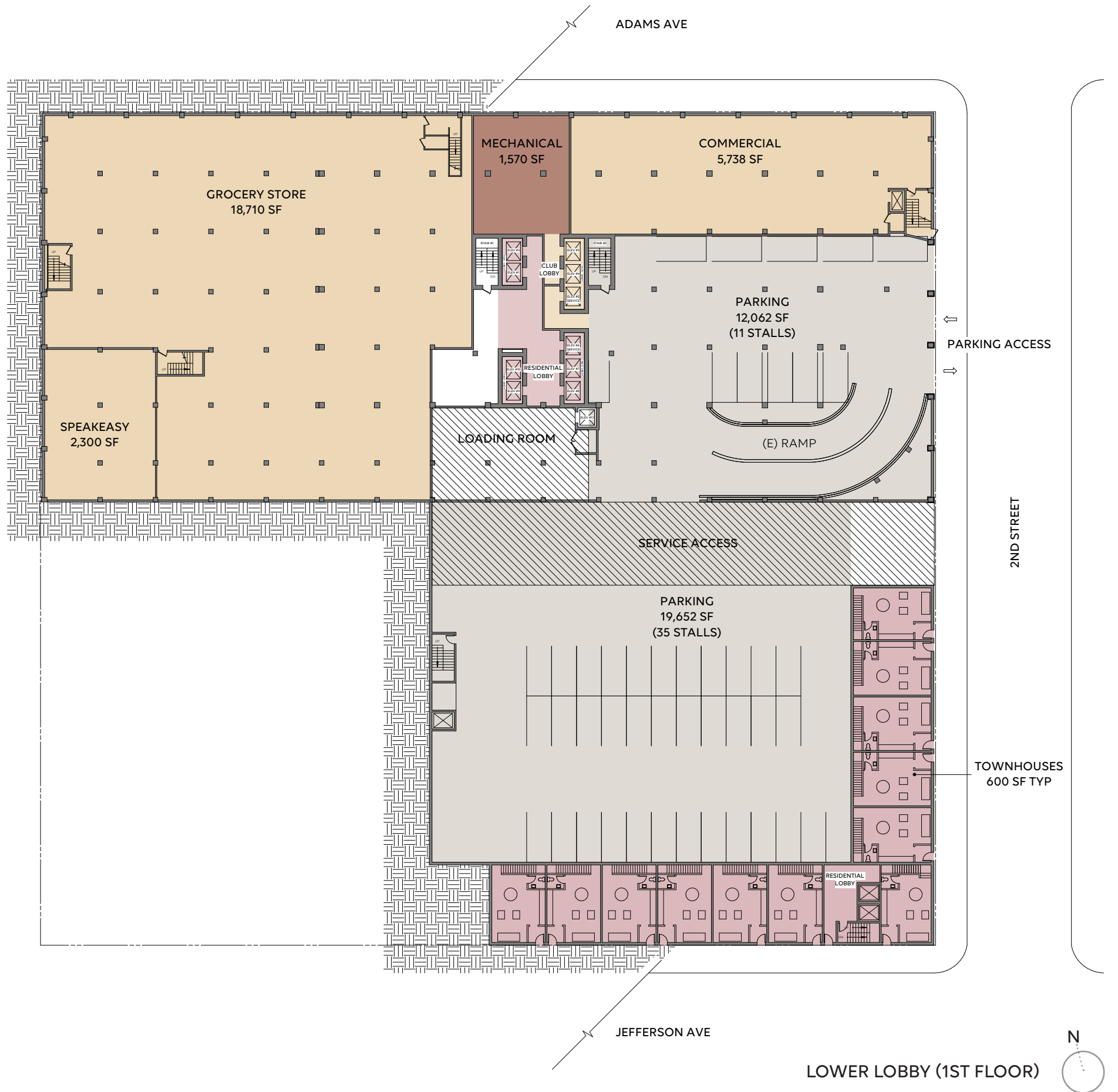


Social Housing, Moussafr Architects



Townhouses, Alloy Architects

TOWNHOUSE PRECEDENT IMAGES



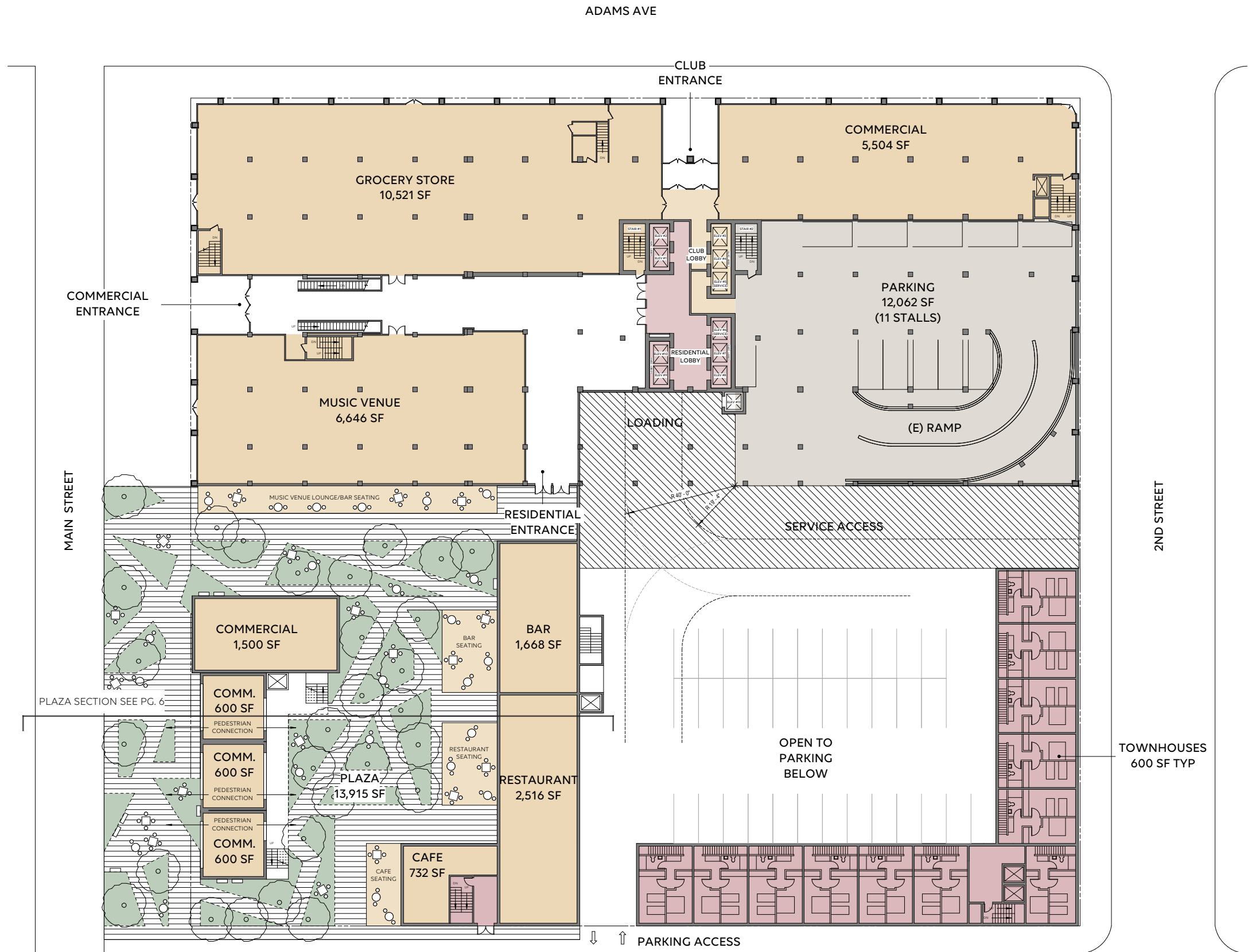


Smithfield Market, John McAslan Architects



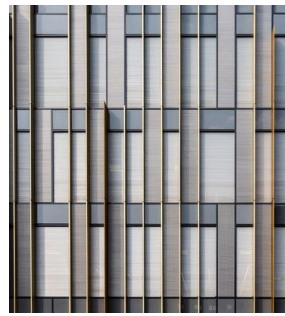
Ed. Square Town

PLAZA PRECEDENT IMAGES





PLAZA SECTION (LOOKING SOUTH)



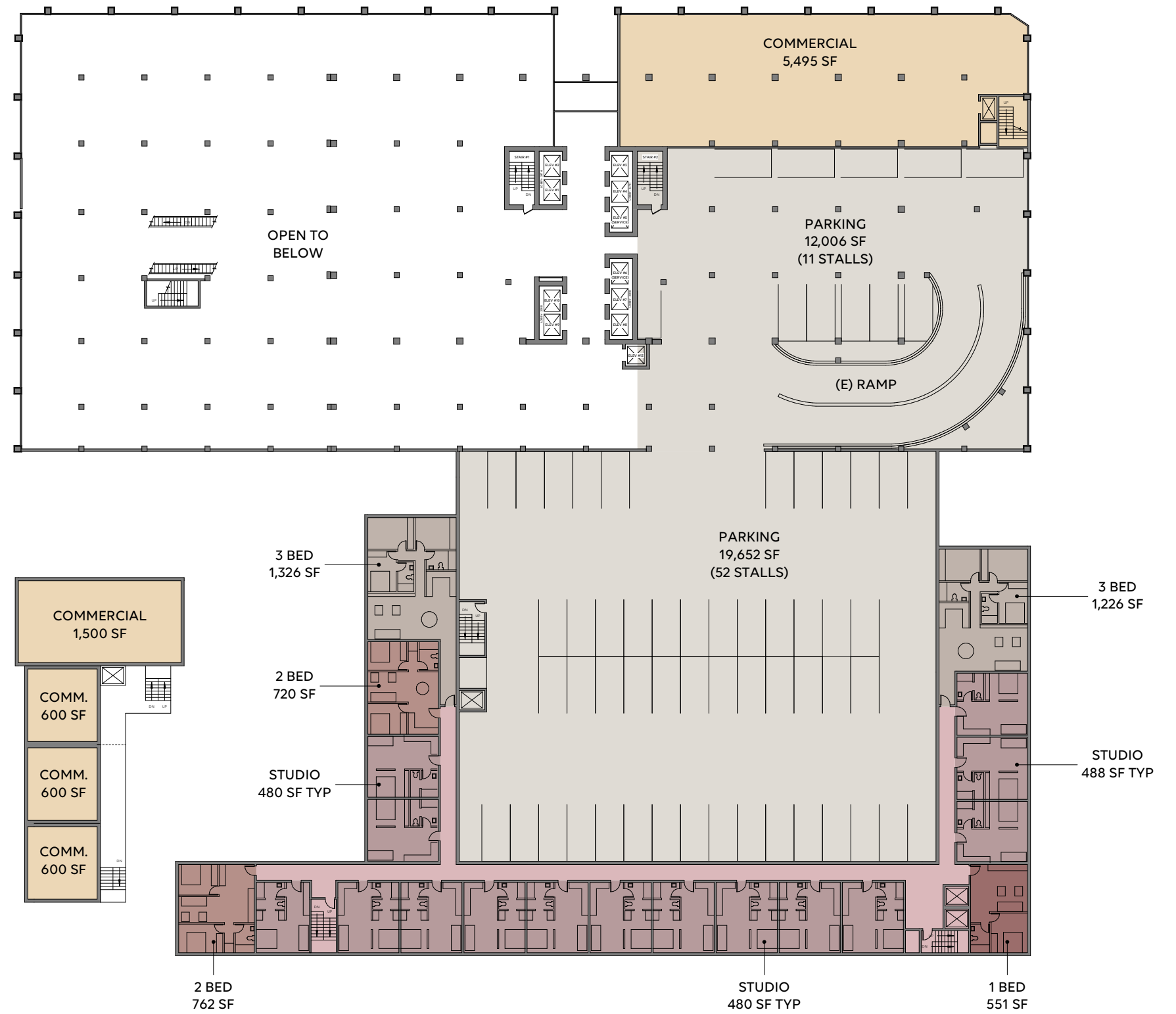
Facade Treatment, Associated Architects



Apartment Buildings, HIC Arquitectura



Multifamily, Kjellander Sjöberg Architects

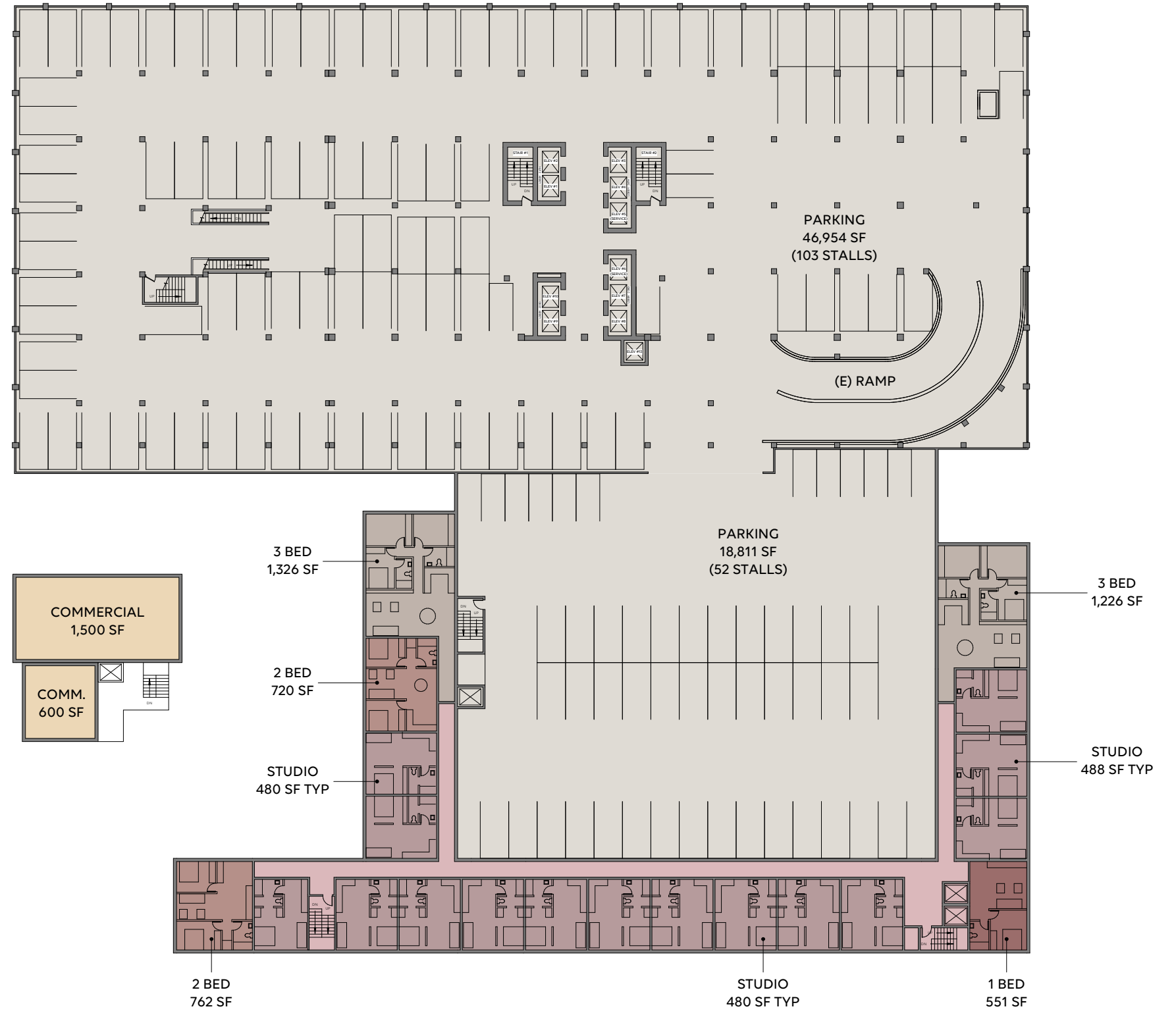


MULTIFAMILY PRECEDENT IMAGES





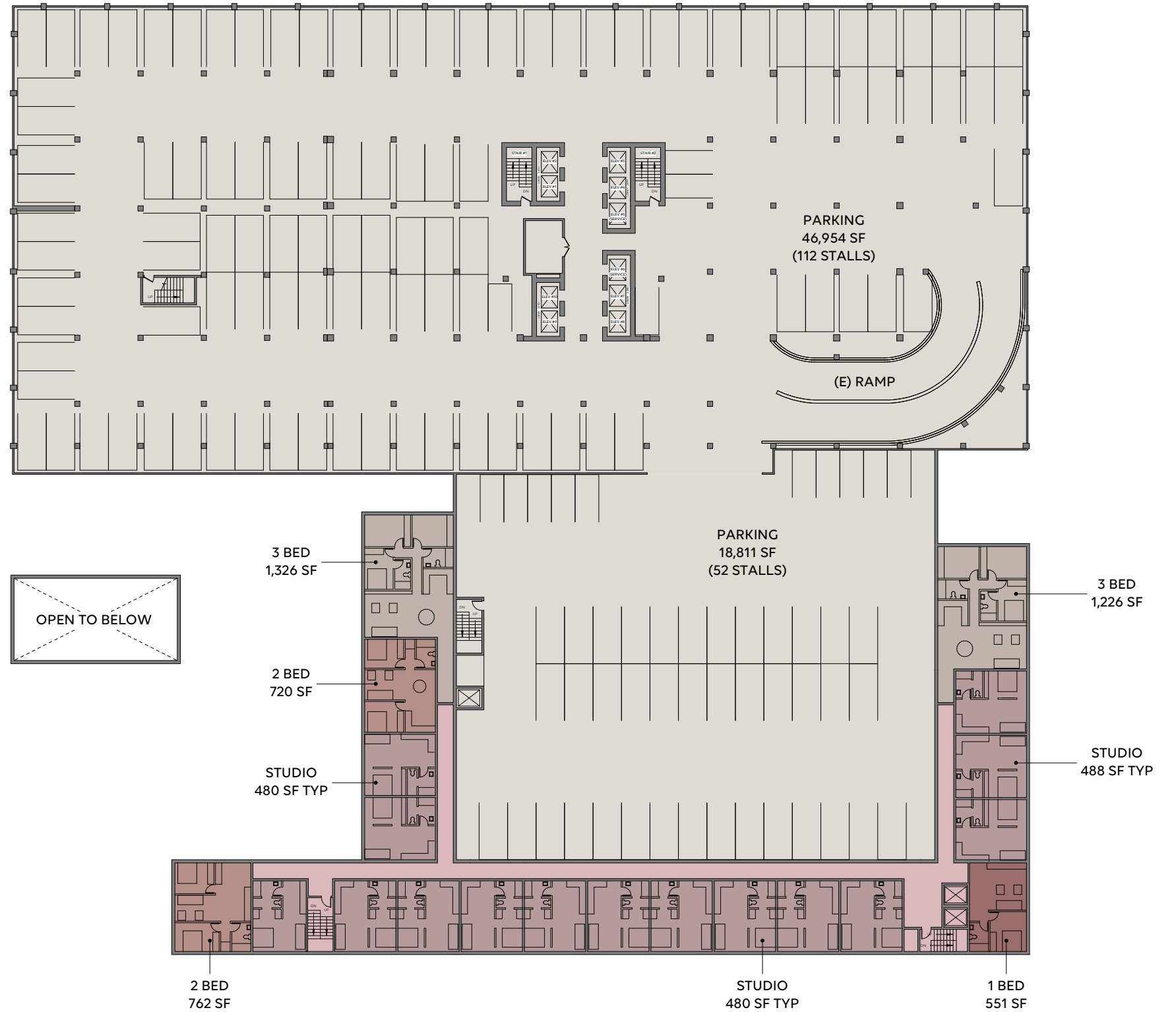
RESIDENTIAL INTERIOR PRECEDENT IMAGES, STUDIOS



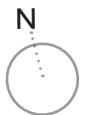
4TH FLOOR



RESIDENTIAL INTERIOR PRECEDENT IMAGES, APARTMENTS



5TH & 6TH FLOOR





Roof Top Garden

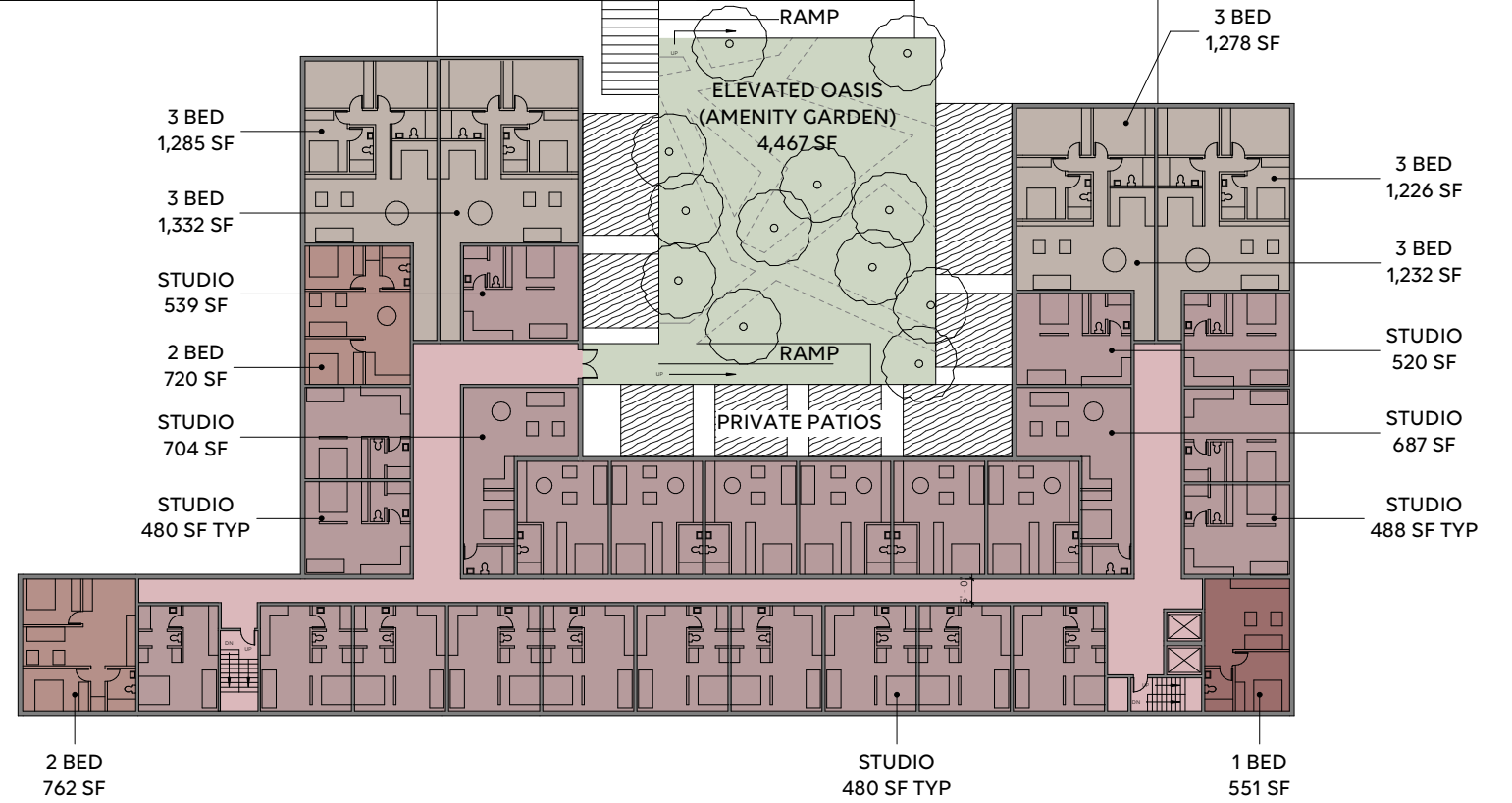
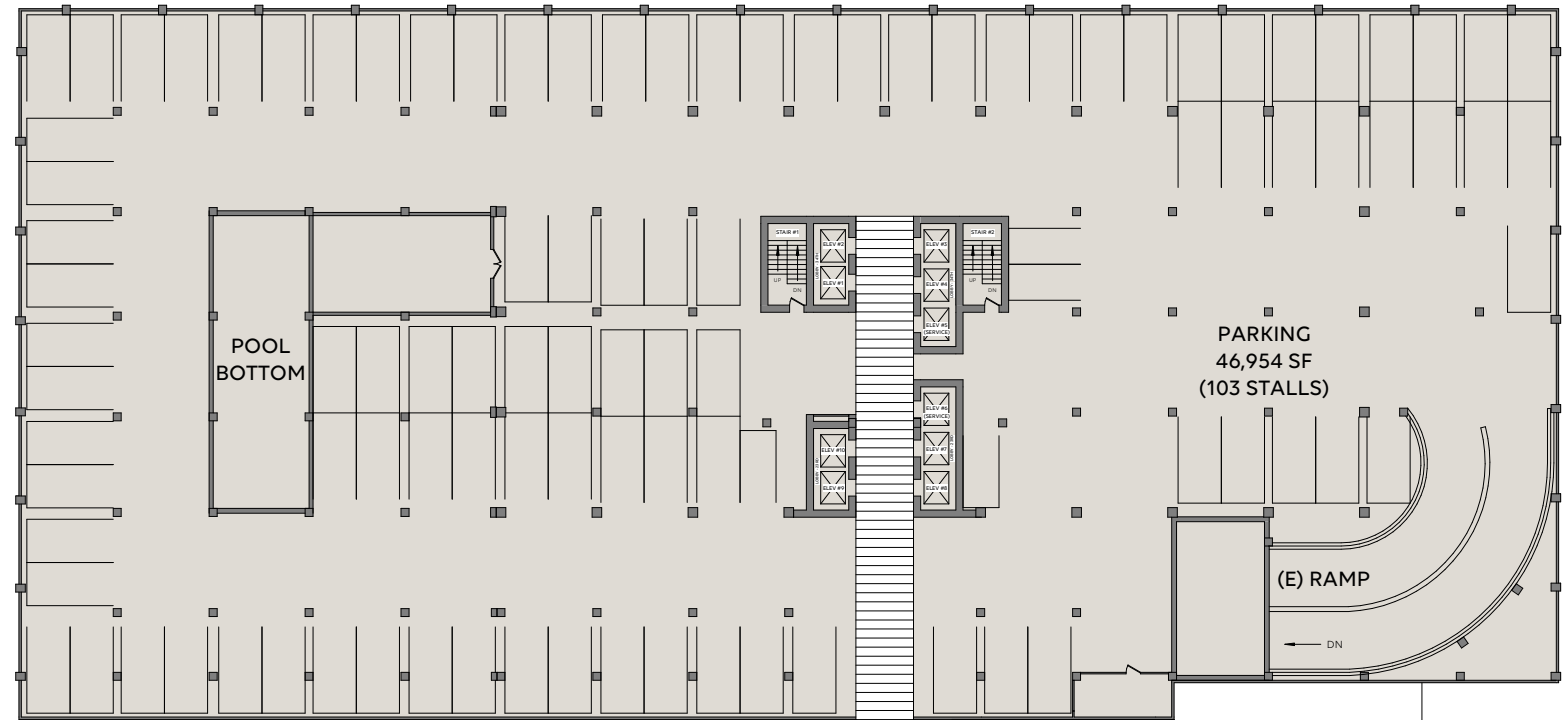


St Andrews, Townshend Landscape Architects



Garden Design, Rick Eckersley Architects

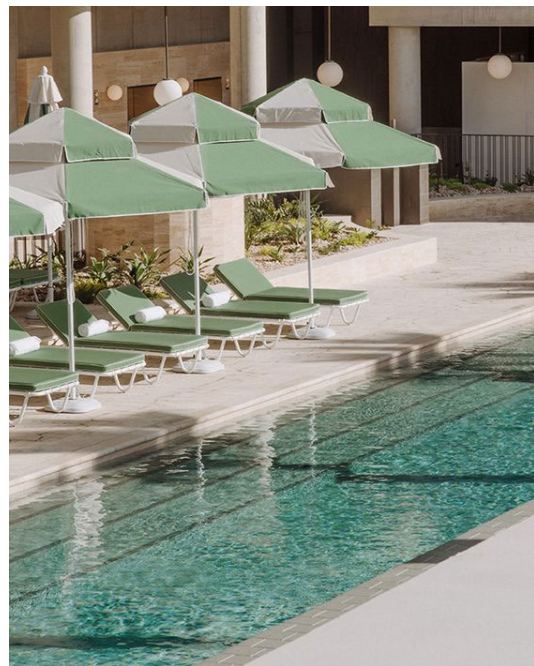
ELEVATED OASIS PRECEDENT IMAGES







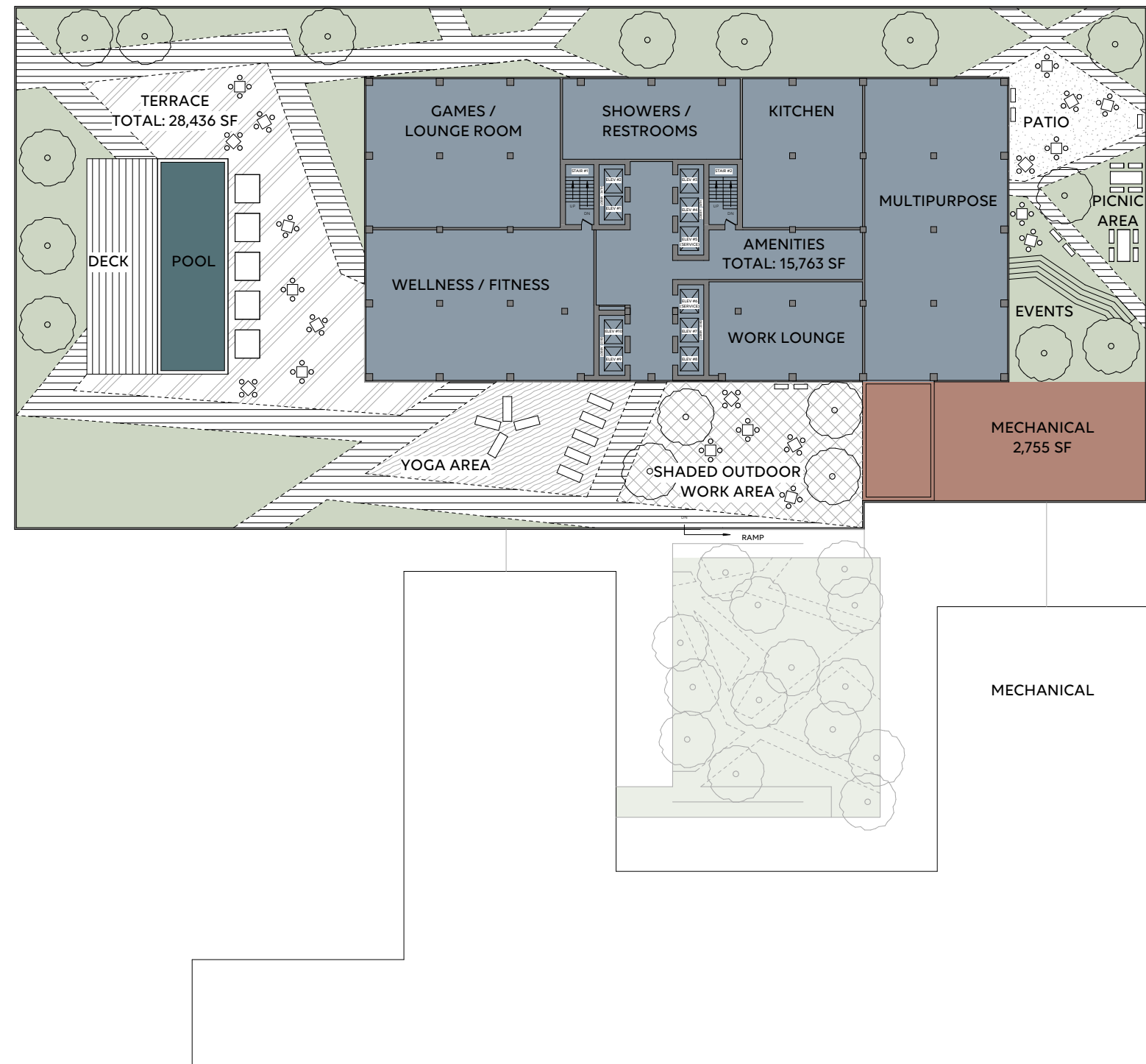
Outdoor Events



Roof Deck Pool



Outdoor Common Space

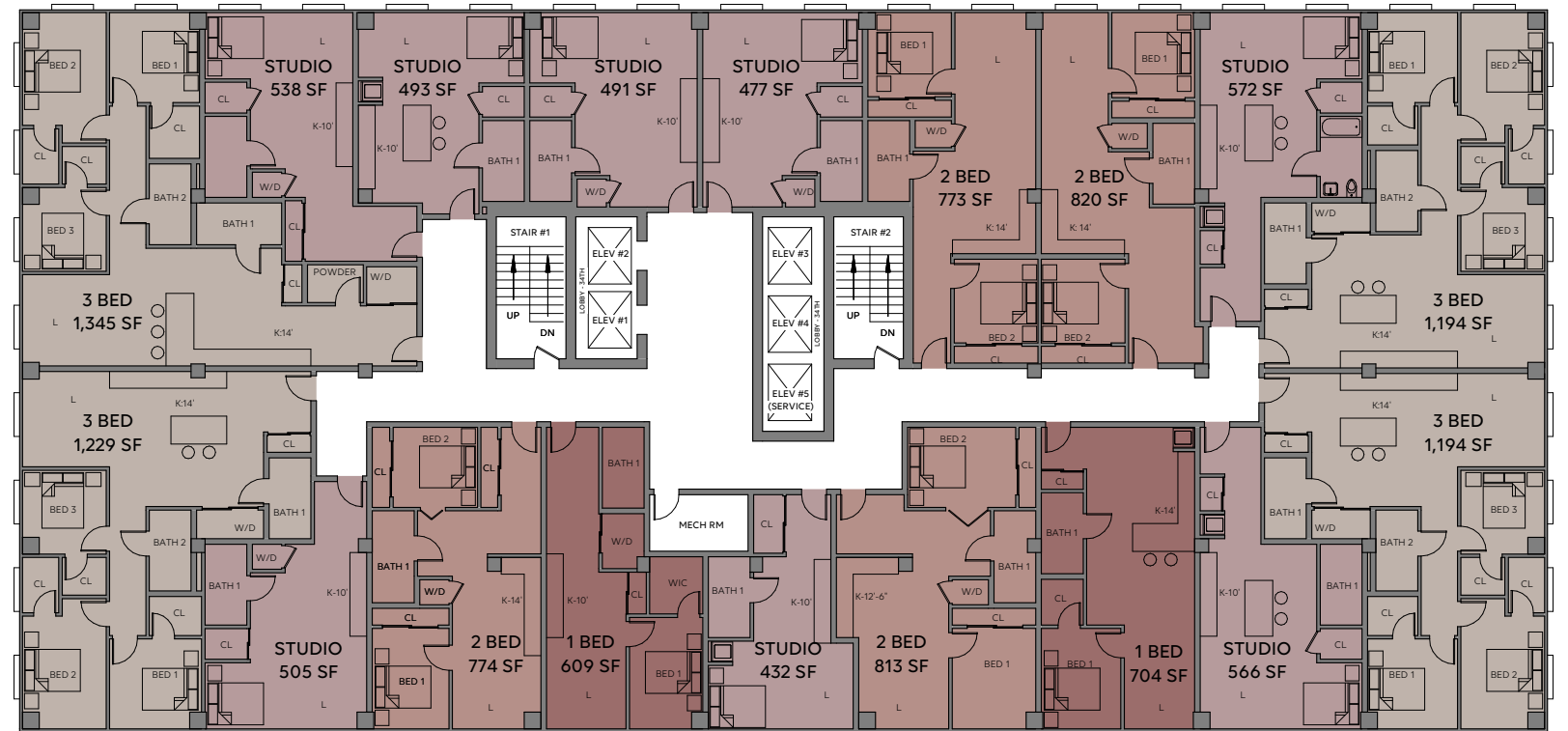


AMENITY ROOF PRECEDENT IMAGES

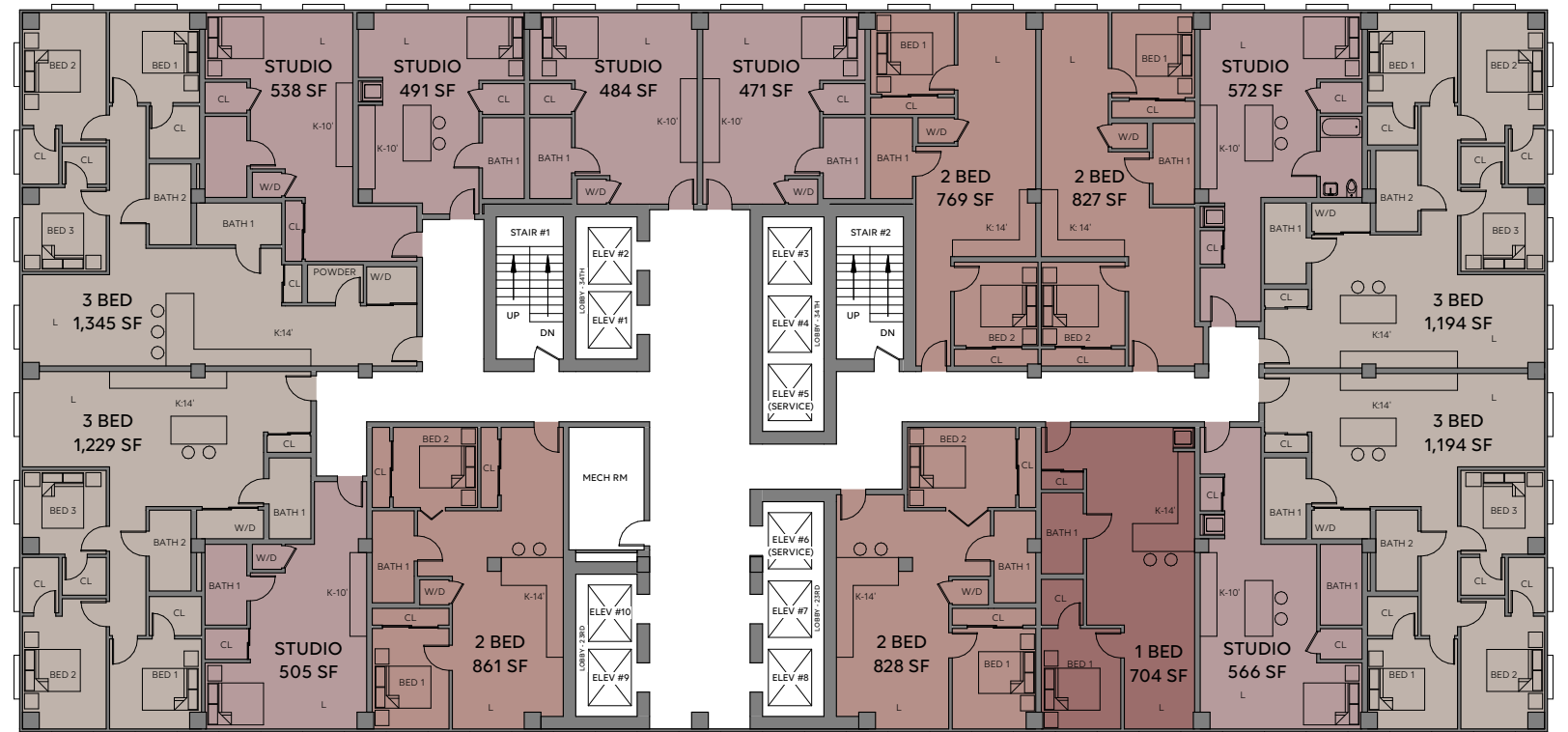




TOWER INTERIOR PRECEDENT IMAGES

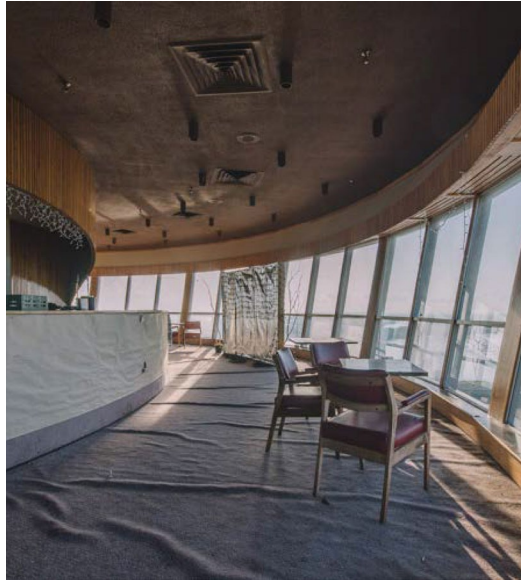


TYPICAL FLOOR PLAN (25TH - 33RD)

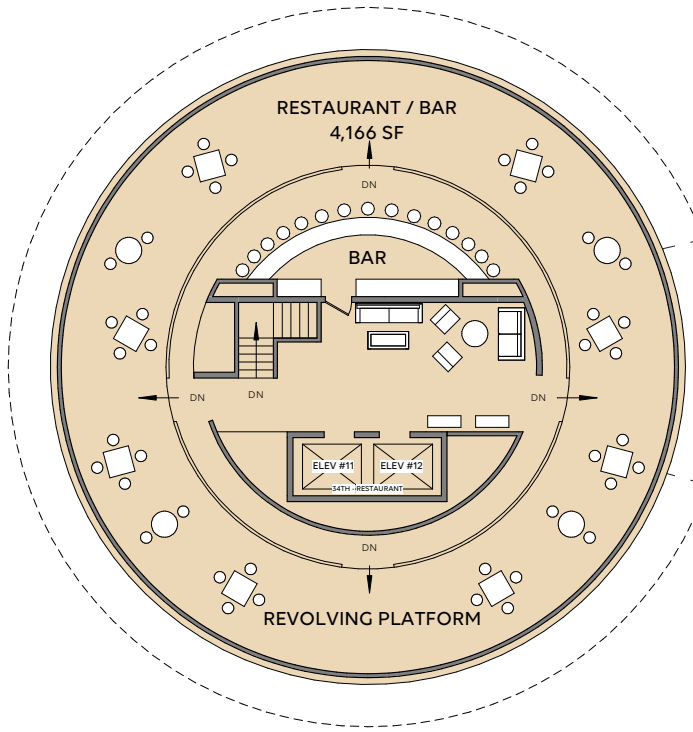


TYPICAL FLOOR PLAN (9TH - 24TH)

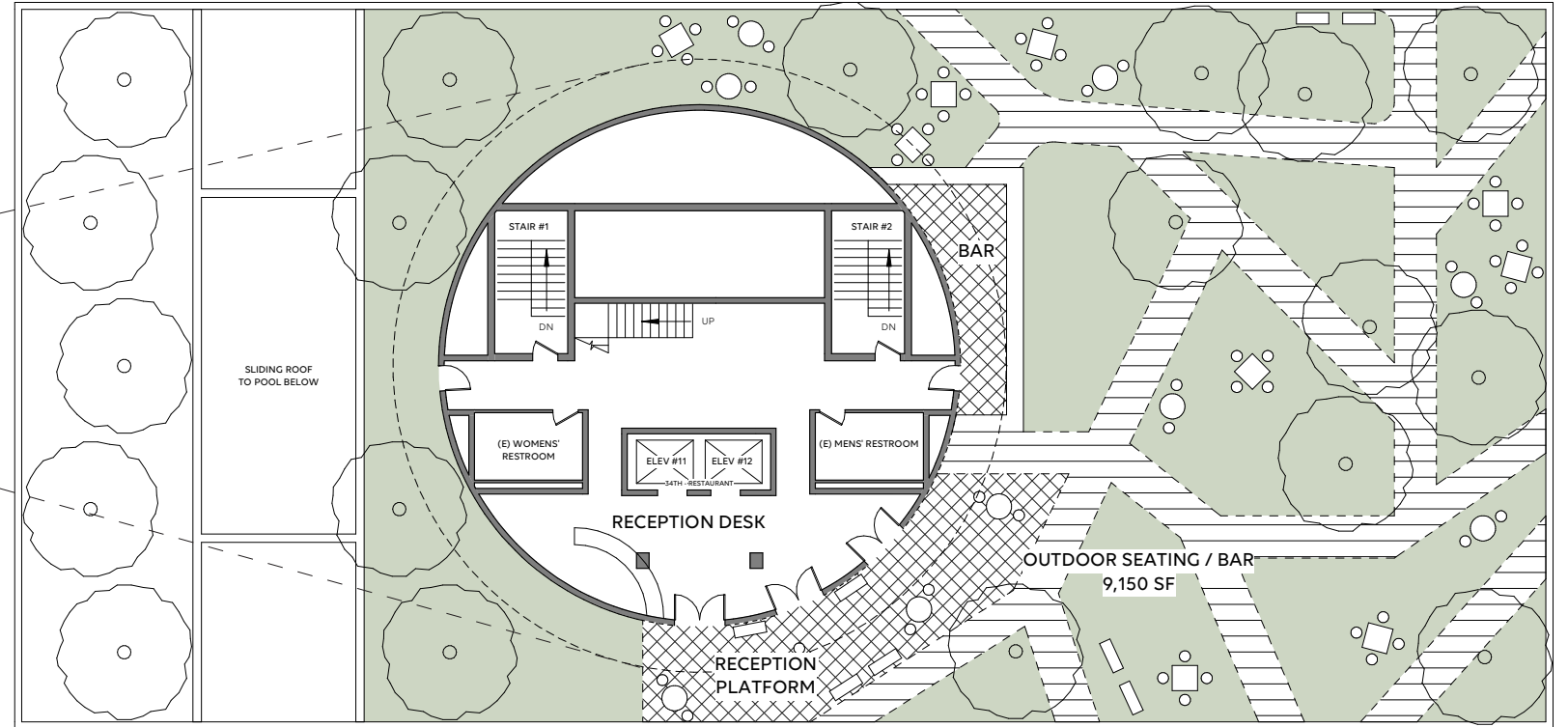
FLOOR PLANS: 1" = 22'-0"



Existing Revolving Platform / Bar



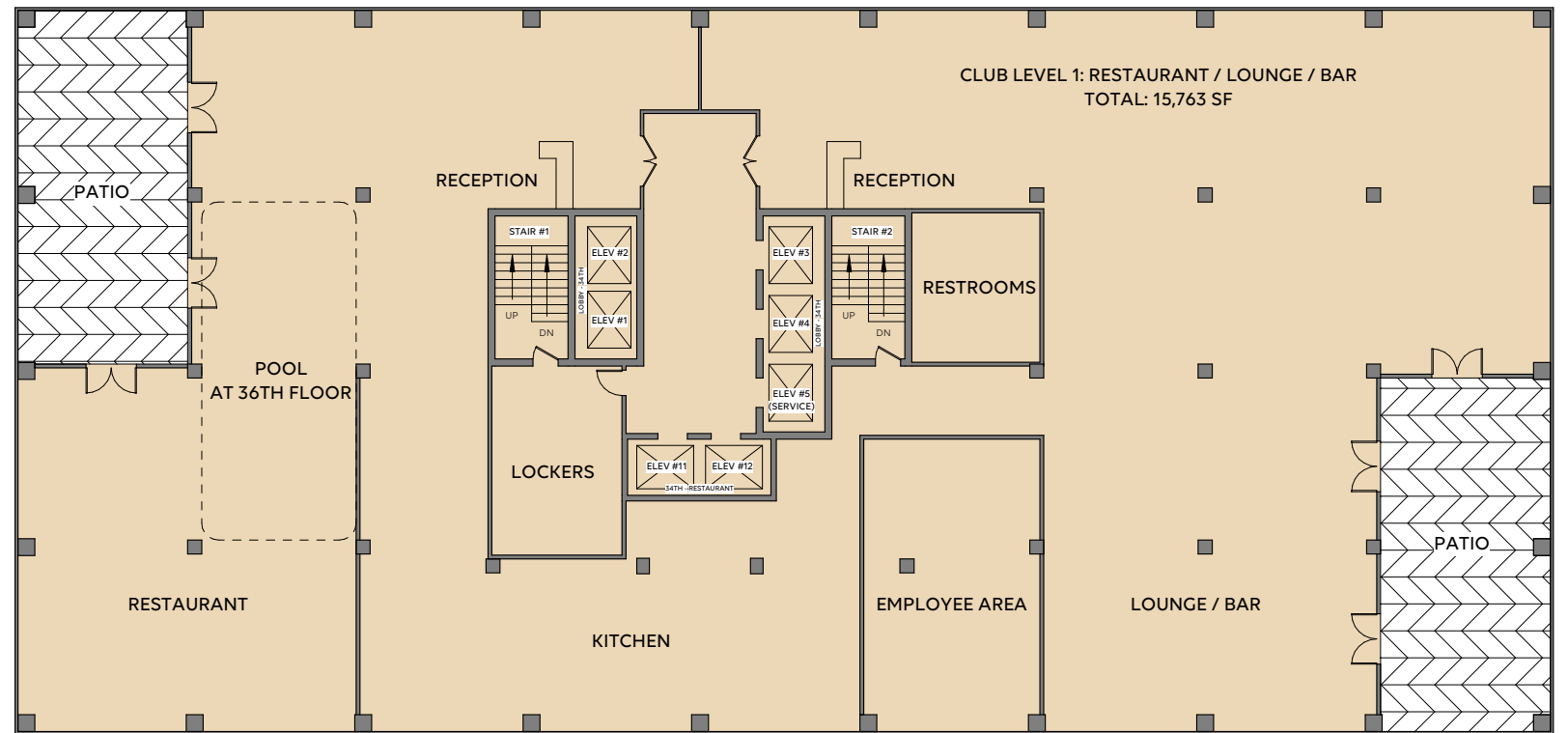
RESTAURANT ABOVE (38TH FLOOR)



RESTAURANT RECEPTION / ROOF BAR (37TH FLOOR)



ROOF TOP PRECEDENT IMAGES



CLUB LEVEL 1: RESTAURANT / LOUNGE / BAR (34TH FLOOR)  
CLUB LEVEL 2 + 3: FITNESS / ENTERTAINMENT / POOL (35TH - 36TH NOT SHOWN)

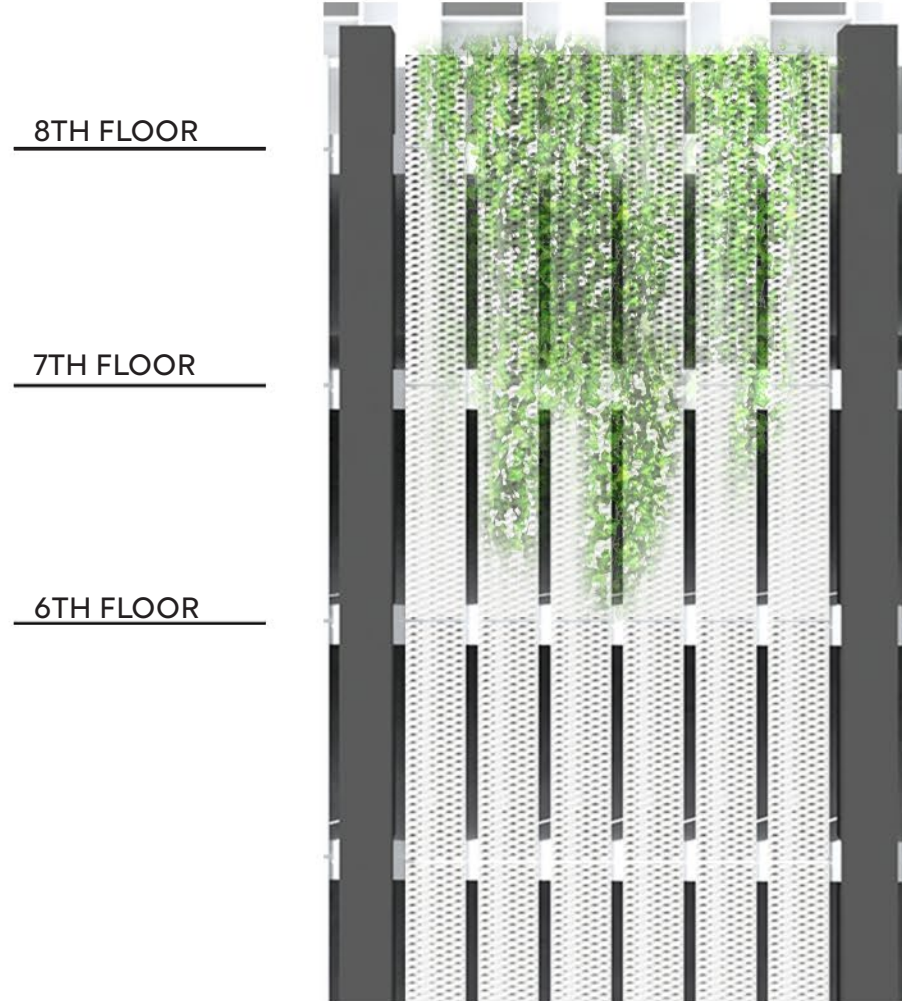


EXISTING DETERIORATED CONDITION



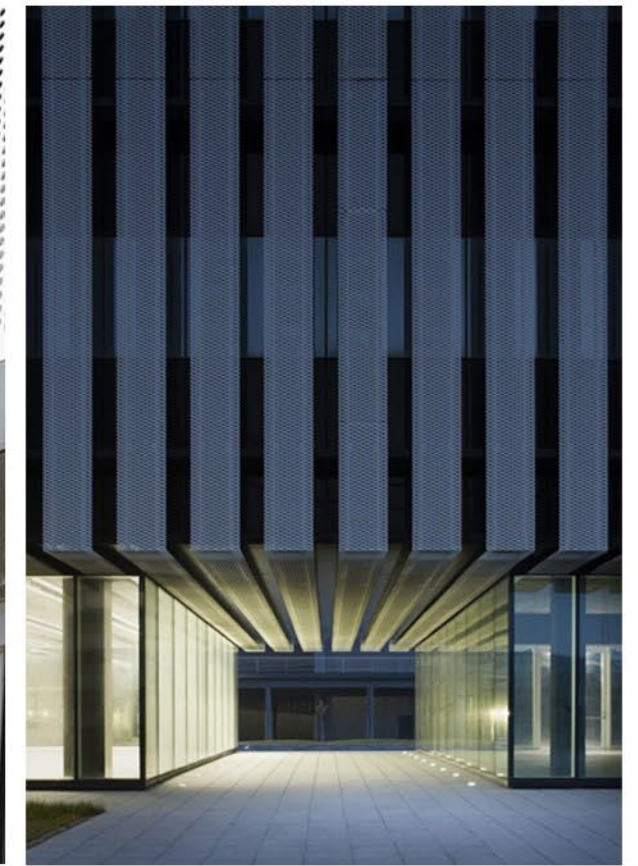
Removal of deteriorating precast concrete elements

PROPOSED FACADE TREATMENT



Replace with new lighter material, respecting historical dimensions and improving seismic performance

(Refer to IMEG: Preliminary Seismic Assessment - attached)



As part of our due diligence, we've performed an extensive structural and energy efficiency review of the existing facade through drone footage and detailed photography.

EXISTING DETERIORATED CONDITION

PROPOSED FACADE TREATMENT



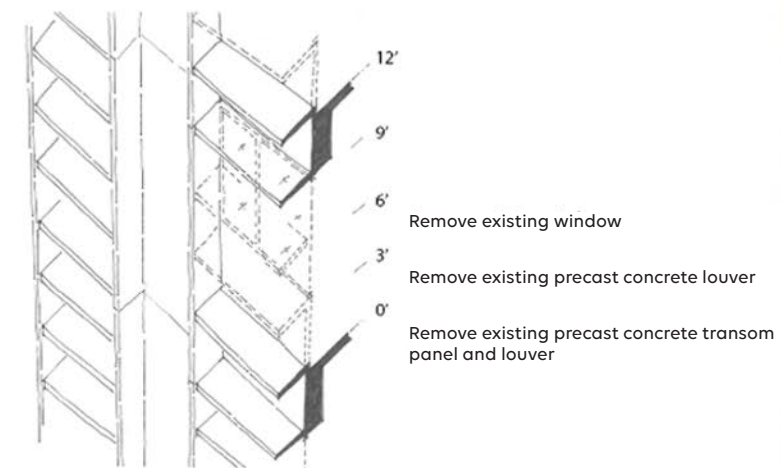
36TH FLOOR

35TH FLOOR

34TH FLOOR

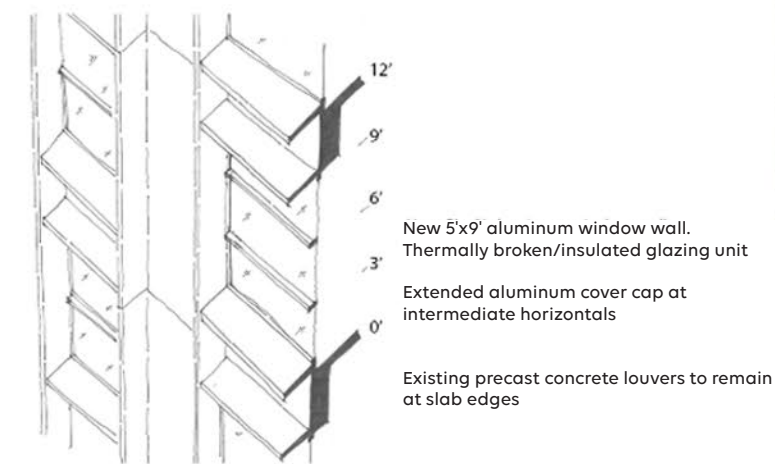


Modernizing the facade while respecting its historical standing as a landmark



EXISTING CONDITION - TYPICAL BAY

- Remove existing window
- Remove existing precast concrete louver
- Remove existing precast concrete transom panel and louver



PROPOSED DESIGN - TYPICAL BAY

Improvement of building performance, carbon footprint and energy efficiency

Refer to IMEG: Preliminary Seismic Assessment + Memphis Area Climate Action Plan - attached



Removal of deteriorating precast concrete elements

EXISTING CONDITION

PROPOSED CONDITION











# 18 MAIN

## APPENDIX DEVELOPMENT TEAM STATEMENT OF QUALIFICATIONS

CONFIDENTIAL



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**18 MAIN**

*G&T's Qualifications*

2021

# TABLE OF CONTENTS

1   FIRM OVERVIEW.....	4
2   PROJECT TEAM.....	10
3   RELEVANT EXPERIENCE.....	19
4   FULL CLIENT LIST.....	36



# FIRM OVERVIEW



G&T, NEW YORK, NY

Gardiner & Theobald has been providing project and cost management services throughout the United States for over 25 years.

Gardiner & Theobald Inc. was formed 1992 and is a division of Gardiner & Theobald LLP, which was founded 1835 in London, England. We have offices located in New York City, Los Angeles, Miami, Portland, San Diego, and San Francisco. We focus on minimizing risk and creating opportunities to maximize the value of our clients' developments and property assets. We deliver project leadership, commercial success, construction excellence, and specialist consultancy while working across all sectors of the built environment.

### Project Management Group

The Project Management Group provides complete Project Management services through design, construction, and project close-out. Our team is comprised of professionals with diverse backgrounds in architecture, engineering, FFE, and construction management.

### Cost Management Group

The Cost Management Group provides estimating, cost planning, and cost management services from inception through design and construction, and financial close-out. **We do not subcontract out any of our cost estimating or cost management services.**

For more information visit [www.gardiner.com/us](http://www.gardiner.com/us)

Gardiner & Theobald is an independent construction and property consultancy delivering Cost Management, Project Management and Specialist Consultancy for the built environment.

We are passionate about delivering a truly world class service for our clients, investing in the best people to deliver that service, and remaining financially strong and independent. These are the three pillars of our success and what sets us apart from the rest.



Wholly owned, independent practice offering unbiased and bespoke advice



Reliability and stability through financial robustness



Known for the quality of our training and the calibre of our people



Committed to championing the Next Generation of built environment professionals



We work across our core markets in the UK and USA



Offering independent advice for over 180 years



OUR VALUES

Our diverse workforce is bound together by five core values we live by:

**INDEPENDENCE**

We have the freedom to offer unbiased advice and tailor services to suit every client and project.

**REPUTATION**

We maintain our standing in the industry by prioritizing relationships with clients and offering world class services.

**PROGRESSION**

We plan for the future by continually evolving our firm and investing in the next generation.

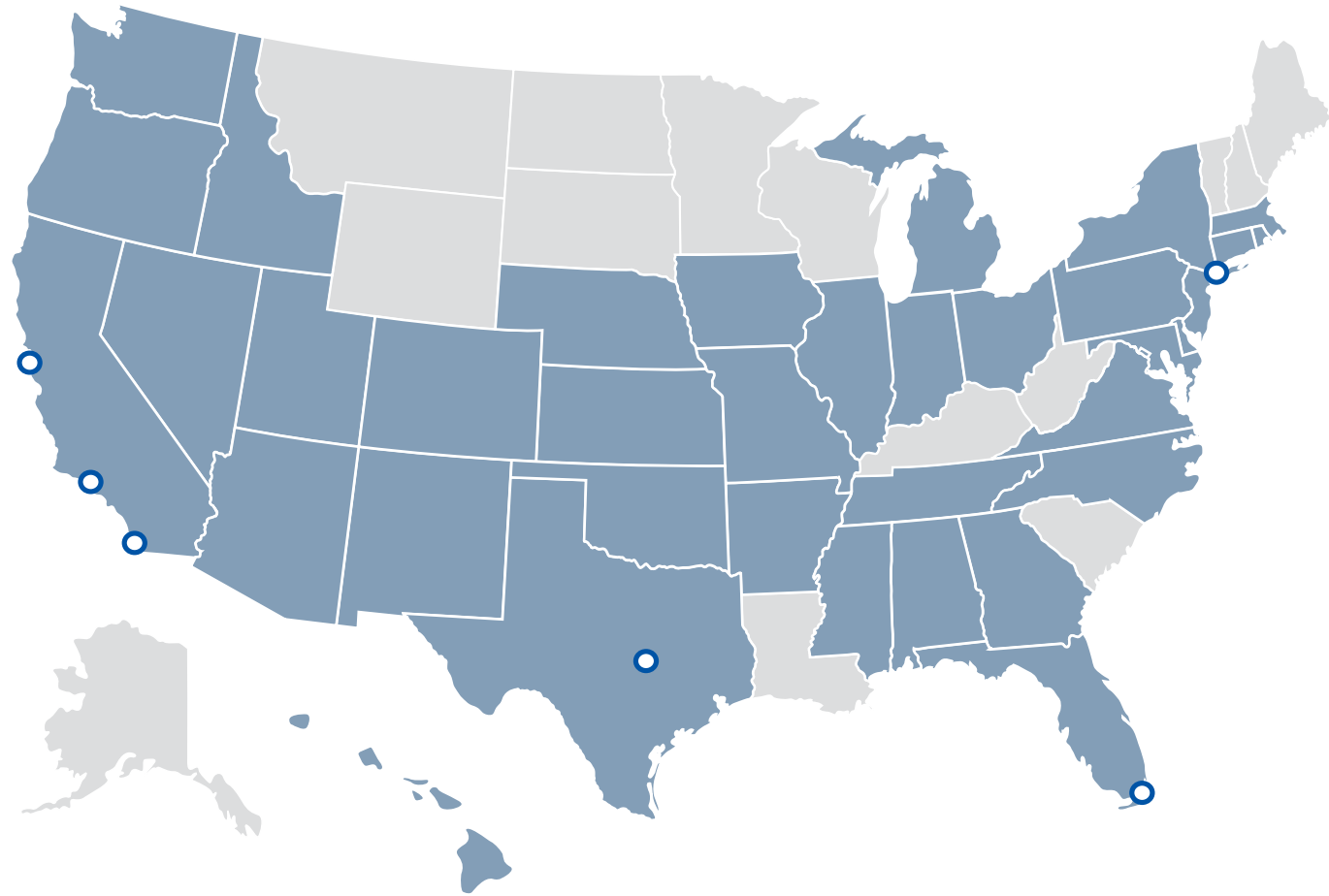
**ETHICAL THINKING**

We are a responsible firm and believe in doing the right thing to make a positive social impact.

**ENGAGEMENT**

We encourage team spirit, collaboration, and inclusivity because we believe this leads to better outcomes for our clients and fulfilling careers for our people.

## Our Locations



**180+**  
North American Staff

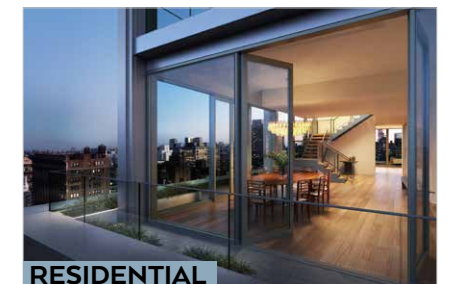
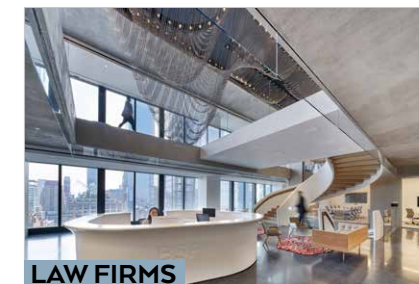
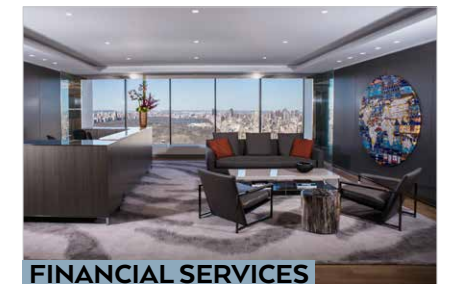
**G&T OFFICE LOCATIONS**

- New York, NY
- Austin, TX
- Los Angeles, CA
- Miami, FL
- San Francisco, CA
- San Diego, CA

**OTHER EXPERIENCE**

- Boston, MA
- Boulder, CO
- Chicago, IL
- Dallas, TX
- Fort Myers, FL
- Honolulu, HI
- Jersey City, NJ
- Kauai, HI
- Las Vegas, NV
- New Haven, CT
- Palm Springs, CA
- Providence, RI
- Seattle, WA
- Silicon Valley, CA
- Stamford, CT
- Washington DC
- Toronto, Canada
- Anguilla
- Bahamas
- Dominican Republic
- The Grenadines
- St. Barths
- St. Lucia

## Our Sector Expertise



# 2 PROPOSED PROJECT TEAM

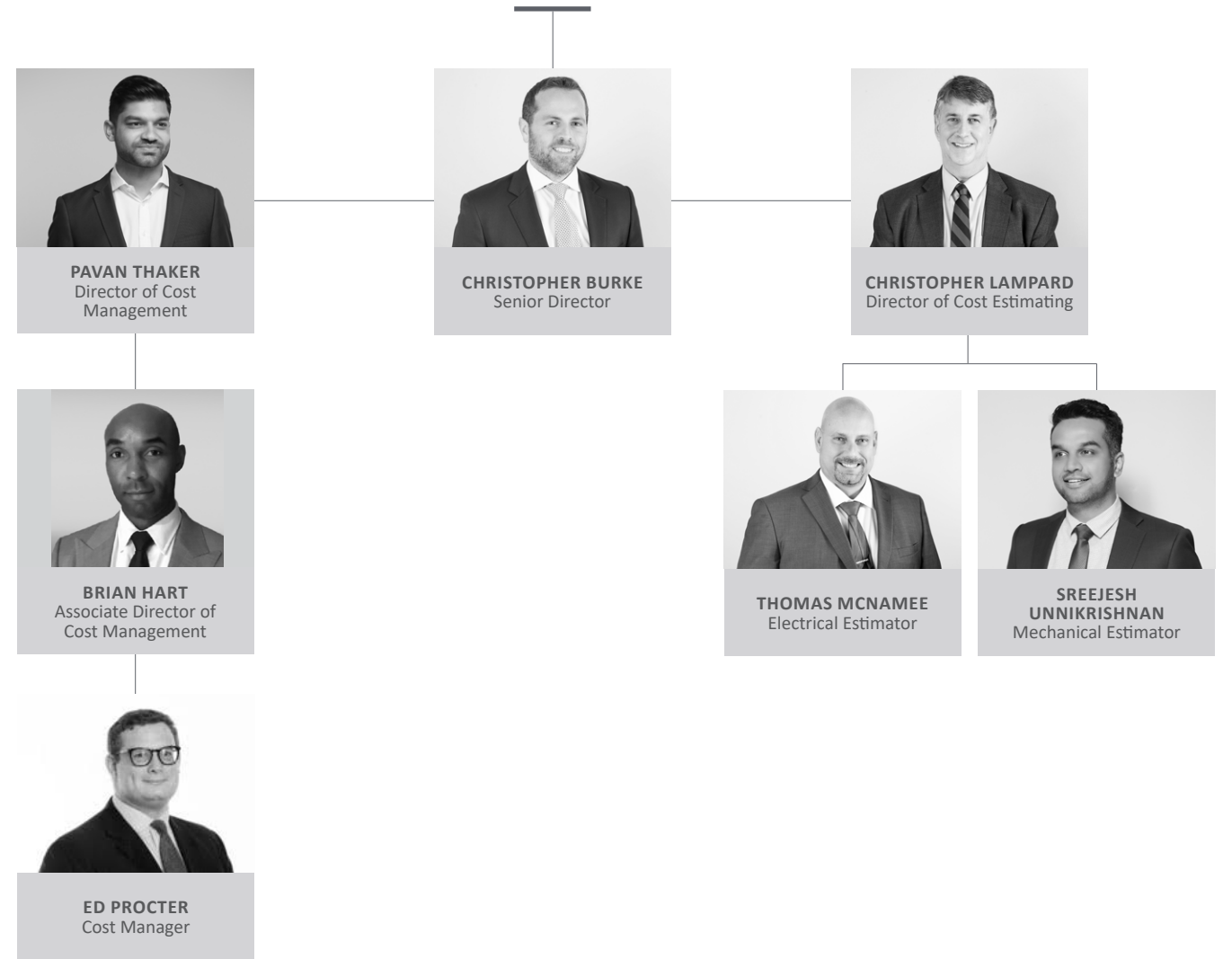


432 PARK AVENUE, NEW YORK, NY



## Your Dedicated Team

We take our clients' goals and needs seriously and have selected our team based upon their background in managing similar types of projects. They will use their wealth of knowledge and experience in the market to provide you with the most informed decisions possible.





**CHRIS BURKE**  
SENIOR DIRECTOR

**QUALIFICATIONS**

LEED AP,  
ASSOC. SOCIETY OF CIVIL ENGINEERS,  
ASSOC. GENERAL CONTRACTORS

**EXPERIENCE**

17 YEARS

**PROJECTS**

- 77 Greenwich
- Carlyle Hotel
- The Refinery
- Knickerbocker Hotel
- 560 West 24th Street
- Brooklyn Bridge Park
- Essex House Hotel
- Fasano Hotel
- Brooklyn Botanic Garden
- 815 Fifth Avenue
- 860 Washington Street
- Willoughby Square Park
- 800 10th Avenue
- 21 East 12th Street
- St Louis Waterfront
- Moise Safra Center
- Little Island (Pier 55)
- Welltower Senior Housing

Christopher is one of Gardiner & Theobald’s senior team leaders. Christopher is known for his creative design, procurement, and construction solutions that help facilitate the successful execution of projects for developers, landlords, tenants, and both public and private institutions around the world.



**77 GREENWICH**



**21 EAST 12TH STREET**



**MOISE SAFRA CENTER**



**LITTLE ISLAND**



**PAVAN THAKER**  
DIRECTOR OF COST MANAGEMENT

**QUALIFICATIONS**

BSC (HONS) QUANTITY SURVEYING  
AND CONSTRUCTION COMMERCIAL  
MANAGEMENT

**EXPERIENCE**

11 YEARS

**PROJECTS**

- The Carlyle
- 9 Orchard Street
- Soho House Dumbo
- Soho Works 10 Jay Street
- 28 Liberty Street
- Millennium
- 31-11 30th Street
- Soho Works, 10 Jay Street
- Soho House Austin
- Soho House Nashville
- Rosewood Washington DC
- Faena District, Miami
- The Standard Hotel, Miami
- Faena House, Miami Beach (Residential)
- Royal Carribean

Pavan and his team have overseen the Cost Management of a number of complex projects in a variety of sectors. These projects include multi-billion dollar developments in the infrastructure, hospitality, and residential sectors. Pavan specializes in utilizing innovative procurement to drive buy-out savings for his clients.



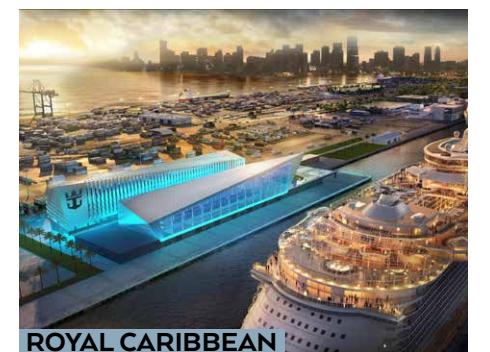
**9 ORCHARD STREET**



**FAENA HOUSE**



**SOHO HOUSE DUMBO**



**ROYAL CARIBBEAN**





Brian is a hardworking, highly motivated, and ambitious individual with extensive experience in the hospitality and residential sectors at Gardiner & Theobald.

**BRIAN HART**  
ASSOCIATE DIRECTOR OF COST MANAGEMENT

**QUALIFICATIONS**

BS, CIVIL ENGINEERING,  
CERT, CONSTRUCTION PROJECT MANAGEMENT AND REAL ESTATE FINANCE

**EXPERIENCE**  
14 YEARS



SOHO HOUSE

**PROJECTS**

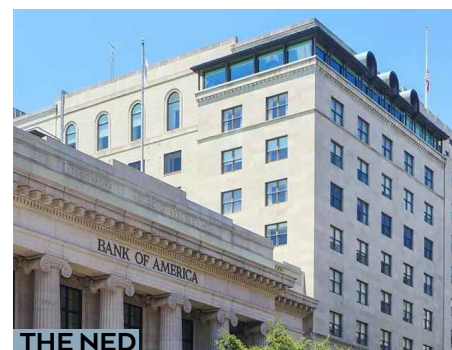
- 37-05 30th Street (20% Affordable)
- 2401 3rd Avenue, Bronx, NY (40% Affordable)
- Soho House
- 2420 Amsterdam
- Soho Works Multiple Locations
- Google
- 975 Washington
- The Carlyle
- NED DC
- 55 Jordan Avenue
- 41-17 Crescent Street
- 230 West 113th Street
- 393 West End Avenue
- 11 East 31st Street



2420 AMSTERDAM



GOOGLE



THE NED



Before moving to Gardiner & Theobald's New York office in 2019, Ed worked at our Leeds office, managing projects in the hospitality, residential, government, and commercial interiors sectors.

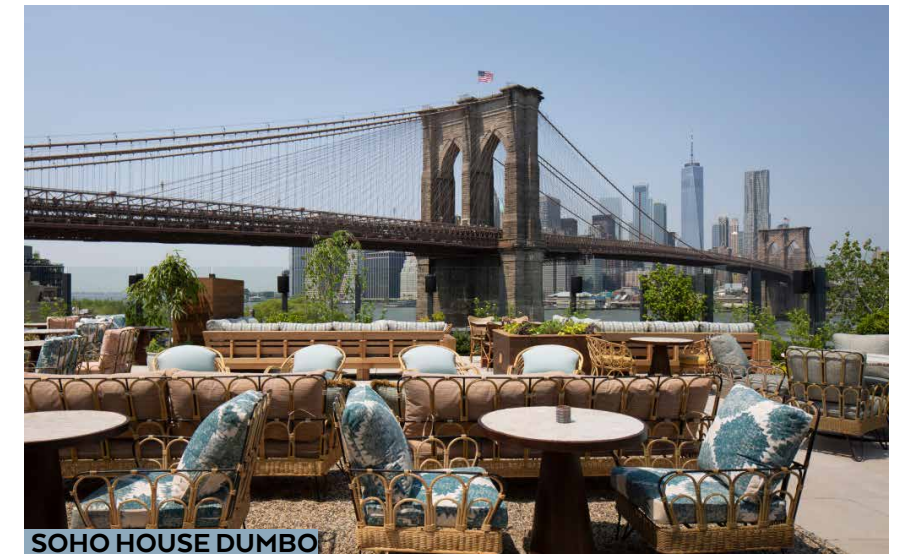
**ED PROCTER**  
COST MANAGER

**QUALIFICATIONS**  
MSC/BS, ENG

**EXPERIENCE**  
3 YEARS

**PROJECTS**

- NED DC
- 875 Washington Street
- Ludlow Garden
- 55 Water Street
- 10 Jay Street
- Soho House Dumbo
- Credit Suisse
- PSAC II (911 Call Center)
- NBC Telemundo
- Warner Music Group
- One Vanderbilt Place
- NYSE
- Collegiate Shool



SOHO HOUSE DUMBO



PSAC II



ONE VANDERBILT PLACE



THE NED



**CHRISTOPHER LAMPARD**  
DIRECTOR OF COST ESTIMATING

**QUALIFICATIONS**

MCIQB, BSC (HONS), ACIARB, CCM

**EXPERIENCE**

39 YEARS

Chris has considerable experience in all forms of estimating, from the earliest concept stage to construction document estimates, evaluating and negotiating change orders, dispute resolution, value engineering, expert estimating service, and contract administration / project management.



**SOHO HOUSE DUMBO**

**PROJECTS**

- PSAC II
- One Vanderbilt Place
- United Nations
- New York Police Academy
- New Museum
- Soho House Dumbo
- Aloft South Beach Hotel
- Pierre Hotel
- Jade Hotel
- Royal Caribbean
- Baha Mar, Bahamas
- Coco Cay
- 110 University Place
- Centennial Park
- 28 Liberty Street
- International House



**UNITED NATIONS**



**NEW YORK POLICE ACADEMY**



**PSAC II**



**THOMAS MCNAMEE**  
ELECTRICAL ESTIMATOR

**QUALIFICATIONS**

ESTIMATING CERT. IBEW & NECA;  
MEMBER, IAEE;  
NJ CLEAN ENERGY PROGRAM;  
TRADE ALLY RENEWABLE ENERGY PROGRAM

**EXPERIENCE**

34 YEARS

With over 30 years of experience in electrical estimating, Thomas provides insight to Gardiner & Theobald that has been critical to the success of our projects throughout the Northeast.



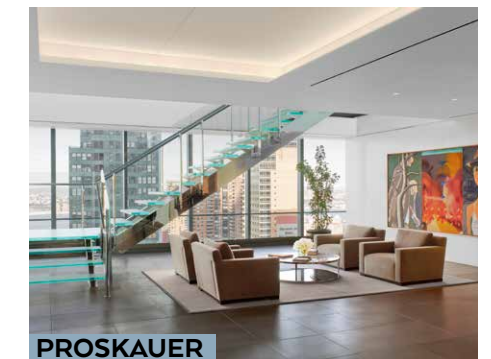
**FAENA HOTELS**

**PROJECTS**

- Akin Gump
- Boston Consultancy Group
- Cohn Reznick
- Credit Suisse
- Milbank
- New York Life
- Proskauer
- Quinn Emanuel
- Schroders
- Knickerbocker Hotel
- Faena Hotels
- Standard Hotel & Restaurant
- New York Life
- Coach
- PSAC II (911 Call Center)



**KNICKERBOCKER HOTEL**



**PROSKAUER**



**PSAC II**



**SREEJESH UNNIKRISHNAN**  
MEP ESTIMATING

**QUALIFICATIONS**  
MS & BE IN MECHANICAL  
ENGINEERING

**EXPERIENCE**  
13 YEARS

**PROJECTS**

- The Standard East Village
- Knickerbocker Hotel
- Essex House
- Aloft South Beach Hotel
- Baha Mar Ltd.
- Faena Hotels
- The Avalon Hotel
- Thd Highgate Hotels
- Hotel Pennsylvania
- Park Lane Hotel
- Milbank
- Boies, Schiller & Flexner
- Proskauer Rose
- New York Stock Exchange
- Schroders
- Tiger Management
- Two Sigma Investments
- Brown Brother Harriman

Sreejesh has over a decade of experience in estimating, reconciliation, and value engineering. Sreejesh is a key leader in Gardiner & Theobald's MEP Specialty Group.



**ALOFT HOTEL**



**KNICKERBOCKER HOTEL**



**FAENA HOTELS**



**ESSEX HOUSE**

# 3 RELEVANT EXPERIENCE



THE WOOLWORTH BUILDING, NEW YORK, NY



### 432 PARK AVENUE NEW YORK, NY

#### SERVICES

Due Diligence  
Fund Monitoring

Gardiner & Theobald provided due diligence and fund monitoring services for a confidential investor for this new tower on Park Avenue. This building is currently the tallest residential tower in New York City.



### 100 BARCLAY NEW YORK, NY

#### SERVICES

Project Monitoring

#### SIZE

1,249,557 GSF

Gardiner & Theobald provided project monitoring for iStar Financial on the conversion of commercial-to-residential condominiums. The project is a 1,249,557 GSF commercial-to-residential condominium conversion occupying floors 11-31 of the 32-story historic landmarked building across the street from the World Trade Center/One World Trade Center.



### 815 FIFTH AVENUE NEW YORK, NY

#### SERVICES

Cost Management  
Project Management

#### SIZE

31,000 GSF

Gardiner & Theobald provided project and cost management services for a new 14-story residential building on Fifth Avenue, between 62<sup>nd</sup> and 63<sup>rd</sup> Street. The project was comprised of seven luxury duplexes overlooking Central Park.



### 21 EAST 12TH STREET NEW YORK, NY

#### SERVICES

Cost Management  
Project Management

#### SIZE

118,500 GSF

Gardiner & Theobald provided project and cost management for a new ground up luxury condo building located at 21 E 12th Street. The project includes a two-story basement with parking, ground floor retail, and 22 stories of residential condos.





**415 W 120TH ST**  
NEW YORK, NY

**SERVICES**  
Cost Management  
Project Management

**SIZE**  
64,000 GSF

Gardiner & Theobald provided cost and project management for 415 W120th, a 64,000 GSF, 14-story new residential building on Manhattan’s Upper West Side. The building offers a mix of 80 studios, one, two, and three-bedroom furnished units, and includes amenities such as a fitness center, study area, outdoor terrace, bike storage, package room, coffee bar and a rooftop deck. Construction started in November 2018 and the project was completed mid-2020.



**THE PIERRE HOTEL**  
NEW YORK, NY

**SERVICES**  
Project Management  
Cost Management

Gardiner & Theobald provided cost and project management services for the renovation of all 186 guestrooms in this historic hotel, as well as a new lobby lounge, pantry, dumbwaiter, interior stair, luggage elevator with ADA lift, complete redesign of Café Pierre and bar, relocation of Executive Offices of hotel, renovation of fitness center and passenger elevator upgrades.





### 3060 BROADWAY NEW YORK, NY

#### SERVICES

Cost Management  
Project Management

#### SIZE

40,000 SF

G&T provided project and cost management services for 3060 Broadway's renovation and repositioning from dormitory building into 59 rental apartments.



### WOOLWORTH BUILDING NEW YORK, NY

#### SERVICES

Cost Management  
Project Management

#### SIZE

935,000 SF

G&T provided project and cost management services for the Landmark Woolworth Building's 29<sup>th</sup> through 59<sup>th</sup> floor conversion to luxury residential condos. The project included 34 half floor, full floor, and penthouse residences. A historic façade restoration, creation of a new residential lobby and new elevators were also completed for this project. The project was designed by The Office of Thierry W Despont.



### 737 PARK AVENUE NEW YORK, NY

#### SERVICES

Cost Management  
Project Management

#### SIZE

935,000 SF

G&T provided project and cost management services for Macklowe Properties' refurbishment at 737 Park Avenue. This project included the renovation and refurbishment of 87 residences in this existing apartment building on Park Avenue.



### 785 EIGHTH AVENUE NEW YORK, NY

#### SERVICES

Cost Management  
Project Management

#### SIZE

135,000 SF

G&T provided project and cost management services for 785 Eighth Avenue's 43-story residential apartment building





**800 TENTH AVENUE**  
NEW YORK, NY

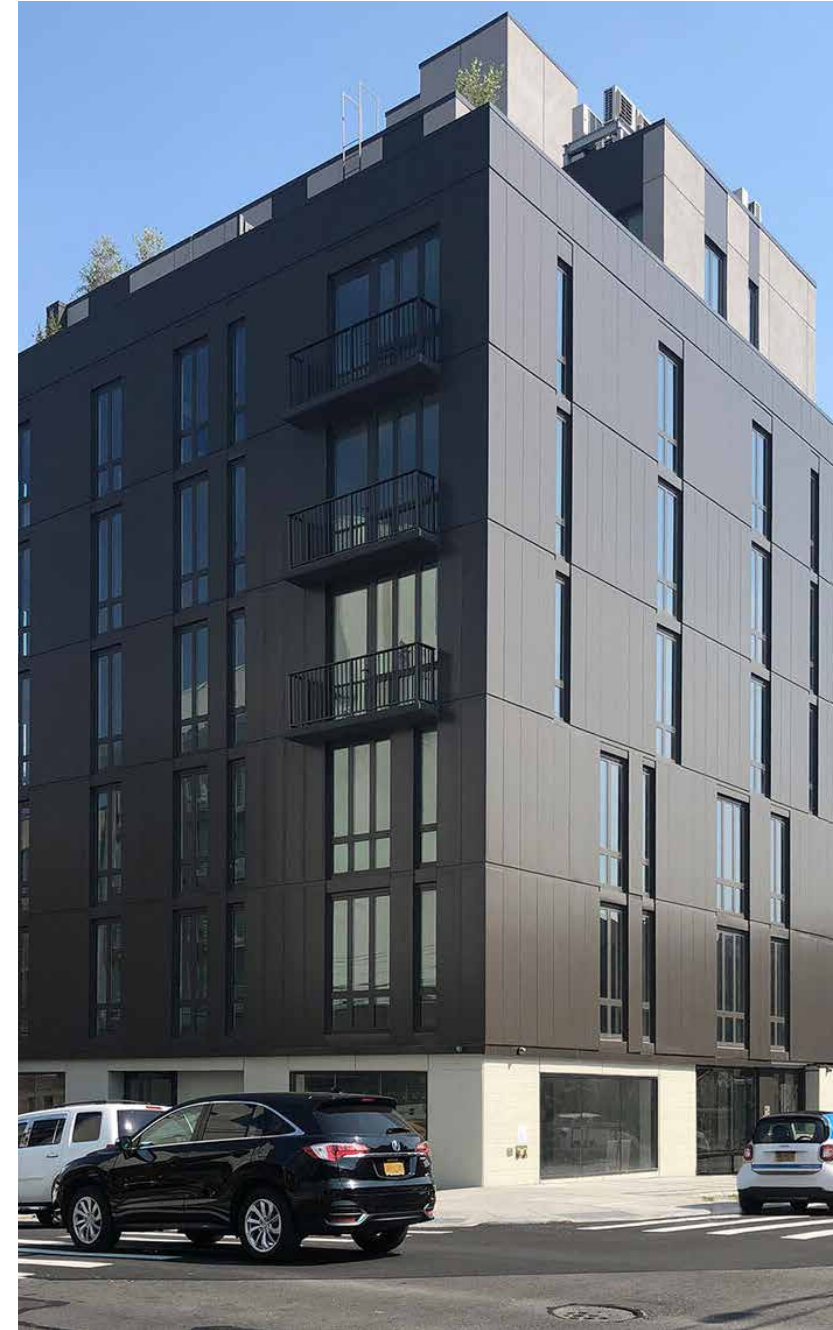
**SERVICES**  
Cost Management  
Project Management

**SIZE**  
161,000 SF

Griffin Court is a two-building residential condominium project with 95 units at 800 Tenth Avenue, between 53<sup>rd</sup> and 54<sup>th</sup> Streets. Gardiner & Theobald represented Jamestown Properties in the construction of this new residential development.

The project was 161,000 SF, with 95 residential units, two commercial retail spaces, and a landscaped courtyard. The building façade is a mixture of large stone masonry, tan bricks, steel columns, and glass casing on the ground floor.

The 95 units at Griffin Court are studio apartments, and one, two, and three bedroom apartments. All of the units were fitted with white oak floors, brand new kitchen appliances, oversized windows, and large master bathrooms. Some of the units have balconies, and other larger units were fitted with terraces.



**25-11 38TH AVENUE**  
LONG ISLAND CITY, NY

**SERVICES**  
Cost Management  
Owner's Representation

**SIZE**  
40,000 SF

G&T provided owner's representation and cost management services on behalf of Tamares Real Estate Investments for the construction of a new 40,000 SF seven-story mixed use building with parking garage at cellar level, manufacturing space at ground level and 33 residential units above.



**189 SCHERMERHORN**  
BROOKLYN, NY

**SERVICES**  
Cost Management  
Project Management

**SIZE**  
161,000 SF

G&T provided project and cost management services for Jamestown Properties' new residential development at 189 Schermerhorn. The property has 246 units and is located in the heart of downtown Brooklyn.



**20 HENRY STREET**  
BROOKLYN, NY

**SERVICES**  
Cost Management  
Project Management

**SIZE**  
39 units

G&T provided project and cost management services for Canyon Capital Partners' conversion and expansion project at 20 Henry Street. The project was a conversion from a commercial warehouse to luxury condos.



### RED HOOK 1

BROOKLYN, NY

#### SERVICES

Cost Management  
Project Management

#### SIZE

140,000 SF

G&T provided project and cost management services for the repositioning of this existing 108,000 SF warehouse into a 90,000 SF refurbished warehouse, with a 50,000 SF new construction tower to provide new commercial condominiums for creative and commercial uses.



### RED HOOK 2

BROOKLYN, NY

#### SERVICES

Cost Management  
Project Management

#### SIZE

220,000 RSF

G&T provided project and cost management services for the adaptive re-use of this existing 230,000 SF warehouse that adjoins the Brooklyn Cruise Ship Terminal. The existing 19<sup>th</sup> Century warehouse space was transformed into 150,000 SF of residential lofts on four levels and 72,000 SF of commercial space on the two ground levels, plus underground and street level parking.

# 4 FULL CLIENT LIST



## ADVERTISING

Aegis Dentsu Media  
Eicoff  
Gerson Lehrman Group  
Grey Global  
GroupM  
Hill & Knowlton  
JWT  
Kantar Group  
Mirum  
Ogilvy & Mather  
Publicis Group  
Razorfish  
R/GA  
Sudler & Hennessey  
Unified  
Vision 7  
WPP  
Wunderman  
Xaxis  
Young & Rubicam

## AVIATION

Hawthorne Global Aviation  
Heathrow Airport Holdings  
Israeli Airport Authority  
Pittsburgh Airport Authority  
Qantas Lounge LAX

## BROADCAST

21st Century Fox  
Associated Press  
Fox News  
NBC Universal  
NBC: Late Night with Seth Meyers  
NBC: Tonight Show Starring Jimmy Fallon  
News Corporation  
Telemundo  
WPIX 11  
WWE

## COMMERCIAL INTERIORS

1199 SEIU Funds  
AB InBev  
A&E Networks  
AlixPartners  
Aaptiv Inc  
ArcelorMittal  
Arthur Andersen  
ARK Partners  
AT&T  
Bacardi  
Big East Conference  
Blue Apron

BMC Software  
Boston Consulting Group  
British Telecom  
BSH  
BT / Syntegra  
Campari Group  
Convene  
Diageo  
Disney  
Douglas Ellima  
EY  
Fidelity  
Fosun  
Frankel & Co  
Gartner  
GLG  
Global Strategy Group  
Goelet, LLC  
Harrison & Star  
Harry's  
Health Insurance Plan (HIP)  
Hudson's Bay Company  
Hunter Douglas  
IDEO  
Industrial Color  
Investopedia  
JLT Risk Solutions  
John Aaroe Group  
Kellwood  
Knewton  
Knoll  
Korn Ferry  
Lafayette 148  
LAMCO Inc.  
Li & Fung  
Liberty Mutual  
Limited  
Lincoln Express  
M&C Saatchi Group  
McKinsey  
MetLife NY  
Moody's  
MLS  
MSNBC  
MTA  
NBC  
News Corp  
New York Life  
Nippon Life  
Northstar  
OXO  
Pernod Ricard USA  
PILnet  
Pfizer  
PwC

Purdue Pharma  
Renfro Corporation  
Starr Companies  
SYPartners  
Thornton Tomasetti  
Tiffany  
XO Group  
VMLY&R  
Zurich Insurance

## EDUCATION - COLLEGES & UNIVERSITIES

Alpha Plus Group  
American Academy of Dramatic Arts  
Arizona State University  
Collegiate School  
Columbia University Medial Center  
LIM College  
Marymount College  
Manhattan School of Music  
Pace University  
St. John's Academy  
St. John's University Law School  
St. Monica's Catholic Community  
Touro College  
Yale University

## EDUCATION - SCHOOLS K-12

Alpha Plus  
Adtalem Global Education  
American Academy of Dramatic Arts  
Birch Wathen Lenox School  
Bedford High School  
Beverly High School  
Brearley School  
Bridgewater Schools  
Brooks School  
Concord School  
Harbor Day School  
Lincoln Park School  
Marblehead Middle School  
Southborough Schools  
Shampscott High School  
Success Academy Charter Schools  
Wellesley High School  
Willoughby Schools  
Dennis Yarmouth High School

## FINANCIAL SERVICES

Accenture  
Agricultural Bank of China  
AllianceBernstein  
Albion Investors  
Amaranth Advisors

American Express  
 Apollo Global Management  
 Arcline Investment Management  
 AustralianSuper  
 Bank Nationale de Paris  
 Bank of China  
 Bank of Indonesia  
 Barclays Investment Bank  
 Bardin Hill  
 Bank of Montreal  
 BBR Partners  
 Bear Sterns  
 BlackRock  
 Bloomberg  
 Brown Brothers Harriman & Co  
 Capital Group  
 Carlin Financial Services  
 Centerline  
 Centiva Capital  
 CIBC  
 Citadel  
 Citibank  
 Cohn Reznick  
 Commonwealth Bank of Australia  
 Credit Agricole  
 Credit Lyonnais  
 CreditSights  
 Credit Suisse  
 D.E. Shaw Group  
 Dime  
 Edgewood Management  
 Element Capital  
 Elliott Management  
 EW Healthcare Partners  
 Gemini  
 Gilder, Gagnon, Howe & Co.  
 Goldman Sachs  
 Goldpoint  
 Glenmede  
 Golub Capital  
 Great Western Bank  
 Greenfield Partners  
 Greenhill & Co  
 Greystar  
 GCM Grosvenor  
 Guggenheim Partners  
 Hackman Capital Partners  
 HAP Capital  
 HUNT Mortgage  
 Hutchin Hill Capital  
 iCapital Network  
 IFCA - LAIFEX, Dominican Republic  
 ING  
 Insight Partners  
 Intercontinental Exchange (ICE)

IEX Group  
 ION Trading  
 JP Morgan Chase  
 Jane Street  
 Kepos Capital  
 King Street Capital  
 Landesbank  
 Legg Mason  
 Macquarie Group  
 Magnitude Capital  
 Man Group  
 McKinsey & Company  
 Merrill Lynch  
 Millennium Management  
 Moelis & Company  
 Moody's  
 Morgan Stanley  
 Natixis  
 New York Stock Exchange  
 Nord LB  
 Octagon Credit Investors  
 Oesterreich National Bank  
 Orion Resource Partners  
 Partners Group  
 Paxos  
 Pictet Group  
 Point72 Asset Management  
 R3  
 Rockefeller Capital Management  
 Royal Bank of Scotland  
 Rothschild  
 SBC  
 Scan Health Plan  
 Schroders  
 Silver Lake Partners  
 Societe Generale  
 Soroban Capital Partners  
 Standard & Poors  
 INTL FCStone (Formerly Sterne Agee)  
 Stonepeak Infrastructure Partners  
 The Street  
 Squarepoint Capital  
 Sumitomo Mitsui Trust Bank  
 Taconic Partners  
 Third Point  
 Tiger Global Management  
 Tradeweb  
 Trepp  
 Trumid  
 Two Sigma  
 Wafra Inc.  
 Warburg Pincus  
 WCAS  
 Wells Fargo Bank

## FITNESS

Equinox  
 OXFitness Lab  
 Peloton  
 Soul Cycle

## HEALTHCARE &amp; LIFE SCIENCES

21<sup>st</sup> Century Oncology  
 BioMed Realty Trust  
 Boca Raton Regional Hospital  
 CUMC  
 Grey Healthcare Group  
 HIP Health Plan of New York  
 Integrated Outpatient Services  
 L'Oreal Research & Innovation  
 NYC Health & Hospitals Corp  
 NYULMC  
 Regeneron  
 Roivant Sciences  
 Ross Acupuncture  
 Richmond University Medical Center  
 Sun Products Research  
 Texas Medical Campus  
 Westchester Medical Center  
 Westside Health Center  
 ZocDoc

## HOTELS &amp; LEISURE

2420 Amsterdam  
 The Ace Hotel  
 Aloft Hotels  
 Andre Balazs  
 Avalon Hotel  
 Baccarat Hotel  
 Baha Mar Ltd.  
 Barriere Le Fouquet  
 Bel Air Villas, LA  
 Beverly Hills Hotel, LA  
 Beverly Wilshire Hotel  
 Bluestem Hotel  
 Boston Hotel Properties  
 Canyon Partners  
 Carlyle Hotel  
 Centurion Partners  
 Chelsea Hotel  
 CitizenM  
 Crown Building  
 Continental Hotel  
 Cupertino Hyatt  
 Delano Hotel  
 Diamond Rock Hospitality  
 Diplomat Hotel, FL  
 Dorchester Collection  
 Doubletree

Dylan Hotel  
 Essex Street Market  
 Euro Watergate  
 Faena Hotels  
 Felcor Lodging Trust  
 Four Seasons, Vail  
 Gates Hotel  
 Graduate Hotel  
 Grand Hyatt  
 Hard Rock Hotel  
 Harvard Club of New York City  
 Hilton  
 Highgate Hotels  
 Hotel Americano  
 Hotel Bel Air  
 Hotel Pennsylvania  
 Jade Hotel  
 Jazz on the Park  
 JW Marriott Essex House  
 Keys Collection  
 Knickerbocker Hotel  
 Line Hotel  
 Lotus Casino  
 Marriott Renaissance  
 Marriott Vacation Resorts  
 Hotel MDR  
 Mayfair Hotel  
 MEI Hotels  
 Metropica  
 Middlebrook Ventures LLC  
 Milford Plaza  
 Millennium Hilton Downtown  
 Milner Hotel  
 Monarch Beach  
 Morgan's Hotel  
 The Mosaic Hotel  
 New York Palace Hotel  
 Novotel Hotel  
 One Hotel Central Park  
 Park Hyatt Hotel  
 Park Lane Hotel  
 Perfect Day at Cococay  
 The Pierre Hotel  
 Plaza Athenee Hotel  
 The Refinery  
 Rendezvous Bay Hotel & Villas  
 Ritz Carlton  
 Rosewood Hotels  
 Royal Caribbean  
 San Vicente hotel  
 The Savoy  
 Schrager Hotels  
 Soho House & Co.  
 Standard Hotel & Restaurant  
 Starwood

Surf and Sand  
 Sydell Group  
 TAJ Resorts & Palaces  
 Traymore Hotel  
 Viceroy Hotel  
 Villa Sand Club  
 Vintro II Hotel & Condominium  
 Virgin Hotels  
 Waldorf Astoria  
 Wet Republic  
 Whitcomb Hotel  
 Willow Hotels  
 Yotel Times Square

## LANDLORDS &amp; DEVELOPERS

25 Broadway Office Properties  
 American Realty Advisors  
 Beacon Capital Partners  
 Brookfield  
 Cain International  
 Callahan Partners  
 Canyon Partners  
 Enrich Realty  
 Faena Properties  
 GG 2  
 GFI Development  
 Hines  
 The Howard Hughes Corporation  
 Ironstate Development  
 Jamestown Properties  
 JMH Development  
 JHSF Participações S.A.  
 KAR Properties  
 L&L Holding Company  
 Macklowe Properties  
 Monday Properties  
 The RealReal  
 Real Estate Capital Partners  
 Related Companies  
 Rolex Realty Company LLC  
 Savanna Fund  
 SL Green  
 Somerset  
 Starwood Capital  
 Starwood Property Trust  
 Tribeca Holdings Ltd.

Boies Schiller Flexner LLP  
 Bryan Cave Leighton Paisner  
 Clifford Chance US  
 Cravath  
 Curtis, Mallet-Prevost, Colt & Mosle  
 Day Pitney  
 Dechert LLP  
 Fenwick & West LLP  
 Freshfields US  
 Goulston & Storrs  
 Haynes and Boone, LLP  
 Hunton Andrews Kurth LLP  
 Jenner & Block  
 Jones Day  
 Kelley Drye & Warren LLP  
 Knight Law Group  
 Latham & Watkins  
 Linklaters  
 Manatt, Phelps & Phillips, LLP  
 Mayer Brown  
 McCarter & English, LLP  
 McKool Smith  
 Milbank  
 Mintz  
 Norton Rose Fulbright  
 O'Melveny & Myers  
 Paul Hastings  
 Perkins Coie LLP  
 Pillsbury Winthrop Shaw Pittman  
 Proskauer Rose  
 Schnader Harrison Segal & Lewis  
 Sheppard Mullin  
 Sidley Austin LLP  
 Simpson Thacher & Bartlett  
 Stroock  
 Swidler Berlin Shereff Friedman  
 Thacher Proffitt & Wood  
 Troutman Sanders  
 Venable LLP  
 Vinson & Elkins LLP  
 Watson, Farelly & Williams  
 Weil Gotshal  
 White & Case

## LAW FIRMS

Akerman LLP  
 Akin Gump Strauss Hauer & Feld  
 Arent Fox  
 Ashurst  
 BakerHostetler  
 Becker Glynn, Muffly, Chassin & Hosinski

## MEDIA

A&E Networks  
 Associated Press  
 BBC  
 Brand Union  
 Cognizant  
 Comcast Network  
 Corbis  
 Daily News  
 Demand Media  
 Dow Jones

The Economist  
EMI - Universal Music Group  
Hachette Filipacchi Media  
Havas Media  
Horizon Media  
Infor  
Investopedia  
Knewton  
KTLA  
McGraw Hill  
Mediacom  
MediaEdge  
The New York Times  
Oprah Winfrey Network  
Oxford University Press  
Paradigm Talent Agency  
Participant Media  
Penske Media Corporation  
Perseus Books  
PriMedia  
RealD  
SBE Entertainment  
Sandow Media  
Spring Studios  
Smashbox Studios  
Squarespace  
Time Inc.  
Traation  
Tribune Media  
UBM Canon  
United Talent Agency  
Viacom  
Warner Music Group  
WWE

#### MUSEUMS & GALLERIES

401 Market Street Gallery  
Affirmation Arts  
The Broad Museum  
Children's Museum of Manhattan  
Christie's Auction House  
Faena Arts Center  
Grand Rapids Art Museum  
Metropolitan Museum of Art  
Mingei Museum  
Museum of Arts & Design  
Museum on the Square  
The Getty  
The New Museum  
Norton Museum  
Pace Gallery  
Phillips Auction House  
Sothebys  
Team Lab  
Virginia Museum of Fine Arts

Wende Museum  
Whitney Museum of American Art

#### NOT-FOR-PROFIT ORGANIZATIONS

America Magazine  
America Society of Composers  
ASCAP  
Aviva Family & Children's Services  
Bloomberg Foundation  
Brennan Center for Justice  
Brooklyn Botanic Garden  
The Boys Club of New York  
Carnegie Corporation  
Catholic Diocese of Rockville Center  
Center on Addiction  
City Harvest  
Collegiate Church  
Covenant House Clinic  
The Foundation Center  
Greentree Foundation  
Goodwill  
Henry Street Settlement  
IAVI  
iMentor  
International House  
Jewish Board of Family Services  
Joint Operations Center  
Lambda Legal  
New York Academy of Sciences  
Mellon Foundation Garden  
Metropolitan Museum of Art  
Moise Safra Center  
New York Academy of Sciences  
Nonprofit Finance Fund  
Norton Museum  
PILnet  
Planned Parenthood  
SAC Foundation  
St Monica Catholic Community  
Surdna Foundation  
Teach for America  
USTA Kimmelman Tennis Center  
UJA  
UJC  
Vera Institute of Justice  
YMCA

#### PARK REDEVELOPMENT

Brooklyn Botanic Garden  
Brooklyn Bridge Park  
Centennial Park  
City of Detroit  
Columbia Manhattanville  
Domino Sugar Building  
Mill River Park Collaborative  
Little Island at Pier 55

Prospect Park  
Santa Monica Palisades Park  
St. Louis Waterfront Park  
St. Petersburg Pier  
San Francisco Zoo  
Tongva Park  
Willoughby Square Park  
Wycoff Cultural Center

#### PUBLIC SECTOR

Australian Consulate, NYC  
British Consulate, NYC  
Bulgarian Embassy, DC  
Canadian Chanceries  
Canadian Consulate, NYC  
Canadian Mission to the UN  
The City of New York  
Commonwealth Joint Office to the UN  
Czech Republic Embassy, NYC  
Hong Kong Economics & Trade Office  
Japanese Consulate, NYC  
Hollywood Police Department, FL  
NYC Department of Design & Construction  
New York City Public Library  
New York City Police Academy  
New York City Hall  
NYSERDA  
Public Safety Answering Center II  
Mission of the Republic of Kenya  
UK Mission to the UN  
The United Nations Campus Master Plan

#### RESIDENTIAL

45 Park Place  
6AM Development  
Alchemy Properties  
Allied Partners  
Baccarat Residences  
Candy & Candy Property  
The District  
Edgewater  
Encore K Town  
Equity Residential  
Faena Condominiums  
Fosun  
Trinity Place Holdings  
Housing Works  
The Howard Hughes Corporation  
Kaish & Taub  
Jamestown  
JEMB Realty  
JHSF  
L'Atelier  
Lightstone  
Madison Development

One West Palm  
Parkway Lofts  
Pinnacle  
QPS Tower  
The Rise Hollywood  
Starwood Property Trust  
Tavros  
The Towers  
TriArch Real Estate Group  
Tribeach  
Wynwood Residential

#### RESTAURANTS

Beachcraft Restaurant  
Beecher's Cheese  
Buddakan  
Cecconi's Soho  
Cloud Kitchens  
Continental Restaurants  
Cote Restaurant  
Dumbo House  
Eatly  
El Vez  
The Fat Cow  
La Fleur Jolie  
Freehand Restaurant  
Foodshed  
Gordon Ramsay Holdings  
Hakkasan Ltd  
Inko Nito LA  
Krispy Kreme  
La Esquina  
La Mar Restaurants  
Le Bernardin  
Le Cirque Restaurant  
Le Diplomate  
Le Paradis du Fruit  
Ludlow Garden  
Montenapo Restaurant  
Morimoto  
The Ned  
Nusr-Et Steak  
Parc Brasserie  
Restaurant at the Hotel Bel Air  
Restaurant at the Standard Hotel  
Salt Bae  
South Gate Restaurant  
Starr Restaurants  
Sydell Group  
Uncle Sam's  
Wagamama

#### RETAIL - OFFICES & SHOWROOMS

Agent Provocateur  
Allsteel  
ANN Inc.  
Avon  
Celine  
Charlotte Tilbury  
Coach  
Coty  
Delta Galil  
Farfetch  
Footlocker  
Gap Inc.  
Gucci  
Hampshire Group Ltd  
Hudson's Bay Company  
Herman Miller  
Jumpman  
Krispy Kreme Flagship  
Knoll  
Kozmo.com  
Kwiat / Fred Leighton  
L Brands  
Lafayette 148  
Levi's  
Li & Fung  
L'Oreal  
LVMH  
MedMen  
NYX Cosmetics  
Porcelanosa  
Sara Lee  
Shiseido  
Stashed  
Tiffany & Co.  
Versace

#### RETAIL STORES

Apple  
Asprey  
Baccarat  
Barneys  
Bottega Venetta  
Boucheron  
Burberry  
Cartier  
Champs  
Coach  
Christian Dior  
Clarins  
Club Monaco  
Donna Karan  
Ermenegildo Zegna  
Flying Tiger  
Footlocker

GAP  
Giuseppe Zanotti  
Gucci  
L'Occitane  
Lacoste  
Levi's  
Louis Vuitton  
Mercedes-Benz  
OHP Retail  
Panerai  
Porsche Cars North America  
Redken  
Saks Fifth Avenue  
Sergio Rossi  
Tiffany & Co.  
TopShop  
Van Cleef & Arpels  
Victoria's Secret  
The Webster  
Wegmans Food Markets  
Yves Saint Laurent

#### TECH

AppNexus  
Facebook  
Fetch  
Google  
Hulu  
Infor  
Intersection  
Konami Digital Entertainment  
Maxus  
Microsoft  
MSC Software  
Policygenius  
SeatGeek  
Shutterstock  
Squarespace  
The Knot  
Tumblr  
ZocDoc

#### THEATERS & ENTERTAINMENT

American Ballet Theatre (ABT)  
Faena Arts Center  
The Independent Film Channel (IFC)  
Minskoff Theatre - The Lion King  
National Black Theatre  
Parx Casino  
Pavilion at Sun Valley  
Revel Casinos  
San Diego Symphony  
Starlight Theater  
Stratford Theater  
Times Center



CONTACT US

**Christopher Burke**

Senior Director

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[www.gardiner.com/us](http://www.gardiner.com/us)



## Delivering Innovative Solutions to the Built Environment

Since 2010, Allworld Project Management (AWPM) has successfully administered high quality projects on time and within budget.

From smaller task orders to multi-million-dollar programs, each project is customized using fundamentals established by the Project Management Institute (PMI)®. We manage projects both, during a particular phase or from initiation through close out. We are committed to quality and have maintained an audited quality management system certified by the International Standards Organization since 2017.



“ At Allworld Project Management, our mission is to consistently exceed our clients’ expectations by providing value-added solutions one task at a time. ”

MICHAEL A. HOOKS, JR. | FOUNDER AND CEO

### OUR SERVICES



CONSTRUCTION SUPPORT



ECONOMIC AND COMMUNITY DEVELOPMENT



ENGINEERING SUPPORT



GEOGRAPHICAL INFORMATION SYSTEMS



INFORMATION TECHNOLOGY



CUSTOMIZED PROJECT MANAGEMENT



WATER RESOURCES



## Our Services

### Program Management

AWPM has experience managing programs. We are currently managing the both the design and construction components of the \$90 million Capital Improvement Program for Shelby County Schools. We are also Program Managers for Housing & Community Development for the Finance, Design and Construction of the Fairgrounds Youth Sports Facility estimated to be over \$150 million. Additional Program Management experience is included in our Project Profiles under relevant experience.

### Engineering Support

AWPM's engineering division develops innovative solutions to address the ongoing and evolving needs of our clients. We have extensive expertise in providing civil engineering support services. We also have direct project experience in water resources, planning and design, transportation, environmental and building systems.

### Construction Support Services

Project scheduling, budgeting, document control, inspection oversight and contractor management are major components of AWPM's services. We focus on continuous process improvement, which provides control over project costs, scope and schedule. Our experience allows us to identify issues and opportunities in the early stages of a project to ensure quality delivery. AWPM is also committed to safety – we participate in certified training programs administered by national agencies – American Red Cross, OSHA and NCCER.

### Geographic Information Systems

As Esri® Partners, our team specializes in decision support systems, mobile applications, asset management, web mapping applications, and Enterprise GIS. These solutions help clients manage existing workflows, implement complex programs and plan for upcoming projects.

### Customized Project & Program Management

### Construction Supporting Services:

Construction Administration and Owners Representation

Facility Condition Assessments

Construction & Engineering

Inspections

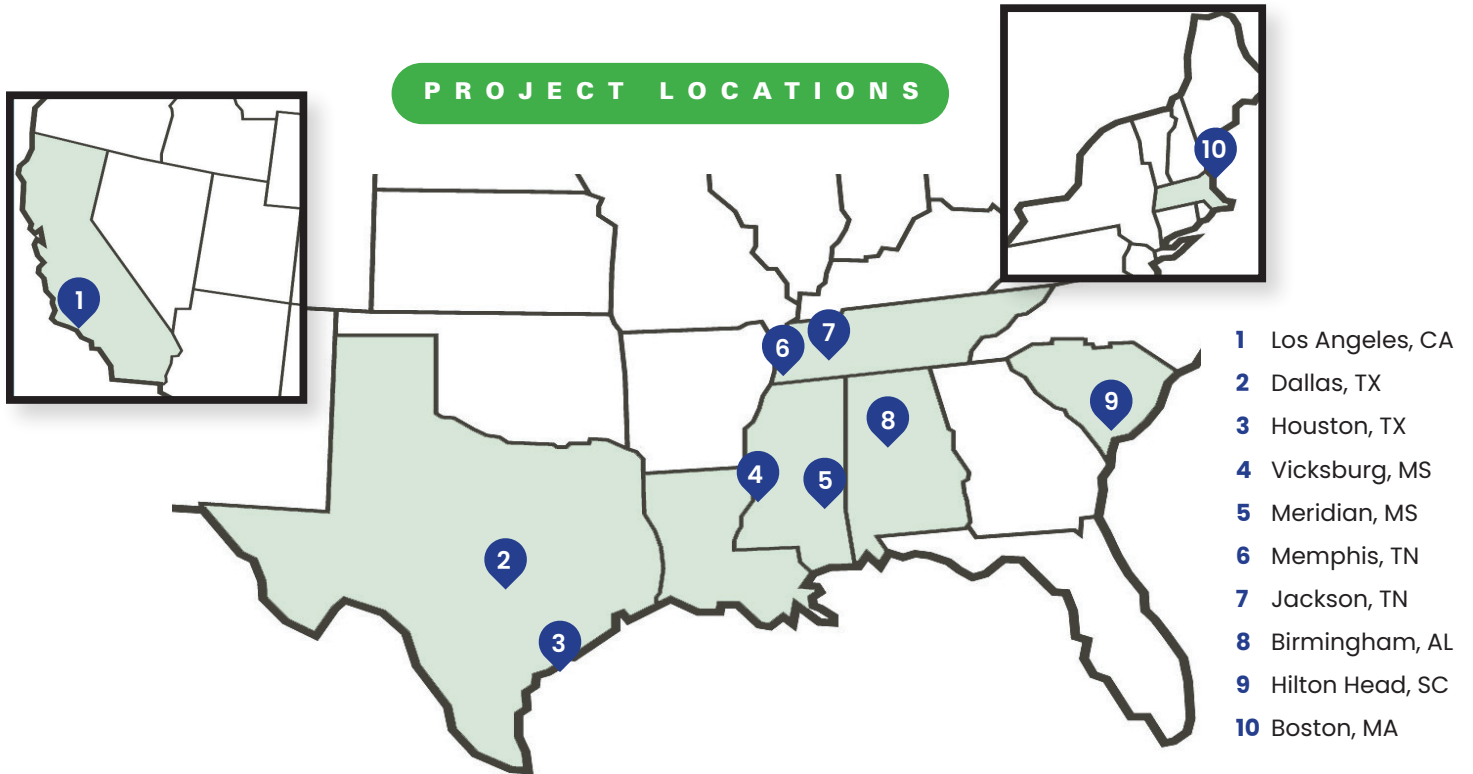
Cost Estimating & Analysis

Design Management



## THE ALLWORLD WAY.

The success of our business is dependent on the trust and confidence we earn from our employees and clients. We gain credibility by adhering to our commitments, displaying honesty and integrity and reaching company goals solely through honorable conduct.



42

FULL-TIME STAFF

131

PROJECTS MANAGED

11

TOTAL YEARS





**CLIENT**

Memphis River Parks  
Partnership

**PROGRAM VALUE**

\$100 Million +

**PROGRAM DURATION**

2018- 2022

**CLIENT REFERENCE**

Paul Young,  
Director of Housing  
Community  
& Development

“Allworld has applied Project Management Principle to this project adding value to the highly complex public - private endeavor. The team exceeds our expectations as a program partner.”

**Paul Young**

Director of Housing &  
Community Development,  
City Of Memphis

**SIMILAR PROJECTS**

**Memphis Fairgrounds Redevelopment  
Memphis, TN**

The City of Memphis applied for a Tourism Development Zone designation for the Memphis Fairgrounds and the surrounding three mile radius. Several public and stakeholder meetings as well as frequent updates to the City Of Memphis Senior Leadership Team were conducted as part of the process. The application included in depth analysis of tax revenue financial projections, legal considerations, presentation of a master vision and facility planning to include a mixed-use attraction centered around a \$65 Million Dollar Youth Sports Facility.

**Phase 1: Grant Planning and Management**

- Created Project Management Charter and Communications Plan.
- Coordinated public outreach resources.
- Coordinated with the team to create a Master Vision for the site.
- Provided GIS services to assist with site and surrounding area analysis.
- Provided drone camera and video services to document the existing site.
- Coordinated team members to compile TDZ application components.
- Assisted with presentations to Elected Officials, City Council and County Commission.

**Phase 2: Program Management**

In December of 2018 The State Of TN approved the fairgrounds for state approval. AWPM with Joint Venture Partner Vieste, LLC operating as Fairgrounds Partners, LLC entered into a contract to provide full Program Management services. A Sample of the detailed scope of work is attached as “Memphis Fairgrounds Redevelopment- Scope Of Services”

## SIMILAR PROJECTS

## Memphis Fairgrounds Redevelopment (cont.)

### Memphis, TN

#### 1. Program Management

- A. Serve in a “like staff” capacity and drive overall redevelopment effort through planning and design, financing, and construction phases of component projects as outlined below.
- B. Provide effective and efficient program management to ensure delivery of the redevelopment program on time, on budget, and in a manner conforming with the City’s goals for the redevelopment program and with the Fairgrounds TDZ Application as approved by the State Building Commission.
- C. Assist the City in identifying & retaining the following professional services by overseeing and driving the two -step procurement process of Qualifications Based Selection:
  - i. Developer for mixed-use hospitality & retail Private Development Opportunity
  - ii. Architect for Sports and Events Complex
  - iii. Operator for Sports and Events Complex
  - iv. Engineer for site infrastructure
  - v. Historic Tax Credits and New Market Tax
  - vi. Sale of naming rights, sponsorships, and related revenue opportunities

#### 2. Project Finance

##### A. Project Bonds

- i. Coordinate with the City Finance Division and its advisors in the planning for the approval and issuance of bonds for the Tourism Development Zone
- ii. Prepare/oversee preparation of portions of the bond package as needed
  - 1. Support City Finance Division on TDZ Bond underwriting and marketing
- iii. Oversee, drive, and coordinate monetization of private revenue streams:
  - 1. Naming rights, sponsorships, and related revenue opportunities
  - 2. Philanthropic contributions
  - 3. Historic tax credits (if chosen by the City)
- iv. Coordinate with City on assembly of capital improvement program (CIP) and general funding as required for capital stack.
- v. Execute other elements of Capital Development Plan.
- vi. Monitor the pursuit of the Retail & Hospitality (PDO). Assist the private developer in the identification and recruitment of tenants, as directed by the City.

##### B. Revenue Maximization:

- i. Identify and pursue, after approval from City, opportunities to maximize revenues generated by public and/or private development throughout the TDZ, particularly along streets which run adjacent to the Fairgrounds campus.

- C. Provide effective communications to prospective tenants, area stakeholders, neighboring institutions and neighborhoods, and the general public in a manner consistent with the Communications Protocol previously established.



**CLIENT**

Memphis River Parks  
Partnership

**PROGRAM VALUE**

\$60 Million

**PROGRAM DURATION**

2020 - 2024

**CLIENT REFERENCE**

Carol Coletta  
President  
Memphis Riverfront  
Partnership

“The Allworld team brings a wealth of Construction experience to the project, adding value to assist us in completing our world-class project on time and on budget.”

**Carol Coletta**

President  
Memphis River Parks  
Partnership

[ccoletta@memphisriverparks.org](mailto:ccoletta@memphisriverparks.org)

**SIMILAR PROJECTS**

**Tom Lee Park Renovations**  
Memphis, TN

Tom Lee Park (TLP) Renovation – Memphis, TN Project Description: Tom Lee Park redesign covers 30 acres of landscaping and various architectural elements, with a project budget of \$60 million. The overall park design was heavily influenced by the flow patterns of the Mississippi River creating opportunities and a sense of motion to smoothly navigate movements of people throughout the park. The new park design is broken up into 4 major zones: The Civic Gateway, The Active Core, The Community Batture, and the Habitat Terraces.

**Allworld Project Management Role**

Serving as owner’s rep for the Partnership (Memphis River Parks Partnership), AWPM is responsible for managing the design and construction process which includes monitoring and tracking the schedule, scope, and budget on behalf of the owner. AWPM host and manage biweekly OAC meetings, attends committee meetings, and provides the Partnership weekly project status updates.

Additional activities for the Project Managers included; design confirmation, utility coordination, construction site monitoring and inspection, stakeholder engagement, progress meeting facilitation, and document control.

During the construction, there are active roads and events. Allworld coordinated a safe, temporary entry for all attendees including those requiring an ADA compliant entry. With a tight schedule, Allworld’s constant onsite monitoring leads to quick resolutions and ultimately a timely delivery of the attraction.



**CLIENT**

Shelby County Board of Education

**PROGRAM VALUE**

\$90 Million +

**PROGRAM DURATION**

2018 - Ongoing

**CLIENT REFERENCE**

Joris Ray  
Superintendent  
Shelby County Schools

**SIMILAR PROJECTS**

**Shelby County Schools**  
**Memphis, TN**

In response to a competitive solicitation, In partnership with CBRE | Heery, Allworld Project Management was selected by Shelby County Schools in August 2018 to work with our local partner Allworld Project Management to provide project/program management services. Shelby County Schools (SCS) receives an annual funding amount from the County Commissioners for capital projects and deferred maintenance needs. Funding received for the previous three years (Fiscal Year 2018 and earlier) was used for a variety of projects, and the first assignment for was to complete and close-out 29 of these ongoing projects for roofing, HVAC window replacements along with several addition projects and a new school already under construction. Quality Control Inspections were conducted and schedules for completion were developed and the projects were brought to closeout within two months.

“Allworld Project Management has provided a high level of Capital Improvement Projects (CIP) Support to the District since 2018. They have developed a track record of excellence as problem solvers and partners as we reexamine education, schools and communities for our most precious stakeholders: our children”

Working as an extension of SCS’s staff, the project team soon found that the program needed procedures, guidelines and educational specifications, and work began to develop a series of standard forms, operating procedures and other tools. To accomplish this general office organization, a SharePoint site was created, and all files were converted to digital format. A series of standard reports was developed and other tools to track and store project data were put in place.

An additional assignment to the team was to serve as the district’s project manager for the renovation of a former Bayer Pharmaceutical facility that SCS purchased to be used for various administrative departments and functions.

**Joris Ray**

Superintendent  
Shelby County Schools

Projects for Fiscal Year 2019 were assigned to the team in October of 2019. There were 47 projects totaling over \$86M that included two new schools, 10 addition/renovation projects and 35 deferred maintenance projects to

**THE TEAM WAS ALSO ASKED TO PROVIDE ESTIMATES FOR THE FISCAL YEAR 2020 PROJECTS THAT INCLUDED 37 VARIOUS PROJECTS TOTALING OVER \$89M.**



**CLIENT**

City of Memphis

**PROJECT COST**

\$40 million

**PROJECT COMPLETION**

207

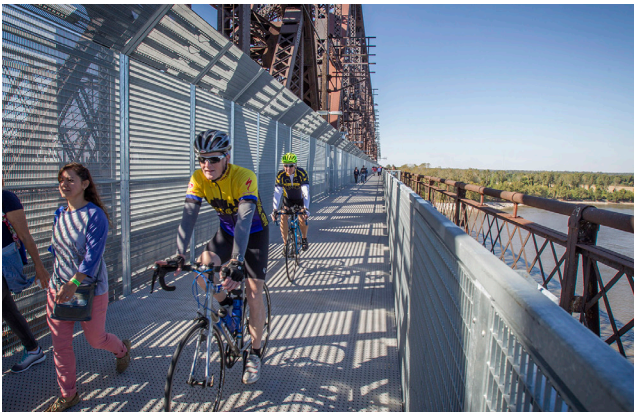
**CLIENT REFERENCE**

Paul Morris  
Project Leader

“Allworld’s project management services added a high level of value to the successful completion of this highly complex project.”

**Paul Morris**

*Project leader*



**SIMILAR PROJECTS**

**MAIN-TO-MAIN MULTIMODAL CONNECTOR PROJECT**  
Memphis, TN

**Project Description**

The Main-to-Main project was a partnership between Memphis/Shelby County, TN and West Memphis/Crittenden County, AR. The project involved two cities, two counties, two states, two state departments of transportation, the Federal Highway Administration, US Coast Guard, Army Corps of Engineers, and Tennessee State Historic Preservation office. The 40 million dollar project improved and connected the Main Streets of Memphis and West Memphis using the historic Harahan Bridge as a restored landmark.

**Allworld Project Management Role**

Allworld Project Management, LLC, was competitively selected to serve as the Technical Project Manager for this ambitious project. Team Members Michael Hooks, Jr., Deputy Program Manager (Controls and Communication) and April Simmons, Deputy Program Manager (Controls and Communication) worked collectively daily with responsibility for coordinating more than a dozen other A/E firms and construction contractors to design and construct various segments of the project. Tasked with significant financial oversight and administrative

responsibilities, both firms provided additional personnel to review bids, facilitate proposal meetings, resolve disputes, and made recommendations to the contracting authority. Allworld also took the reigns of the community engagement to not only inform the public of the project, but to limit the operational impact of local businesses along the trail throughout the construction of the trail. Main-to-Main was completed two weeks ahead of schedule and four percent under budget, culminating in a celebration and ribbon-cutting on Oct. 22, 2016.



**SIMILAR PROJECTS**

**MAIN-TO-MAIN MULTIMODAL  
CONNECTOR PROJECT (cont.)**  
Memphis, TN

**CLIENT**

City of Memphis

**PROJECT COST**

\$40 million

**PROJECT COMPLETION**

207

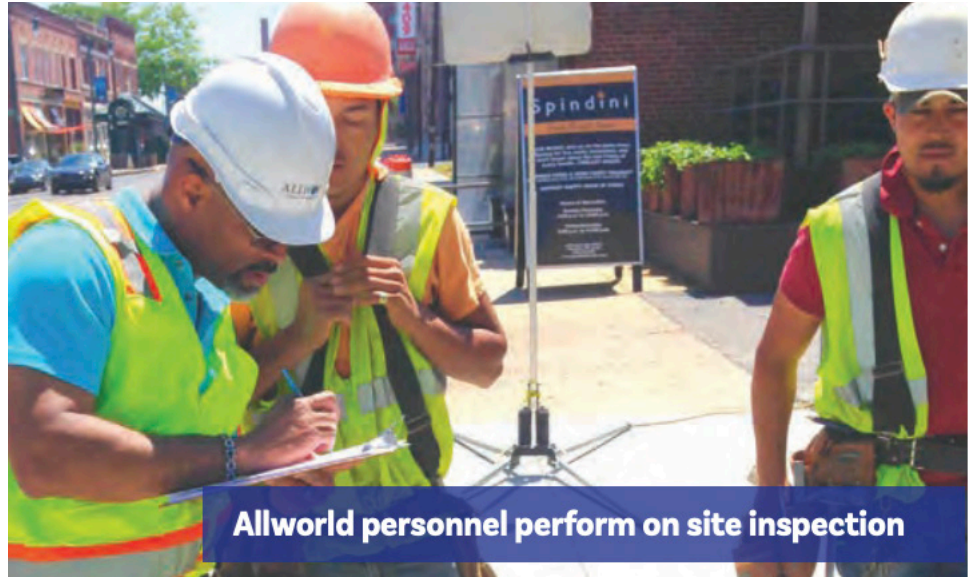
**CLIENT REFERENCE**

Paul Morris  
Project Leader

“Allworld’s project management services added a high level of value to the successful completion of this highly complex project.”

**Paul Morris**

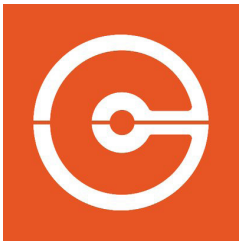
*Project leader*



**Example Of Limiting Operational Impact:**

This project experience also allows us to highlight our experiences to “keep facility operations impact minimal”. A significant scope of work on this project was to replace sidewalk areas in front of retail storefronts. The Program team was responsible for keeping the businesses informed while coordinating and scheduling the construction work. Our team integrated the construction schedule into the community outreach plan. By maintaining open communication and integrated plans, the construction activities had minimal impact to Main Street business operations.



**CLIENT**

Crosstown Concourse

**PROJECT COST**

\$200 million

**PROJECT COMPLETION**

2017

**CLIENT REFERENCE**McLean Wilson &  
Todd Richardson

“Allworld was integral to the success of Concourse. From pre-construction and community engagement to grant management and construction administration, Allworld performed at the highest level and delivered competence in all aspects of their work. We look forward to continuing our relationship with Allworld in years to come.”

**McLean Wilson &  
Todd Richardson**

*Co-Developers  
Crosstown Concourse*

**SIMILAR PROJECTS****CROSTOWN CONCOURSE**

Memphis, TN

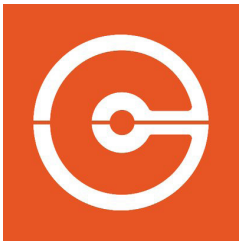
**Project Description**

The 88 year-old abandoned 1.5M historic Sears Crosstown Warehouse is being preserved and redeveloped into a LEED-certified adaptive mixed-use vertical urban village with a purposeful collection of uses and partners. The 200M renovation for the shell and core was financed through both public and private funding using over 30 capital sources including, but not limited to Historic Tax Incentives, New Market Tax Credits and philanthropic donations. An additional 100M is estimated for the completion of the tenant build-out space consisting of education, healthcare, retail, arts and apartments.

**Allworld Project Management Role**

AWPM was a member of the Crosstown Development team and provided services for the pre-construction, construction and post-construction phases. Throughout the process, roles overlapped and the scope of work expanded as AWPM’s resources and capabilities continued to add value to the project.

During the pre-construction phase, AWPM performed community engagement and procurement assistance. AWPM developed the Crosstown Collaborative for boots on the ground interaction with residents and business owners to obtain questions, concerns and feedback from the Crosstown and surrounding neighborhoods for the development teams consideration prior to final design approval. This was a great benefit for the community and owner team to share the vision of how they would like the dilapidated structure to be transformed.

**CLIENT**

Crosstown Concourse

**PROJECT COST**

\$200 million

**PROJECT COMPLETION**

2017

**CLIENT REFERENCE**McLean Wilson &  
Todd Richardson

“Allworld was integral to the success of Concourse. From pre-construction and community engagement to grant management and construction administration, Allworld performed at the highest level and delivered competence in all aspects of their work. We look forward to continuing our relationship with Allworld in years to come.”

**McLean Wilson &  
Todd Richardson**

*Co-Developers  
Crosstown Concourse*

**SIMILAR PROJECTS**

## CROSTOWN CONCOURSE (cont.)

### Memphis, TN

**Allworld Project Management Role**

After construction documents were prepared, AWPM assisted in diversity programming and procurement. The project was separated into 10 bid packages to assist small and local businesses in providing competitive bids. AWPM assisted in the facilitation of this process, coordinated multiple pre-bid meetings and performed outreach to bidders through phone, email and face-to-face interaction. Over 30 subcontractors were awarded contracts with over 30 percent awarded to minority and women business owned enterprises (MWBE).

During peak construction periods, over 400 workers performed at the project site at any given time. AWPM worked with the general contractor, Grinder Taber and Grinder to provide engineering and construction field support through construction administration. Construction administration consisted of document control for over 100 change orders and supplemental design information, over 4,500 drawings sheets (including electronic and paper), mechanical equipment change management, construction meeting coordination, project scheduling, daily reporting, field test report reviews, LEED compliance, storm water inspections and education material preparation, and workforce development.

Post construction services includes grant compliance requirements for New Markets Tax Credits. Compliance requirements include new hire monitoring and reporting for jobs created and benefits provided by the 37 building tenants



## MICHAEL A. HOOKS, JR.

EXECUTIVE PROJECT MANAGER, CONTROLS AND COMMUNICATIONS

### ROLE DESCRIPTION

With over 20 years of experience in program and project management, Michael Hooks Jr. serves as Founder and Chief Executive Officer at Allworld Project Management. For these proposed services, Michael will serve as Executive Project Manager. Michael will apply his project management, construction administration, government relations and diversity programming experiences to provide high-level guidance to team members and the client.

### PROJECT EXPERIENCE

Michael is uniquely qualified for this position based on several project-based experiences. The City of Memphis Sewer Assessment and Rehabilitation Program is a relevant example. Michael initiated this project as Deputy Project Manager, Controls and Communications. At program initiation in 2012, Michael assisted the team in developing KPI's and worked with staff to implement program controls and participates in monitoring these to maintain program success. Michael participated in preparing and presenting reports to local, state and federal government agencies for this \$250 Million Dollar Program.

The Main to Main project provides additional relevant experience leading a similar project. Directly supporting the Project executive, Michael represented the Project Management Team Monitoring Controls, Communications and Diversity. Michael was also responsible for the oversight of five Allworld employees assigned to this project. This project was highly complex with 14 funding streams, detailed technical requirements and ambitious grant deadlines

At Economic Development Growth Engine (EDGE) Michael represented the board in negotiating Diversity plans that included locally owned small businesses and MWBE Participation. Michael assisted in over a dozen projects in the last five years including high profile projects such as Nike and International Paper expansion. These roles required the ability to communicate details of construction, human resources and public affairs to both lower and executive level management.

### EDUCATION

- Bachelor of Science, Political Science, Hampton University, 1998
- Executive Masters of Business Administration, University of Memphis, 2006

### CERTIFICATIONS

- Executive Certificate in Project Management, Christian Brothers University, 2015
- Tennessee Department of Transportation, Construction Engineering and Inspection (Certified Level 2)
- PMI Project Management Training (40 Hours)
- Six Sigma Training (40 Hours)

### AFFILIATIONS & MEMBERSHIPS

- Memphis Area Minority Contractors Association, Board Member
- Black Business Association, Board Member
- Rotary Club of Memphis, Past Board Member
- Greater Area Memphis Chamber of Commerce; Chambers Circle Member

### MINORITY FIRMS BUILD REP THROUGH ELECTROLUX

Memphis Business Journal | Sep. 5, 2013

*"Michael Hooks Jr., president of Allworld Project Management LLC, which until recently worked with EDGE on its diversity plans for the PILOT program, said the Electrolux project will make it easier for local firms to bid successfully on similar projects in the future. I can comfortably say the majority of local and minority contractors can definitely use this project for future endeavors," he said.*

*"The more we can highlight this for positive experiences, the more we can use them to lure other projects to Memphis."*



**CHRISTOPHER D. ACUFF** PROJECT MANAGER

**ROLE DESCRIPTION**

With over 25 years of project management experience, Christopher (Chris) has strong program management experience includes construction administration, budgeting, permitting, and quality control. As the Lead Project Manager, Chris will provide primary and direct support to the Ownership team.

**PROJECT EXPERIENCE**

Chris’s career in project management has included several complex, multi-disciplined projects including hotel development activities from concept to opening including oversight of design teams, consultants and contractors for all new builds, renovations, and rebrands.

**EDUCATION**

- Bachelor of Business, University of Memphis
- Administration in Marketing Management, University of Memphis
- Masters of Christian Studies, Union University

**ADDITIONAL PROJECT EXPERIENCE**

- Portfolio Manager, Financial Engines Memphis, TN June 2010 – Jan. 2013
- Project Manager, Metro Construction, LLC, Memphis, TN February 2007 – March 2010
- Construction Solutions, LLC, Estimator/Project Manager Feb 2000–August 2001
- Flintco Inc., Estimator/Project Manager May 1998–February 2000, August 2001–May 2003
- Linkous Construction Co., Field Engineer/Assistant PM October 1993– August 1998

Recently completed projects as Director of Development for Valor Hospitality Partners (February 2019 to Current) Include:

- Central Station Hotel – Hilton Curio, Memphis, TN Project of the Year by Memphis Business Journal’s Building Memphis Awards
- The Harpeth – Hilton Curio, Franklin, TN Luxury hotel in historic downtown Franklin, TN
- Marriott Delta – Basking Ridge, NJ Conversion from an IHG Indigo
- Somerset Hills Hotel – Tapestry by Hilton – Warren, NJ Conversion from independent hotel

**CURRENT PROJECTS**

- The Jefferson Hotel – Hilton Curio – Huntsville, AL Currently under construction
- The Valley Hotel – Hilton Curio in Homewood, AL Currently under construction
- The Banneker – Kimpton Hotel in Washington D.C. Currently under construction
- Two additional Curio projects in Georgia and Colorado currently in design

*Chris served as Director of Development and Construction - Kemmons Wilson Companies – Memphis, TN (Jan. 2013 – Jan. 2018) Responsible for daily operations of all KW Real Estate activities including hospitality, multi-family and commercial developments*

Owner’s Rep/Construction Manager for Crosstown Concourse – \$200m Adaptive Re-Use of the former 1.5 mil SF Sears Crosstown Building in Memphis. Tabled as the largest historic adaptive reuse LEED Platinum project in the world, the Crosstown project has won numerous awards for design, construction and community impact. As owner’s rep, Chris provided oversight for design and construction activities and operated as primary point of contact for the development team.



## BRENT A. HOOKS EXECUTIVE PROJECT MANAGER

### ROLE DESCRIPTION

Chief Administrative Officer for a fast-growing project management firm. Solution-oriented, organized, and well-rounded individual with concentrated skills in accounting, finance, and business administration. Respected by peers and colleagues as a strong ethical example in the workplace. Brent thrives as a strategic leader in a creative environment that solves problems and provides value added solutions to the marketplace.

### PROJECT EXPERIENCE

#### Fairgrounds Redevelopment, Memphis, TN

Project Description: Memphis Fairgrounds Planned Development is a mixed-use development the Fairgrounds with a total development value greater than \$110 Million. The development of 227,000-square-foot multi-purpose indoor sports and event complex with 2,700 permanent seats will support a 700,000-square-foot, the private mixed-use development. Specifically, the development includes 30,000 square feet of retail space and over 80 hotel rooms. The project is utilizing TDZ funding mechanisms that all the city to redevelop the Fairgrounds using sales tax revenues, opportunity zone funds, \$61 million in private funds, and over \$65 million in bonds

**Role:** Hooks participated as program manager meeting with developers and bond counsel to facilitate project success. Additionally, Brent coordinated technical resources and budgeting while assisting with project scheduling.

#### Community Redevelopment Agency: Community Planning – Memphis TN

Project Description: Through the utilization of Tax Increment Financing (TIF) tool, the Community Redevelopment Agency is strategically revitalizing the area within their TIF districts. The Agency has up to \$95 million to spend to eliminate blight and encourage development. Allworld leads as the technical program manager assisting with master planning activities related to community development and urban revitalization. Additionally, Allworld leveraged our geographical information system (GIS) mapping and analysis skills to aid the team with data driven decision-making.

**Role:** Brent played an oversight role on the program. He assisted with strategic planning and evaluation of program controls. Furthermore, Brent works closely with Allworld's GIS team to evaluate the information technology tools used to report key information.

#### Crosstown Concourse, Memphis, TN

Project Description: Partnering with global engineering firm Black & Veatch, the Allworld Project Management team performs contract management, compliance management, strategic planning, and GIS mapping activity supporting engineering construction and activities for the \$250 million, ten-year program. The Allworld team also aids the program by providing custom built information technology tools.

**Role:** Brent serves a project specialist where he leads contract management activities. Moreover, Brent was instrumental in the development of key performance indicators and maintains a program control role. His duties also include strategic program planning, process improvement, workforce development and diversity planning

### EDUCATION

- Master of Business Administration, Executive MBA, Global Immersion, Vanderbilt University
- Bachelor of Business Administration, Major: Accounting Minor: Finance, University of Memphis

### CERTIFICATIONS

- International Business – Americas Executive Certificate
- Certified Contract Compliance Administrator
- Construction Document Technologist
- PMI Project Management Training (40 Hours)

### AFFILIATIONS & MEMBERSHIPS

- Region Smart & ULI Memphis Board Member
- Emerging Developers Committee Chair
- Blight Authority Board Member
- Construction Specification Institute
- Greater Memphis Chamber of Commerce

### EXPERTISE

- Strategy
- Innovation
- Accounting
- Finance
- Business Management and Operations



**DAVE ROSENBAUM**

ASSOCIATE PROJECT MANAGER, DESIGN SPECIALIST

**ROLE DESCRIPTION**

Mr. Rosenbaum advises the Allworld team in areas of constructibility and engineering specifically related to maximizing value related to cost, schedule and scope. His years of experience have provided extreme value to the Allworld Project Management team and clients we serve. Dave brings expertise to recent high profile, fast-tracked public projects and has been a proven and trusted mentor to our project management team. He’s currently working on a Memphis City Hall project assisting in the coordination of a facility condition assessment, deferred maintenance program, and energy retrofit.

**PROJECT EXPERIENCE**

Dave is uniquely qualified for this position based on his career experience. For over 25 years Dave has managed construction for Methodist Le Bonheur, and the last ten years was Vice President of Facilities Management. He was responsible for the capital construction program for the organization that has placed over one billion dollars in construction in the past 10 years. He managed the sustainability program for Methodist Le Bonheur Healthcare resulting in all new construction being built within LEED standards, implementation of green initiatives in day-to-day operations, and a commitment to the economic sustainability of the community. He developed and implemented programs for MWBE participation at all levels that have become models in the community.

**Methodist Le Bonheur Healthcare**

**Role:** Vice President of Facilities Management

- Employed at Methodist for 25 years
- Managed over 5 million sq. feet of facilities
- Responsible for directing 158 employees
- Directly responsible for \$1.8 billion dollars of new construction
  - 630,000 sq ft. Children’s facility -Memphis, TN.
  - 215,000 sq ft. facility -Olive Branch, MS.
  - 350,000 sq ft. in -Germantown, TN.

**Holiday Inn/Promise Hotels**

**Role:** Director of Construction Services

- Employed with Holiday Inn for 5 years
- Completed the first 23 Homewood Suites hotels in the country
- Served as Sr. Project Manager for Holiday Inn Crown Plaza-New York , NY.
- Served as Sr. Project Manager for Holiday Inn LaGuardia Airport, Queens, NY.

**EDUCATION**

- Bachelor of Science, Civil Engineering, Missouri University of Science and Technology
- Masters of Science in Civil Engineering, Georgia Tech
- Masters of Business Administration, University of Memphis

**CERTIFICATIONS**

- Professional Engineer, Retired

**50 YEARS OF EXPERIENCE**



**MIKAL STEVENSON**

SR. ADVISOR OF CONSTRUCTION ENGINEERING

**ROLE DESCRIPTION**

Mikal has 11 years of experience in design and construction, including school facilities. Mikal will serve as an associate project manager and will be responsible for technical assistance related to design and construction.

**PROJECT EXPERIENCE**

**Shelby County Schools (SCS) - Bayer Building Relocation, Memphis, TN**

SCS is relocating and consolidating the entire administrative and facilities operation to the newly acquired Bayer Campus. This project has a budget of \$11 million and is scheduled from 2018-2020. Mikal's Role: At the request of SCS Chief of Business Operations, Mikal is currently working with SCS on managing the project schedule, budget tracker, procurement plan and risk log. He hosts daily/weekly meeting with staff and personnel. His primary role is to maintain controls that keep the project within the identified scope, schedule and cost.

**Memphis International Airport - Consolidated Parking & Rental Car Facility, Memphis, TN**

This project included a 6,300 automobile parking expansion of the existing airport garage. The scope of work was to construct the rental car customer service area, Pedestrian Plaza, Toll Plaza, Parking Office, Breakroom, Car Wash Facility, Tunnel Space and General Parking. Mikal's Role: During the 3 year construction phase Mikal performed onsite Construction Administration and Stakeholder Management with Parsons (Owner's Representative), Flintco (General Contractor) and Walker Parking (Parking Operator).

**Role:** Mikal's specific tasks included managing the completion of architectural submittals, shop drawings, RFI's and ASI's.

**Shelby County Schools (SCS) Classroom Lab Improvements: Memphis, TN**

Project Description: SCS upgraded Science & Biology Labs within the system including Charter Schools. Project consisted of design and renovations of existing classroom labs to meet SCS standards, safety standards and ADA Accessibility.

**Role:** Mikal oversaw the assessment of facilities and production of design documents to meet the required scope of work; Including the analyses of utility service lines and new Furniture, Fixtures and Equipment.

**Shelby County Schools (SCS) - Facility Condition Assessment: Memphis, TN**

SCS conducted a system wide Facility Condition Assessment; an analysis of the condition of a facility in terms of age, design, construction methods, and materials. Mikal's Role: Mikal coordinated the evaluation of Memphis City Schools facilities for deferred maintenance and ADA deficiencies. Mikal was also responsible for providing design solutions to bring these facilities to current standards.

**EDUCATION**

- Bachelors of Science in Architecture, Florida A & M University

**CERTIFICATIONS**

- LEED Green Associate, United States Green Building Council

**PROFESSIONAL INVOLVEMENT**

- American Institute of Architects, Memphis Chapter
- National Organization of Minority Architects, Memphis Chapter



## Who Is LRK?

LRK is a nationally recognized full-service architectural, planning, and interior design firm. With offices in Little Rock, Memphis, Philadelphia, Princeton, Baton Rouge, Dallas, New Orleans, and Celebration, Fla., LRK is intent on creating places that make a difference in people's lives.

With an eye towards long term sustainability, LRK is committed to revitalizing and energizing communities through historic preservation and adaptive reuse. LRK balances aesthetic visions with economic realities, while also acknowledging a region's architectural traditions and history of its people. Experienced in working with U.S. Department of the Interior National Park Service guidelines and the complex challenges often associated with renovations, LRK works with clients to protect a building's original architectural character while developing thoughtful solutions for modern living.

In addition, we are committed to design with a sense of place. LRK views each project as an opportunity to improve, complement and in some cases, complete the fabric of the surrounding environment. LRK's preservation and renovation projects have been recognized by the American Institute of Architects, the National Trust for Historic Preservation, Congress for the New Urbanism, and the Urban Land Institute.

Understanding the needs of a client first and then providing creative and innovative design solutions that respond specifically to those needs is the focus of our culture. Every project we undertake starts and ends the same way: We listen.





## LRK



Frank Ricks, FAIA  
Founder, Principal

### Selected Professional Organizations/Civic Activities

- Urban Land Institute, Member  
Small Scale Development Council  
Past Chair ULI Memphis
- Congress for the New Urbanism,  
Member
- Region Smart  
President
- Urban Design Consultant, University  
of Memphis
- Adjunct Faculty, The University of  
Memphis  
Architecture Dept., City & Regional  
Planning Department
- Leadership Memphis, Class of 1992
- Leadership Academy Board of  
Trustees
- Tennessee Parks and Greenways  
Foundation  
Board Member  
Vice President, Region 1 (West)

### Qualifications/Education

- Bachelor of Science, Engineering  
Technology/Architecture, University  
of Memphis (Cum Laude)

### Licenses/Registrations

- Architect – Tennessee, Alabama,  
Arkansas, Arizona, Indiana, Kansas,  
Maryland, North Carolina, Nevada,  
Washington, Mississippi, Louisiana,  
Georgia, California, Colorado,  
Michigan, New Jersey, and  
Pennsylvania
- NCARB Certified
- NCIDQ Certified
- LEED AP BD+C

Frank is a founding principal of LRK and the firm's managing principal. He is actively involved in select projects that require strong leadership in design, engagement, and process of delivery. He also continues to lead the firm into position for increased opportunities for design influence, from simple buildings to entire neighborhoods and urban districts. He relishes projects that present an aesthetic challenge, are uniquely complex or difficult, or are the first of a kind for the firm. In his focus on the design and management of projects, Frank is always concerned with their impact on external/internal communities at all levels and strongly believes in the collective power of the team through collaboration that includes both the client and users. He stays involved in the community by serving on several boards, including working with the Center City Development Corporation for 12 years where he focused on improving access and connection to the Memphis's downtown riverfront.

### Representative Project Experience

#### Crosstown Concourse | Memphis, TN

(LEED CS Platinum/Fitwel Community Pilot: Built, 3 Star)

Renovation of a 10-story, historic Sears distribution center into a "vertical urban village."

#### The Chisca on Main | Memphis, TN

This historic hotel and attached annex were renovated into 161 apartments and commercial space that together activate the once disjointed streetscape.

#### Union Row | Memphis, TN

The redevelopment of a 29-acre blighted section of downtown will include apartments, hotels, retail, office, and open space.

#### The Pinch | Memphis, TN

The redevelopment plan creates a walkable mixed-use urban district that builds on the history and character of the Pinch and reinforces connections to downtown assets.

#### Ballpark District Master Plan | Memphis, TN

The \$200 million, 20-acre mixed-use development includes AutoZone Park, historic rehabilitation of an office building, five apartment buildings, a 1909 YMCA renovated into lofts and fitness center, and six-story parking garage.

#### FedExForum | Memphis, TN

The design for this new NBA sports arena integrates the arena and parking garage into the urban streetscape and historic Beale Street surroundings.

#### FedExLogistics Global Headquarters | Memphis, TN (pursing LEED CI v4: Silver)

The Gibson Guitar Factory building is being expanded to just under 200,000 sf with a mezzanine-level roof-top addition and thought-leading innovation and support space for FXL's front-running technology work force.

#### Renasant Convention Center | Memphis, TN

Renovations to and expansion of the more than 125,000 sf facility include hotel-quality finishes and modern amenities desired by meeting planners and delegates.

#### National Civil Rights Museum Expansion | Memphis, TN

Two historic buildings adjacent the original Lorraine Motel have been restored as a major addition to the National Civil Rights Museum.

#### STAX Music Academy | Memphis, TN

STAX Music Academy serves as a mentoring presence for neighborhood youth with approximately 250 inner-city students attending private music enrichment classes.

# LRK



Tony Pellicciotti, AIA, CDT,  
LEED AP BD+C  
Principal

## Selected Professional Organizations/Civic Activities

- The Leadership Academy Masters, 2006

## Qualifications/Education

- Bachelor of Science, Engineering Technology/Architecture, University of Memphis (Cum Laude)
- Master of Architecture, University of Memphis, 2020

## Licenses/Registrations

- Architect – Tennessee, Pennsylvania, New Jersey

## Project Honors/Awards

- AIA Institute Honor Award for Architecture
- Congress for the New Urbanism Charter Awards Grand Prize
- Urban Land Institute Award for Excellence Finalist
- National Trust for Historic Preservation Richard H. Driehaus Foundation National Preservation Award
- Architecture Review's New Into Old Awards Finalist
- Rudy Bruner Award for Urban Excellence
- Architecture A+ Award Finalist
- 14 regional, state, and local AIA awards
- More than 75 additional industry awards

Tony brings more than 25 years of highly relevant leadership, collaboration, and design experience to LRK. With a broad, diverse portfolio, Tony has focused his professional practice to prove that good design transcends budget and program. He believes that intentional, thoughtful design inspires and motivates people to be, and to achieve, more than they thought possible. This thoughtfulness has led to the social, economic, and critical success of internationally acclaimed Crosstown Concourse, the world's largest historic, adaptive reuse, LEED Platinum certified project. Tony maintains that, as architects, we have a unique responsibility to learn from the rich tapestry of contributions and tailor an individualized response to each project. He is passionate about historic/adaptive reuse work and he weaves practical, proven sustainability strategies throughout to bring the greatest value to his clients.

His projects have been recognized with numerous industry awards and featured in publications, including *ARCHITECT*, *Architectural Record*, *Architectural Digest*, *Metropolis*, *Building Design + Construction*, and *Contract*.

## Representative Project Experience

### Crosstown Concourse | Memphis, TN

(LEED CS Platinum/Fitwel Community Pilot: Built, 3 Star)

Renovation of a 10-story, historic Sears distribution center into a "vertical urban village."

### The Commonwealth | Memphis, TN

Vacant for nearly 50 years, the renovation of the 100,000-sf historic Hickman Building draws inspiration from the structure's past and now gives life to offices, 40 apartments, and retail.

### Tennessee Brewery | Memphis, TN

The renovation of the historic brewery (c. 1890) and construction of new apartments provide 148 residential units and 16,000 sf of commercial and office space with abundant character.

### The Chisca on Main | Memphis, TN

This historic hotel and attached annex were renovated into 161 apartments and commercial space that together activate the once disjointed streetscape.

### The Rise | Memphis, TN

The first major new development in a neighborhood largely vacant since 2013, includes two apartment buildings with 286 units that wrap and screen a concrete public parking garage.

### South Main Artspace Lofts | Memphis, TN

A historic warehouse and a new building were transformed into an arts facility with affordable live/work units, gallery space, and an arts garden.

### Marine Residences | Memphis, TN

LRK provided design, Historic Tax Credit, and National Register nomination services for the rehabilitation of a 1930s Works Progress Administration healthcare campus into 71 apartments.

### Nineteenth Century Club | Memphis, TN

This historic renovation (1907) transformed the last grand mansion standing on Union Avenue in Memphis into an upscale restaurant and lounge.

### Orion Federal Credit Union Headquarters | Memphis, TN

Vacant since 2013, the former Wonder Bread bakery now provides office space for more than 225 employees in an environment that encourages collaboration.

## LRK



Kyle D. Archer, AIA, LEED AP  
Senior Associate, Architecture

### Selected Professional Organizations/Civic Activities

- American Institute of Architects (AIA), Member
- AIA Associate Events Committee, Scavenger Hunt
- US Green Building Council, Member

### Qualifications/Education

- Licensed Architect in FL
- Mississippi State University, School of Architecture, Bachelor of Architecture
- National Council of Architecture Registration Board Certified
- LEED Accredited Professional

Kyle began his career at LRK in 2003. He has had responsibility for all phases of a project—including schematic design, design development, construction documents, project management and construction administration. Kyle's experience includes a diverse range of project types including historic preservation/adaptive reuse, town centers, commercial, retail, office, and multifamily, ranging from market rate to high end luxury housing.

### Representative Project Experience

#### The Commonwealth | Memphis, TN

Vacant for nearly 50 years, the renovation of the 100,000-sf historic Hickman Building draws inspiration from the structure's past and now gives life to offices, 40 apartments, and retail.

#### SouthernSun | The Commonwealth, Memphis, TN

The Hickman building (1926) was redeveloped into a mixed-used space, including apartments, retail, and offices of SouthernSun, an asset management company.

#### Marine Residences | Memphis, TN

LRK provided design, Historic Tax Credit, and National Register nomination services for the rehabilitation of a 1930s Works Progress Administration healthcare campus into 71 apartments.

#### 115 Union Avenue Restoration | Memphis, TN

With 7,397 sf of retail space and 23 multifamily rental units, the renovation of this five-story historic building is being performed in compliance with Department of the Interior guidelines.

#### FedExFamilyHouse | Memphis, TN (LEED NC v2.2: Gold)

This project provides a real home for families with a child being treated at LeBonheur Children's Medical Center and offers both quiet and active spaces for finding sanctuary.

#### Union Row | Memphis, TN

The redevelopment of a 29-acre blighted section of downtown will include apartments, hotels, retail, office, and open space.

#### LaCantera Town Center | San Antonio, TX

The community includes 323 apartments and more than 4,000 sf of retail, and direct access to the adjacent Shops at La Cantera and the Leon Creek Hike and Bike Trail.

#### Gables Fairmount | Dallas, TX

A 300-unit mid-rise multifamily development with integral parking deck on the Katy Trail.

#### The Domain | Austin, TX

This 490-unit mixed-use community features easy access to a new commuter line and surrounding office, retail, and entertainment.

#### Mueller TC2 | Austin, TX

The 4-story, 442-unit development is located within easy walking distance of nearby shops, cafes, entertainment, recreation and transit. The resource efficient design combines national principles for green building development with Austin Energy's Green Building Program.

**LRK**



Rebecca Courtney, ASID, IIDA  
Principal

**Selected Professional Organizations/Civic Activities**

- International Interior Design Association
- American Society of Interior Designers
- Leadership Memphis, Class of 2004

**Qualifications/Education**

- Bachelor of Science with High Honors, Interior Design, University of Tennessee, Knoxville

**Licenses/Registrations**

- Interior Designer – Tennessee, Texas
- NCIDQ

**Rebecca is directly responsible for overall leadership of and design direction for the interiors and graphic design studios. She has a commitment to the collaborative process of program identification and resolution by the client, designer, engineering and specialty consultants, contractor, user group and other stakeholders. Rebecca also believes design should express the purpose of the place, the vision and values of the people who use it, and the way the place interacts with or presents itself to the community.**

**Representative Project Experience**

**Crosstown Concourse | Memphis, TN**

(LEED CS Platinum/Fitwel Community Pilot: Built, 3 Star)

Renovation of a 10-story, historic Sears distribution center into a “vertical urban village.”

**The Commonwealth | Memphis, TN**

Vacant for nearly 50 years, the renovation of the 100,000-sf historic Hickman Building draws inspiration from the structure’s past and now gives life to offices, 40 apartments, and retail.

**SouthernSun | The Commonwealth, Memphis, TN**

The Hickman building (1926) was redeveloped into a mixed-used space, including apartments, retail, and offices of SouthernSun, an asset management company.

**Nineteenth Century Club | Memphis, TN**

This historic renovation (1907) transformed the last grand mansion standing on Union Avenue in Memphis into an upscale restaurant and lounge.

**National Civil Rights Museum Administration Building | Memphis, TN**

Renovations to the National Civil Rights Museum’s exhibition space required their administrative offices to be relocated to another facility. Operating under a tight budget, LRK assisted the museum with property acquisition, renovation, and repositioning services.

**Orion Federal Credit Union Headquarters | Memphis, TN**

Vacant since 2013, the former Wonder Bread bakery now provides office space for more than 225 employees in an environment that encourages collaboration.

**FedExLogistics Gobaal Headquarters | Memphis, TN (pursing LEED CI v4: Silver)**

The Gibson Guitar Factory building is being expanded to just under 200,000 sf with a mezzanine-level roof-top addition and thought-leading innovation and support space for FXL’s front-running technology work force.

**Old Dominick Distillery | Memphis, TN**

Restaurant housed in a 100-year-old former warehouse-turned-whiskey distillery.

**The Paramount | Orlando, FL**

With a welcoming street presence and bold tower profile, the project transitions between downtown and nearby neighborhoods and includes retail, office, and multifamily residences.

**The Kessler at Meadowbrook | Prairie Village, KS**

Located within a 136-acre community, the Kessler contains 282 apartments adjacent to an 84-acre park. A host of amenities include controlled access throughout and structured parking.

**FolioWest | Houston, TX**

The 266-unit project is located within walking distance of the Phillips 66 headquarters. The four-story apartments wrap both a parking structure and courtyard.

**The Residences at La Cantera | San Antonio, TX**

The community includes 323 apartments and more than 4,000 sf of retail, and direct access to the adjacent Shops at La Cantera and the Leon Creek Hike and Bike Trail.

# LRK



Meredy Dahlgren, LEED AP  
Senior Associate, Interiors

## Qualifications/Education

- Bachelor of Science with Architectural Studies Emphasis and Interior Design, University of Missouri (Magna Cum Laude)

## Licenses/Registrations

- NCIDQ

Meredy joined LRK's interiors studio in 2005. She has strong skills in programming, space planning, concept development, finishes, construction documents, and construction administration. Meredy's project experience is diverse and her work is consistently distinguished by her exceptional eye for color and nuance. Meredy has a special interest in LEED and sustainable design practices as evidenced by her work on two of LRK's most notable LEED projects, FedExFamilyHouse (LEED NC Silver certified) and Germantown's Independent Bank (LEED NC Silver certified). She is committed to the exploration of new ideas, and a collaborative, ongoing dialogue with all team members to maximize the success of every project.

## Representative Project Experience

### Crosstown Concourse | Memphis, TN

(LEED CS Platinum/Fitwel Community Pilot: Built, 3 Star)

Renovation of a 10-story, historic Sears distribution center into a "vertical urban village."

### The Commonwealth | Memphis, TN

Vacant for nearly 50 years, the renovation of the 100,000-sf historic Hickman Building draws inspiration from the structure's past and now gives life to offices, 40 apartments, and retail.

### SouthernSun | The Commonwealth, Memphis, TN

The Hickman building (1926) was redeveloped into a mixed-used space, including apartments, retail, and offices of SouthernSun, an asset management company.

### FedExFamilyHouse | Memphis, TN (LEED NC v2.2: Gold)

This project provides a real home for families with a child being treated at LeBonheur Children's Medical Center and offers both quiet and active spaces for finding sanctuary.

### St. Jude Children's Research Hospital Tri Delta Place | Memphis, TN

These two facilities provide short- and long-term living space for families of St. Jude patients. The team worked to create apartments that are inviting, nurturing, and hospitable.

### FedExLabs | Memphis, TN

Located in a 1904 warehouse in a revitalized arts district, this 7,500-square-foot research facility serves as a technology incubator for FedEx.

### Church Health | Crosstown Concourse, Memphis, TN

Located in renovated historic Crosstown Concourse, the design for Church Health offers the flexibility to grow and adapt with the changing needs of the community.

### Believe Memphis Academy Charter School | Memphis, TN

Renovation of an existing school building for a 4th-8th grade charter school.

### FedExLogistics Global Headquarters | Memphis, TN (pursing LEED CI v4: Silver)

The Gibson Guitar Factory building is being expanded to just under 200,000 sf with a mezzanine-level roof-top addition and thought-leading innovation and support space for FXL's front-running technology work force.

## LRK



Krissy Buck Flickinger, RA,  
LEED AP BD+C, WELL AP,  
NGBS Green Verifier  
Associate, Sustainability Director

### Selected Professional Organizations/Civic Activities

- USGBC, TN/Memphis Chapter Member, 2011-present  
Memphis Branch Chair, 2015-2019  
Memphis Branch Vice Chair, 2014  
Memphis Board Member, 2012-2017  
Paper Power Event Founder, 2013-2019
- USGBC Central Plains Chapter Member, 2008-2011
- New Memphis Institute Fellow
- National Trust for Historic Preservation
- Memphis Heritage

### Recent Speaking Engagements

- Boy Scouts of America, Sustainability Merit Badge Counselor, 2020
- "The Vertical Urban Village: Crosstown Concourse," New Gravity Conference, 2019
- "Culture of Courage" Panelist, USGBC TN & TN Women in Green Leadership Breakfast, 2019
- Crosstown High School, Industry Professional Panelist/Mentor, 2019
- "Tennessee Green: Case Studies from Across the State," USGBC TN Impact Conference, 2018
- Historic Hotel Chisca Renovation, AIA Memphis (CEU eligible), 2017
- Hotel Chisca, CSI Memphis, 2017

### Honors/Awards

- USGBC Tennessee Green Volunteer of the Year, 2018
- *StyleBlueprint*, Faces of Memphis Sustainability, 2018
- First WELL AP in Memphis, 2017
- One of five recognized, USGBC's Volunteer Appreciation Week, 2017

**Krissy is an architect and also serves as the firm's Director of Sustainability. She has practiced architecture for more than 13 years and has built a reputation for her belief that good design is about celebrating the history of a community and working within the existing fabric to create the perfect blend of old and new. It is because of this passion for preservation, adaptive reuse, and sustainability that she boasts her own scorecard of 26 projects certified to a variety of green building rating systems, meanwhile encouraging all of LRK's designs to strive for environmental excellence. Krissy is the chair of USGBC's Memphis Branch, where she has spearheaded the yearly "Paper Power" event geared toward empowering area youth to practice sustainability. She was awarded USGBC TN's Green Volunteer of the Year award in 2018 and is the first Green Globes Professional, WELL Accredited Professional, and NGBS Green Verifier in the Mid-South region. Before joining LRK, Krissy was a project architect and the Sustainability Coordinator at Treanor Architects (now TreanorHL) in Kansas City, Missouri.**

### Representative Project Experience

#### Crosstown Concourse | Memphis, TN

(LEED CS Platinum/Fitwel Community Pilot: Built, 3 Star)

Renovation of a 10-story, historic Sears distribution center into a "vertical urban village."

#### Tennessee Brewery | Memphis, TN

The renovation of the historic brewery (c. 1890) and construction of new apartments provide 148 residential units and 16,000 sf of commercial and office space with abundant character.

#### The Chisca on Main | Memphis, TN

This historic hotel and attached annex were renovated into 161 apartments and commercial space that together activate the once disjointed streetscape.

#### AutoZone Innovation Zone | Memphis, TN

Two late 19th century historic buildings once vital to the cotton trade industry are being converted to offices for AutoZone as an expansion to their adjacent national headquarters.

#### FedExFamilyHouse Phase II | Memphis, TN (LEED NC v2009: Gold)

This project provides a real home for families with a child being treated at LeBonheur Children's Medical Center and offers both quiet and active spaces for finding sanctuary.

#### Smith & Nephew Innovation Centre | Memphis, TN (LEED CI v2009: Gold)

LRK was hired as a sustainability consultant to investigate LEED certification potential for the project. LRK coached the design and construction team through the certification processes.

#### Crews Venture Labs | University of Memphis, Memphis, TN

The renovation of a midcentury Masonic Lodge into an entrepreneurship hub for the U of M provided flexible spaces for creating. The entry was updated, and the façade preserved.

#### FedExLogistics Global Headquarters | Memphis, TN (pursing LEED CI v4: Silver)

The Gibson Guitar Factory building is being expanded to just under 200,000 sf with a mezzanine-level roof-top addition and thought-leading innovation and support space for FXL's front-running technology work force.

#### FedEx World Headquarters Buildings A-1 | Memphis, TN (ENERGY STAR certification 2012-2020)

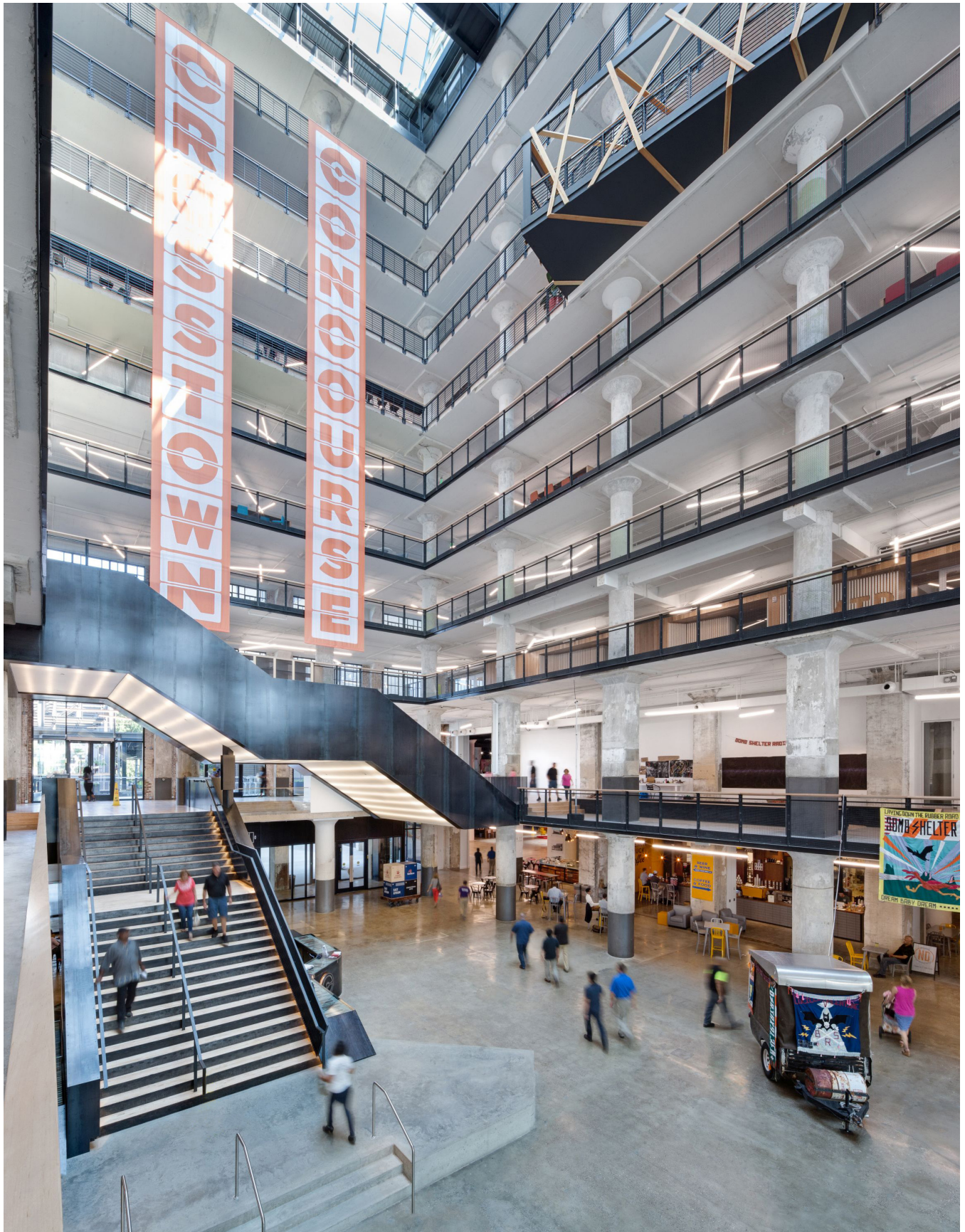
LRK designed a new office building that maintained the campus' character, but at one-half the original average cost per sf.



## **Crosstown Concourse** Memphis, TN

Once a vital distribution center for the Mid-South, the 1,500,000-square-foot historic Sears building (1927) had been dormant for over 20 years. A herculean revitalization effort was completed thanks to an extraordinary collaboration of local institutions. LRK worked with a non-profit arts-based organization and its partners to redevelop the 10-story building into a “vertical urban village” that integrates residential, commercial, retail, health and wellness, arts and culture, and education. The design weaves a purposeful collection of diverse tenants and varied uses into a precedent-setting mixed-use community that has served as an anchor and catalyst for further revitalization and economic development in the surrounding neighborhood. Crosstown Concourse received LEED CS Platinum certification and is the largest historic adaptive reuse LEED Platinum certified project in the world. It also became the first project in Tennessee to be named a fitwel three-star certified community, the program’s highest rating. The fitwel certification program recognizes Crosstown for programming and amenities that increase access, equity, and wellness. Crosstown Concourse is the winner of over 30 prestigious honors, including an AIA Institute Honor Award for Architecture, CNU Charter Award, a National Trust for Historic Preservation Richard H. Driehaus Foundation National Preservation Award, and Architecture Review’s New into Old Awards Finalist.











## **Parcels at Crosstown** Memphis, TN

Parcels at Crosstown is located within Crosstown Concourse, a former Sears distribution center and the world's largest LEED Platinum historic adaptive reuse building. Residents are exposed to countless amenities in this equity-focused community. The residential component comprises 265 apartments on the seventh through tenth floors. To foster a truly integrated community, the apartments were intentionally designed to share infrastructure with and layer horizontally over the arts, education, health, and wellness components on the lower floors – fully connecting residents to amenities and maximizing the potential for spontaneous interaction. Significant design focus was exerted on infusing light throughout deep floor plates and creating a vibrant and authentic community. Studio, one-, two- and three-bedroom apartments in a range of sizes and price points feature exposed brick walls, repurposed building materials, natural finishes, and concrete floors for an eclectic flavor. Crosstown Concourse also recently became the first project in Tennessee to be named a fitwel three-star certified community, the program's highest rating. The fitwel certification program recognizes Crosstown for programming and amenities that increase access, equity, and wellness.







## **The Hamilton at The Epic** Dallas, TX

The Hamilton is a 26-story mixed-use tower that sits in the Deep Ellum entertainment and art district near downtown Dallas. The Hamilton is 625,000 sf, including 25,000 sf retail, 11,000 sf of amenities, a 457-car parking garage with controlled access, and 310 residential units. The seventh floor amenity building includes a lounge, makers room and workout facility. The rooftop pool and deck is oriented to take full advantage of the afternoon sun and panoramic views of downtown Dallas.











## **The Commonwealth** Memphis, TN

Construction is nearing completion on the 91-year-old Hickman Building in downtown Memphis. Vacant for nearly 50 years, the 100,000-square-foot building will house offices, apartments, and retail. The renovation of the Hickman Building spreads revitalization east toward two other emerging areas: the Edge and Medical Districts, helping to knit the downtown community together. LRK is providing architectural and interior design services for the renovation.





## **The McKenzie** Dallas, TX

The McKenzie is a 22-story, 183-unit traditionally designed high rise located on the eastern edge of Dallas' exclusive Highland Park neighborhood. From its brick and stone entry motor lobby to its exclusive penthouse level, the building is designed and created for a renter-by-choice resident. The building offers luxury rental residences reminiscent of a grand historic neighborhood hotel with classic interiors, valet, concierge service, and a 24-hour doorman. Upscale amenities include a luxury pool deck, garden room with exterior private garden, resident bar, supper club area with kitchen and dining, media room, fitness center, meditation garden, business/conference center, dog park, bicycle storage, and a five-story parking garage for residents. The McKenzie was named the first certified Fitwel multifamily development in Texas and winner of D CEO's 2018 High-Rise Multifamily Development of the Year.









## **Tennessee Brewery** Memphis, TN

After more than 50 years of abandonment and appearing on lists of Tennessee's most endangered buildings, the renovation of the historic Tennessee Brewery building (c. 1890) and construction of the new adjacent Wash House and Bottle Shop apartments is now complete. The Romanesque Revival architecture of the brewery was artfully renovated to both preserve historic character and embrace new industrial insertions. Immediately adjacent, a new traditionally designed structure deferentially supports the landmarks status of the brewery, while a contemporary form was employed across the street. This mixed-use community has been transformed into 148 residential units, 16,000 square feet of commercial and office space, and a parking garage. The renovation of the Tennessee Brewery furthers the rejuvenation of Memphis' South End neighborhood.









COMMUNITY

ANNOUNCING

# At Omgivning, we uncover potential in Spaces. in Buildings. in Communities.

We're in love with the extraordinary urban fabric of our cities. As architects and interior designers, we listen carefully to what the building wants to be and we create design solutions for healthy, sustainable, and resilient communities.

In Swedish, *omgivning* means environment or ambiance - the way a space feels.

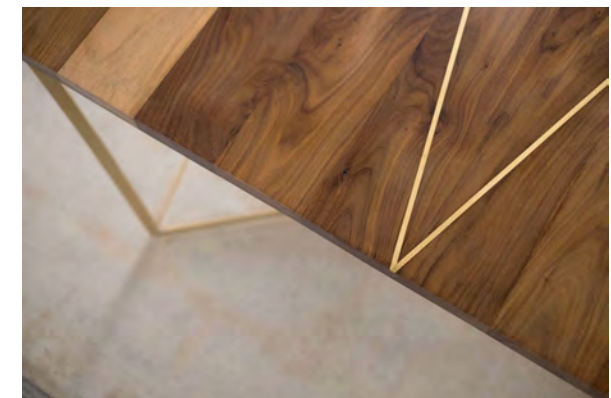
Broadway Lofts



ROW DTLA



Desmond's

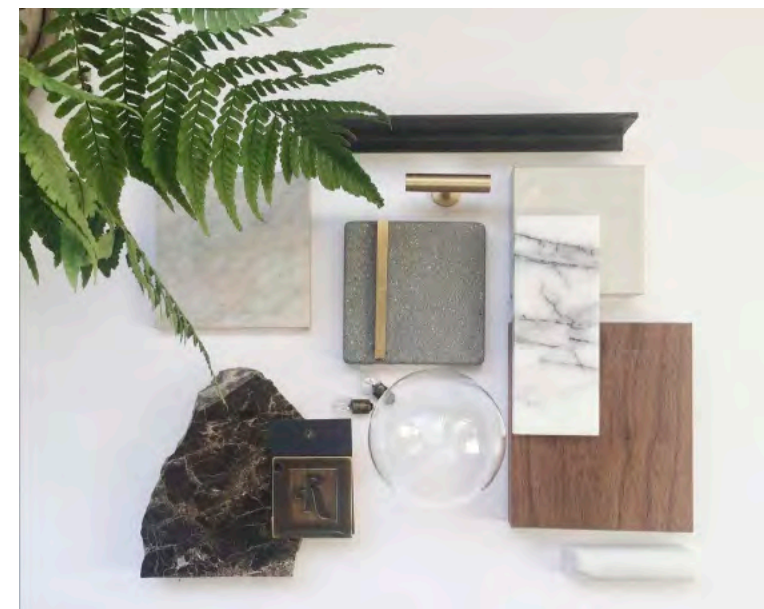


CalEdison

# Design Approach: Macro to Micro

As **urbanists**, we see our projects as points in a larger network of social and cultural activity. Drawing on our extensive connections and collaborations, we work to amplify local histories, facilitate neighborhood growth, and advocate for policy reform at the city and county level.

As **humanists**, we prioritize the details that give meaning to our lives. Texture, form, color, light, and the character of an existing space become cues to creating spaces where people can thrive. They can enhance well-being, social connections, and privacy, whether we are eating, working, or relaxing.



# Sustainability

Did you know it can take up to 80 years for new, energy efficient buildings to overcome the negative climate impact created during construction? Combating climate change will remain an unrealized dream unless we work to maximize the potential of our existing buildings.

## Our Strategies

- Challenge and **advocate** for policy innovation supporting building reuse.
- Enhance existing building **energy** performance and data tracking.
- **Strengthen and revitalize** urban centers, one building at a time.
- Design durable, **resource**-sensitive buildings.
- Connect our users to natural systems focusing on **wellness and comfort**.

The Rendon



Brodway Trade Center



Sears Landmark Building



Don Francisco's Coffee Casa Cubana



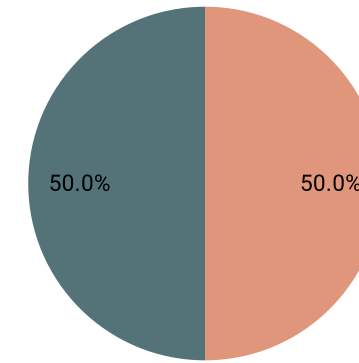
OM Home

# Staff Profile

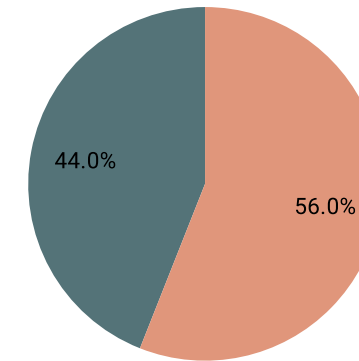
Our team of architects and designers share our belief in the power of design to positively transform. The varied backgrounds of our individual team members are celebrated, embraced, and acknowledged for their capacity to contribute based on their unique talents and skills.



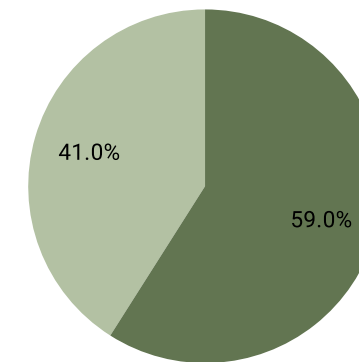
● WOMEN LEADERSHIP ● MEN LEADERSHIP



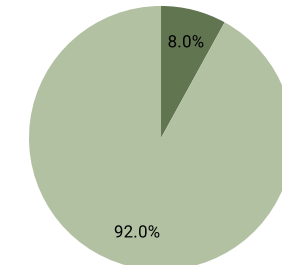
● WOMEN ● MEN



● POC ● NON-POC



● BARKITECTS ● HOOHANS



Hotel, Mixed Use, Office, Restaurant/Bar

# Broadway Trade Center

Location  
801 S Broadway  
Los Angeles, CA

Client  
Broadbridge LA

Status  
In Construction

The building at 801 South Broadway was once the largest department store west of Chicago. Originally known as Hamburgers, then as May Co., this 1.1M sf building occupies two-thirds of a city block in the Broadway Theater & Commercial District, a National Historic District. The building's conversion to a mixed-use complex represents one of the most consequential developments in downtown in decades. The building will hold roughly 500,000 sf of offices, a 150-room hotel and 200,000 sf devoted to retail, restaurants, and a food hall. With the exception of work required for restoration and preservation, we are leaving intact the Neoclassical-style facade and its elaborate yet refined ornamentation. The ground floor storefronts will be partially restored and partially updated to meet modern commercial needs. Our scope also included an extensive seismic upgrade, requiring 150 trucks' worth of concrete just for the building's modified foundation alone.



Mixed Use, Office, Restaurant/Bar

# Desmond's

Location  
612 S Broadway  
Los Angeles, CA

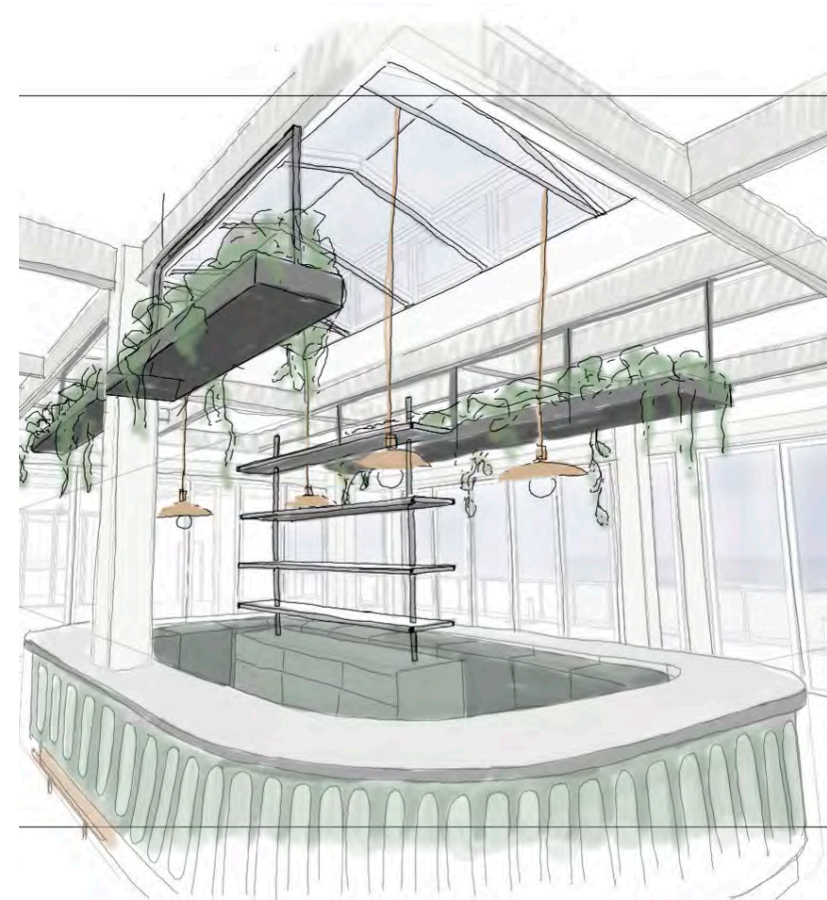
Client  
MCP612

Status  
Complete

Desmond's was a Los Angeles-based retail chain that offered a top-the-line department-store experience. This location, which was designed by A.C. Martin, opened in 1923, although the facade underwent alterations in 1933.

As part of our renovation of this extraordinary mid-rise building, which Desmond's occupied until 1981, we are maintaining retail use at the basement and ground floors.

We are converting floors two through six to creative offices. And for an unusual rooftop experience, we are designing the addition of two new stories that will hold a restaurant/bar. Upon completion, the building will hold 85,000 sf of space.



Housing, Mixed Use, Office, Restaurant/Bar, Retail

# Sears Landmark Building

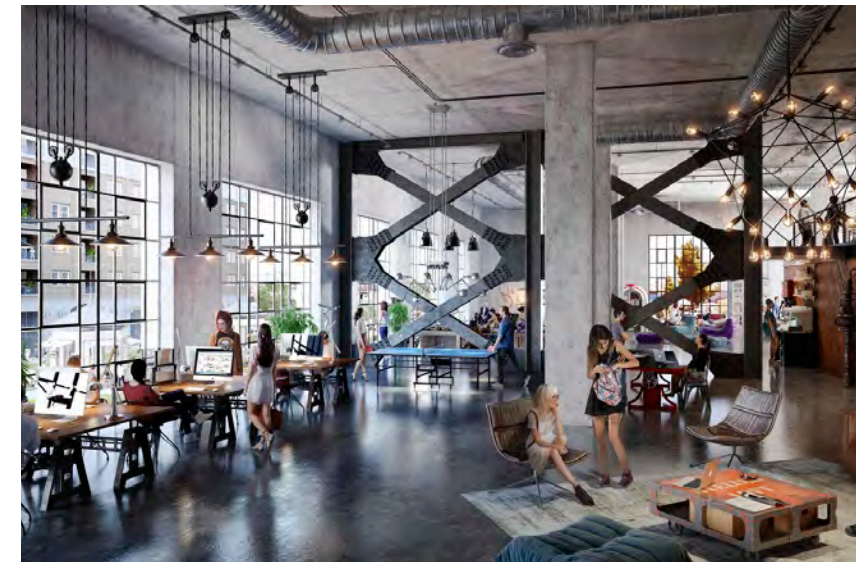
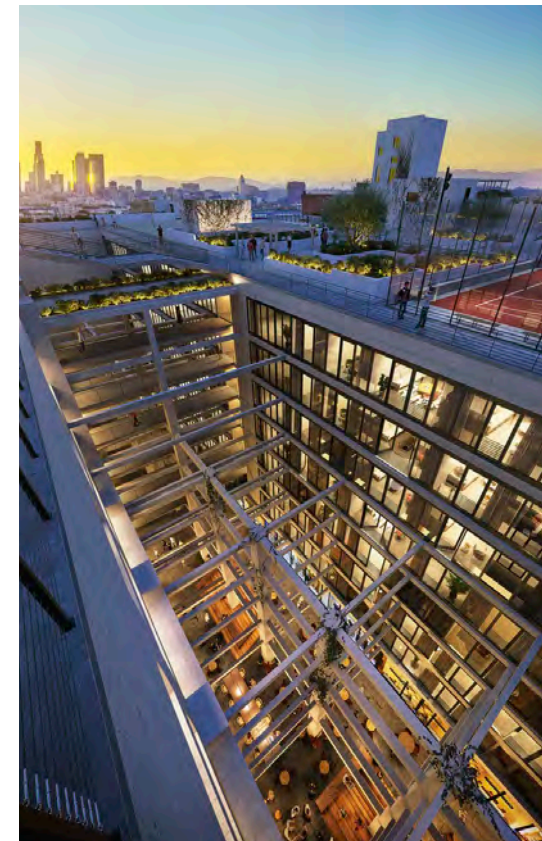
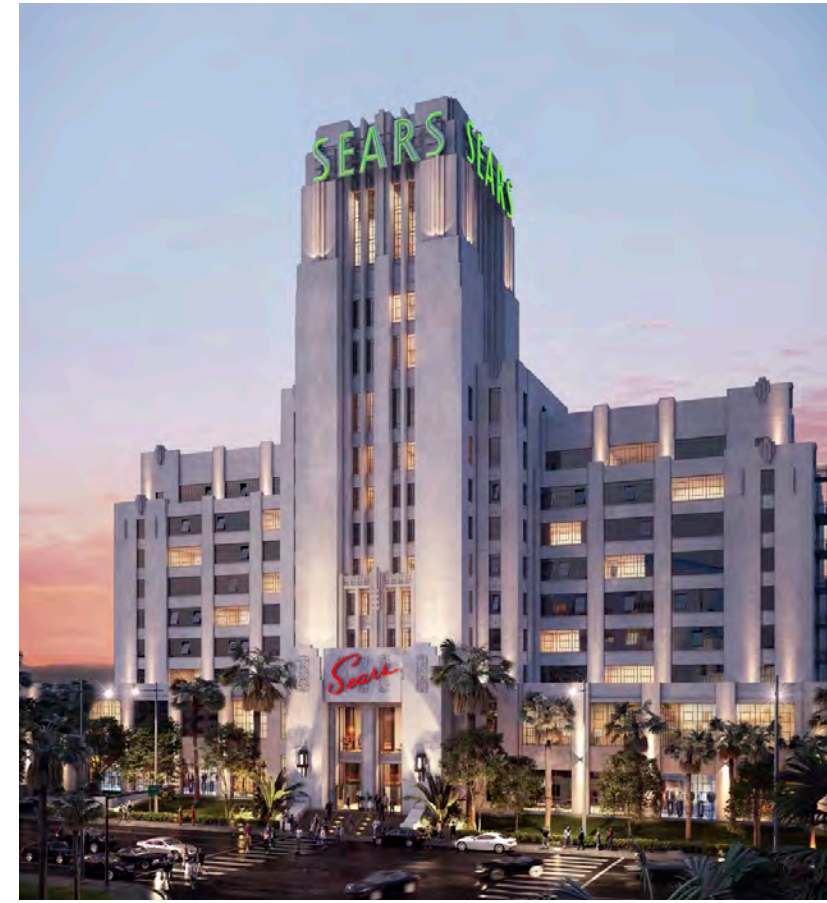
Location  
2650 E Olympic Blvd  
Los Angeles, CA

Client  
East River Group

Status  
90% Complete; CD and permit  
ready

With an initial phase dating to 1927, this 1.8 million sf building was originally Sears' west coast mail-order distribution center. It was steadily expanded in eight phased additions, with the final piece completed in 1970. Today, the building comprises at least seven conjoined but structurally independent volumes. Our highly complex design exposes and celebrates the course of the building's expansion, facilitated through the removal of about 150,000 sf of concrete and the insertion of nine new light courts, one between each of the building's original phases.

Through horizontal circulation and a central glass elevator, we wanted users to experience the building and its history as never before, moving freely between interior and exterior spaces. Among this building's challenges, the floor plates were inconsistently sized from one level to the next, complicating our typical details. There were the leaks and irregularities expected from a building created across a five-decade span. And while the largely austere facades would feel too utilitarian to most, we couldn't modify the existing structure beyond a narrow set of historical allowances.





Mixed Use / Office / Restaurant / Bar

# Fabric

Location  
Fashion District  
Los Angeles, CA

Status  
Complete

Size  
111,613 sf total including 7,000 sf  
rooftop restaurant and 3,000 sf  
patio;

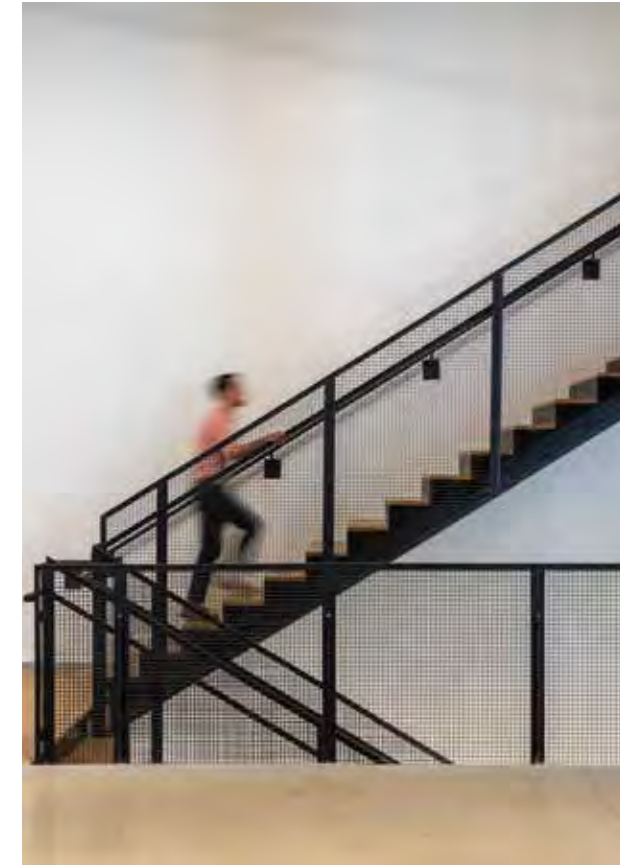
Client  
Urban Offerings in partnership  
with ESI Venture

Scope of Services  
Executive Architecture

Located at the western edge of the Fashion District, this building has housed a combination of garment and manufacturing uses dating back to the building's origins in 1913.

The six-story, reinforced concrete structure will highlight a newly pared-down form, with contemporary glazing and new canopy elements that compliment the building's raw materiality. The building will include flexible tenant spaces on the ground floor with offices on the upper floors. Sixteen-foot high storefront glazing at the front and rear facades of the building were designed to bring natural light deep into the space and encourage visitors to circulate between the retail corridor of Los Angeles Street and a newly activated rear pedestrian alley.

A modern, metal-clad rooftop restaurant, outdoor patio, and urban farm mark a modern addition to the neighborhood's historic fabric. The restaurant's folded-plate roof provides vaulted dining spaces and unobstructed downtown views. For this project, Omgivning collaborated with Lynch Eisinger Design, based in New York City.



Mixed Use / Office / Restaurant / Bar / Retail

# 7Main

Location  
Fashion District  
Los Angeles, CA

Status  
In Construction

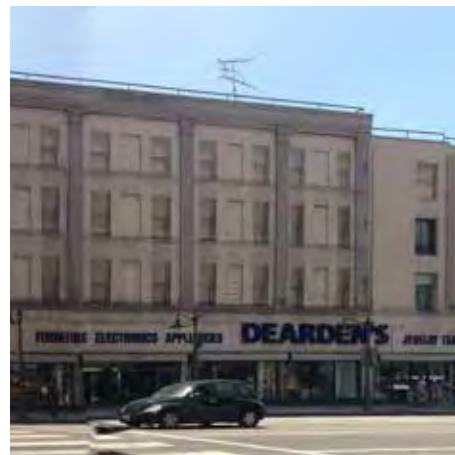
Size  
140,000 sf

Client  
Urban Offerings

Scope of Services  
Adaptive Reuse/Architecture/  
Core/Shell/Interiors

Built between 1901 and 1912, a cluster of four buildings sits at the busy corner of Main and 7th Streets in the Fashion District, which for nearly a century served as the flagship location of the Dearden's department store chain. Now reimagined as a contemporary creative office campus, the new 7Main is designed as a mixed-use commercial space with a variety of office space, as well as ground floor and basement retail, restaurant, bars, and gym space.

With this project, our design challenge was to unify the buildings, increase natural light, and introduce much-needed landscaping to Downtown. Additionally, a new interior paseo was strategically introduced to create a connection from the street to the shared courtyard and secret garden, allowing for the possibility of restaurants and retail to open onto this new interior thoroughfare. The design team focused on the rich character of the buildings, exposing the exterior cast-iron columns, wood framing, terrazzo retail entries, and sliding steel fire doors. The building underwent a structural upgrade, which removed previous window infills, restored previous openings, and maximized the amount of natural light within the spaces.



Block Plan

Office

# Second Home Hollywood

Location  
1370 N St Andrews Pl  
Los Angeles, CA

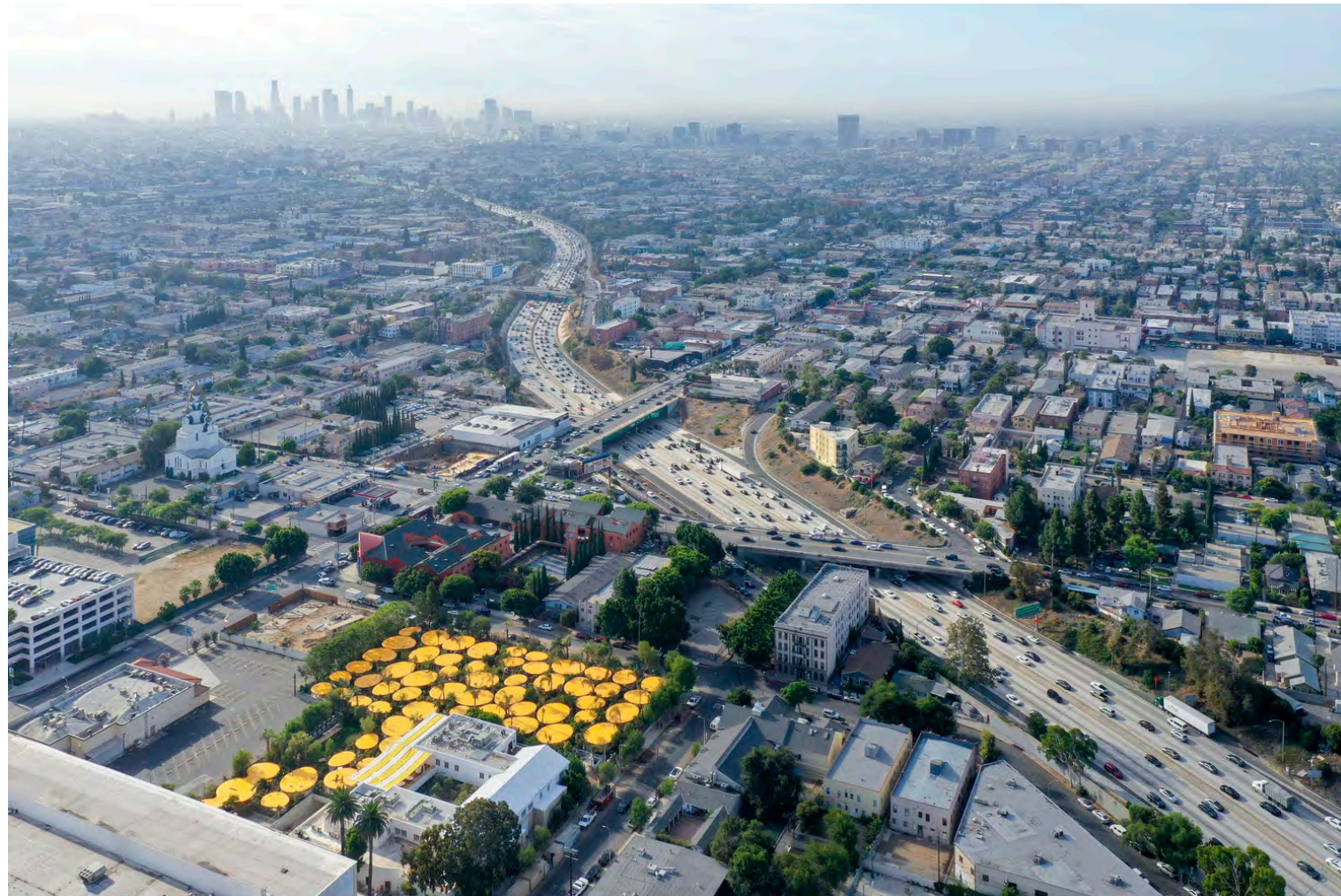
Client  
Bond Companies

Status  
Complete

We were the architects of record for this co-working venue, teamed with Spanish architecture firm SelgasCano as design architect. We oversaw the new construction of an office campus with sixty pod-like workspaces set amid landscaping over new parking. Our scope also included renovation of the original Women's Assistance League's headquarters, designed by famed architect Paul Williams.

To achieve the designers' vision of using mass timber as a support for each pod's roof, we worked closely with structural engineers from Walter P. Moore on a highly technical modification from the Los Angeles building department. The solution was a slim yet strong assembly made of cross-laminated timber—the first built project to use CLT in the city of Los Angeles.

At Williams' 1963 building, we oversaw the design and construction of new conference rooms, office spaces, and a public restaurant with outdoor dining in the courtyard on the first floor below the one story addition. We preserved key elements such as original terrazzo flooring, the main staircase and a large ornamental medallion at the center of the original dining hall's ceiling.



Office, Restaurant/Bar

# Garland Building

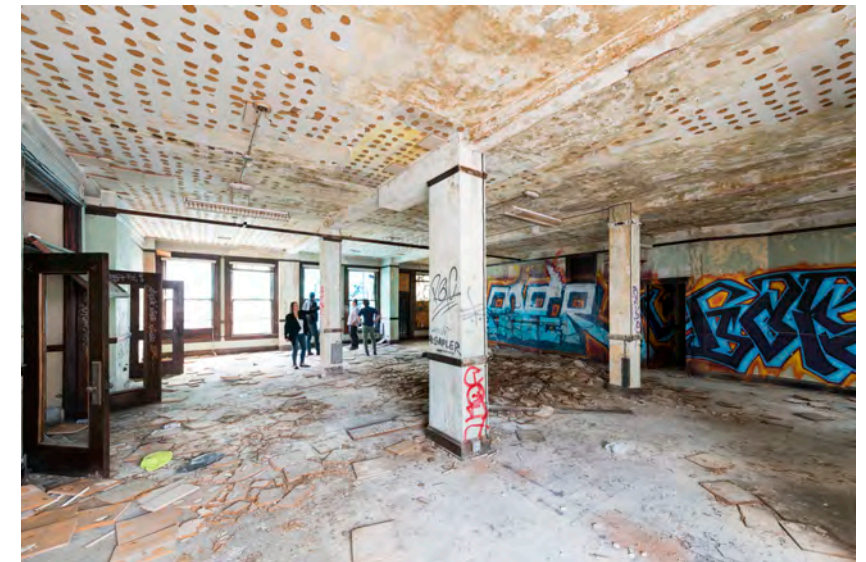
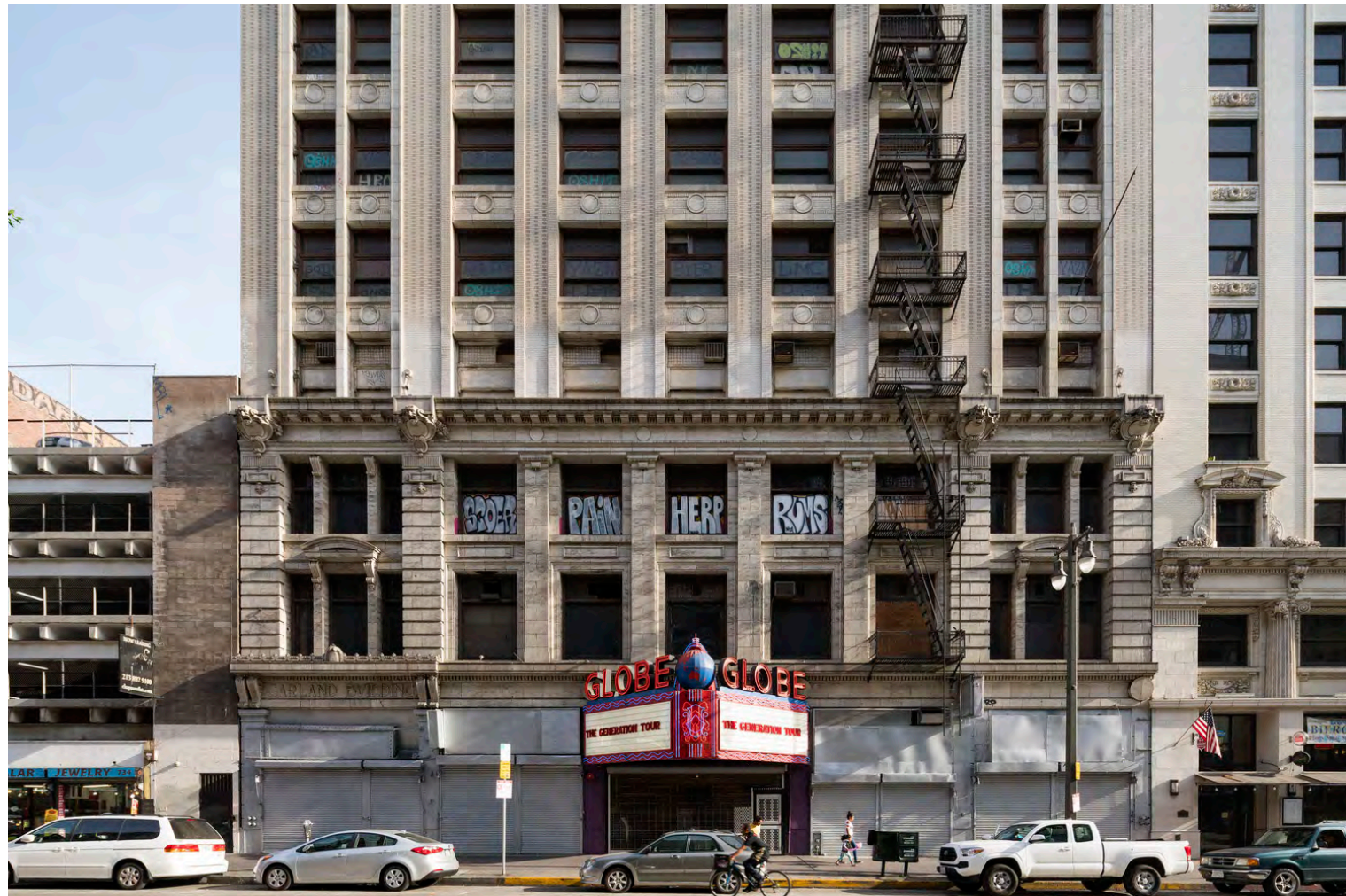
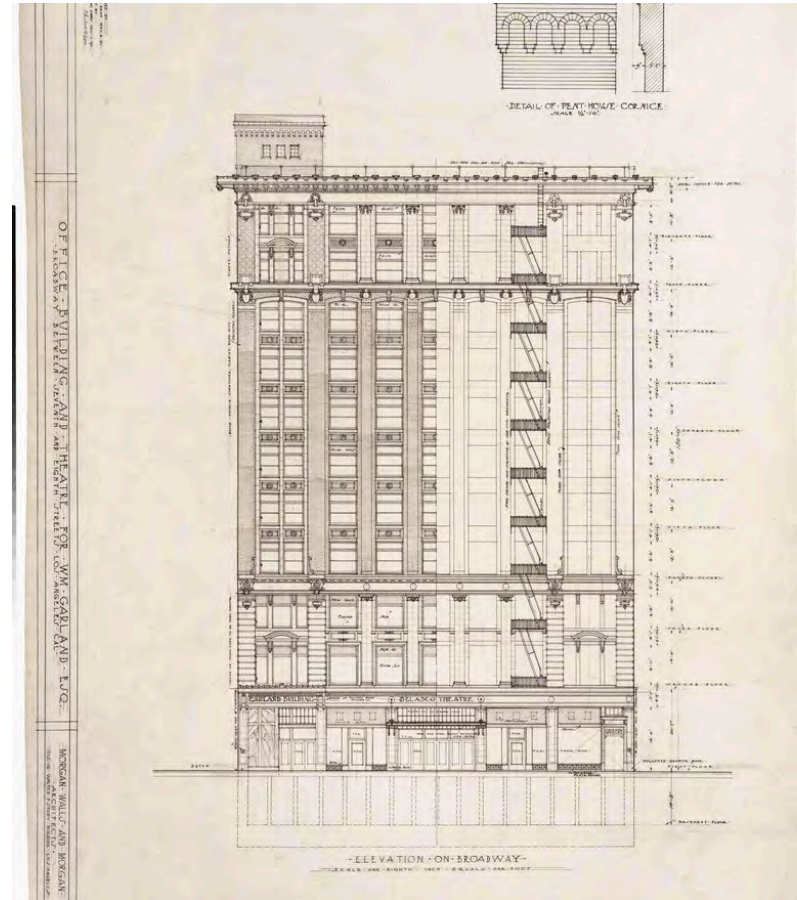
Location  
740 S Broadway  
Los Angeles, CA

Client  
City Constructors, Inc.

Status  
In Construction

We're renovating an 11-story steel framed tower that was originally designed by the architecture firm Morgan, Walls and Morgan. The Beaux Arts-style Garland Building, with its facade of glazed brick and terra cotta ornamentation, was constructed in 1913 to house offices as well as a theater space, nestled within the building, that held vaudeville performances.

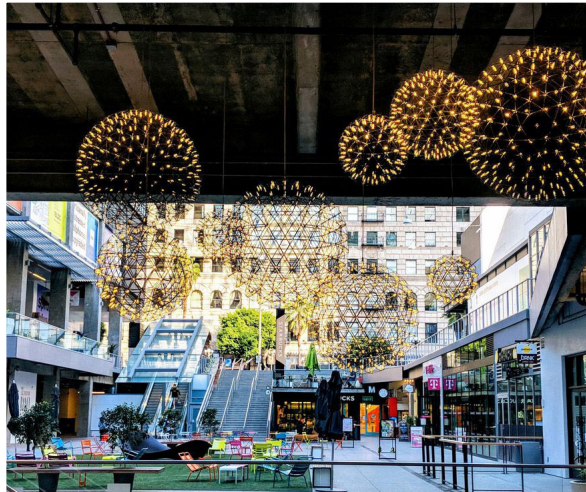
We are reactivating the tower's original uses, including retail and restaurant on the ground floor and office space on upper floors. New typical office floors will create open, light-filled floor plates highlighting the beautiful double-hung and center-pivot windows. Proposed plans also include the introduction of a new basement bar space and incorporation of an original stair that went unused for over 100 years. We are also restoring the building's historic exterior and entry lobby. In a separate effort, we also worked on the restoration of the Globe Theatre (formerly the Morosco Theatre, after impresario Oliver Morosco), located within the footprint of the Garland Building. We restored the 1940s marquee and converted the 2000-era nightclub back into a theater and special event space.



THANK

YOU

# FIRM OVERVIEW



# ABOUT Us

WWW.IMEGCORP.COM



We are employee-owned and results driven with a passion for transforming environments and communities through high-performance design and infrastructure.

## AT-A-GLANCE

- Top 5 Engineering Firm in U.S.
- 100% Employee-Owned
- Full-service Engineering & Consulting
- 50 Locations
- 1,500 Team Members
- 490 Licensed Engineers
- \$234M in Annual Revenue

## SERVICES

Building Design: Engineering & Planning

- Structural
- MEP/FP
- Technology Design
- Automation & Controls
- Security Design & Engineering
- Acoustics & Noise Control
- Architectural Lighting
- Medical Equipment Planning
- Building Performance Analysis

Commissioning

Consulting & Advisory Services

- Intelligent Buildings
- Technology Consulting
- Healthcare Information Technology
- Protective Services Consulting
- Forensic Consulting & Investigations
- Grant Writing

Infrastructure: Design & Planning

- Civil Engineering
- Municipal Engineering
- Land Development & Surveying
- Environmental Services
- Landscape Architecture
- Materials Testing
- Construction Observation

Process Engineering

- Automation & Controls
- Chemical Process
- Bulk Processing

IMEG is the leading U.S.-based engineering design firm that delivers a rare combination — the broad expertise of a national leader with the personal relationships and deep collaboration of a local firm. **But what really sets IMEG apart?**

- Our market-sector team structure providing data-driven solutions and innovation.
- A culture of learning and development – sharing knowledge and solving complex design problems.
- An extensive breadth of expertise and deep bench of client knowledge – helping transform environments.
- A reputation for delivering many “firsts” in sustainable design – helping clients become energy stewards and reduce impact.
- A commitment to deliver high quality, cost-effective outcomes through a collaborative and flexible project approach.

[CLICK HERE TO READ INDUSTRY INSIGHTS FROM IMEG EXPERTS.](#)

# SERVICES & SPECIALTIES

## STRUCTURAL

- Conventional and Specialized Foundation Solutions
- High Seismic and Hurricane Expertise
- Critical Path Delivery Solutions
- Cost Optimization Strategies
- Long Span Expertise
- Single- and multi-span bridge design
- Dam design and inspections
- Forensic Investigations
- Historic Structure Rehabilitation

## MECHANICAL

- HVAC
- Plumbing
- Fire Protection
- Central Plants
- Geothermal
- Chilled Beam
- Industrial Ventilation
- Lab Gases
- Energy Recovery
- Temperature Controls
- Building Automation Systems

## ELECTRICAL

- PV/Energy Storage
- Arc Flash
- Fire Alarms
- Cogeneration
- Emergency Power
- Power Conditioning
- Primary & Secondary Power Distribution
- UPS (Uninterruptible Power Supply)
- Metering & Monitoring

## ARCHITECTURAL LIGHTING

- Luminaire Selection & Design
- Custom Luminaire Design & Mounting Details
- Historic Fixture Restoration
- Interior & Exterior Lighting
- Daylight Harvesting & Analysis
- Photometric Point-by-Point Calculations
- 3D Models & Renderings
- Grant & Rebate Applications
- Smart Metering & Monitoring

## ACOUSTICS

- Noise Control
- Speech Intelligibility
- Room Acoustics
- Computer Modeling
- Performance Sound Systems-Masking

## CIVIL

- Site Plan Development
- Municipal Infrastructure
- Traffic and Transportation
- Bridges and Retaining Walls
- Sanitary Treatment and Collection
- Water Distribution and Treatment
- Storm Drainage & Flood Mitigation
- Water Quality and Resources
- Land Acquisition/Relocation Assistance
- Land Master Planning
- Regulatory Permitting
- Subsurface Utilities
- Erosion Control

## SURVEY

- Easement and Right-Of-Way
- ALTA/NSPS Land Title
- Construction Layout
- Aerial Photo Control Surveys
- Topographic Surveys
- Hydraulic Surveys
- Volume/Quantity Surveys
- Drone-Digital Aerial Photography
- As-Built Surveys
- Laser Scanning
- Flood Elevation Surveys
- Letter of Map Amendment (LOMA) applications
- Global Positioning System (GPS) control surveys

## GIS

- Municipal Government GIS
- GIS Implementation
- Database Development and Maintenance
- Asset Management
- GPS Data Collection & Update
- Spatial & Network Analysis
- Cartographic Map Production
- ESRI's ArcGIS Suite and Autodesk's AutoCAD Suite

## TESTING/ENVIRONMENTAL

- Geotechnical Drilling and Engineering
- Concrete Coring
- Nuclear Density Testing
- Slope Stability Analysis
- Asphalt Extractions
- Sieve Analysis
- Concrete Air/Slump/Compression Testing

## GRANT WRITING

- Research & Writing
- Grant Administration

## TECHNOLOGY

- Audio-Visual
- Theatrical AV
- Digital Signage
- Distance Learning
- Sound Reinforcement
- Technology Utility Infrastructure
- Structured Cabling Systems
- Telephony Systems
- Wired & Wireless Networking
- Distributed Antenna Systems
- RFID / RTLS
- Caregiver Communications
- Patient Education / Entertainment
- Clinical Workflow Management

## HEALTHCARE IT

- Strategic and Master Planning
- Pre-Design Current State Assessment, Planning, and Visioning
- Technology Program Design, Alignment, and Standardization
- Design Phase Support – SD, DD, CD, CA
- Technology Program Ownership/Management
- Technology Discovery, Selection, and/or Procurement
- New Technology and Connected Care Pilot
- Medical Device Convergence and Integration
- HIT Quality Assurance and Commissioning
- Activation and Quality Management

## SECURITY

- Needs Assessments
- System Planning, Design & Engineering
- Pedestrian & Vehicular Access Control
- Visitor Management
- Infant Security & Patient Wandering
- System Procurement
- System Implementation
- Standards Development
- Vulnerability Assessments
- Threat Assessments
- Active Shooter Training
- Guidance with DHS Chemical Facility Anti-Terrorism Standards (CFATS) Top Screens, SVAs, and SSPs for Regulatory Compliance
- Policy & Procedure Development

## PROCESS

- Scope Development
- Plant Code Reviews
- Process Flow Diagrams (PFD)
- Piping & Instrumentation Diagram (P&ID)
- Appropriation Estimates
- Plant Layout & Piping
- Chemical / Material Handling
- Complex Processes
- Pharmaceuticals
- Chemical Laboratories
- High Hazard Materials
- Flammables / Combustibles
- Area Classifications
- Dust Collection Systems
- Dust Hazard Analysis (DHA)
- Automation & Controls

## COMMISSIONING

- System Peer Review
- LEED Fundamental and Enhanced
- Mission Critical
- Integrated Systems Testing
- Computerized Maintenance Management Systems Integration
- Well Building Standard
- Retro Commissioning
- Seed Process Commissioning

## SUSTAINABILITY

- PV/Energy Storage
- Energy modeling
- Architectural massing and envelope optimization
- Post occupancy energy performance analysis
- Performance based design
- Daylighting analysis
- CFD
- LEED & WELL Certification
- Net Zero Design
- Green Globe Design
- Energy Star Certification
- Living Building Challenge

## MEDICAL EQUIPMENT PLANNING

- Emerging Technology Studies & Planning
- Inventory Assessment
- Equipment Lists & Budget
- Architecturally Significant Equipment Documentation
- 3D Placement Models
- Procurement & Bid Assistance
- Equipment Replacement / Phasing
- Clinical Engineering Investigations
- Receiving, Storage and Installation Coordination





IMEG has offered engineering services to our clients for more than half a century, and we are frequently recognized for our expertise in both design and 3D modeling. IMEG brings solutions to achieve a project's specific schedule, cost and/or complexity challenges.

We do it by combining a depth of experience designing a variety of foundation and framing systems with a set of specialized skills in large-span structures, mid and high-rise structures, seismic evaluation and strengthening, historic restorations, expansions and industrial facilities.

Our firm has demonstrated an ability to provide innovative solutions by designing, for instance, (a) the first base-isolated building in the United States (Foothill Law & Justice Center), and (b) the first pre-stressed concrete on a public school building (Upland High School Gymnasium).

Our expertise with seismic evaluations, retrofitting and upgrades includes:

- Over 500 seismic evaluation and/or upgrade projects for various jurisdictions and types of structures (wood, concrete, steel, masonry)
- Profound knowledge and practical ASCE 41 experience through evaluation/upgrade of over 90 hospital buildings, over 40 school buildings, and over 10 commercial/mixed-use buildings
- Sufficient quality staff availability with relevant experience to review large quantity of projects simultaneously
- Thorough understanding and knowledge of the Building Code of Regulations as well as other applicable codes, regulations, municipal ordinances, and policies.

Our vast experience also includes completing Probable Maximum Loss (PML) assessments including:

- Quick low-cost Tier-1 analysis
- Detailed Tier-2 analysis by modeling of structure; Usually results in a lower PML value than Tier-1
- Providing SEL and SUL in all studies by registered SE
- Using latest standards and codes
- Limited seismic upgrade in lieu of full upgrade to reduce the PML to an acceptable level
- Utilizing our extensive expertise in seismic evaluation, upgrade and material testing
- Peer review of PML studies by others and offering effective recommendations

we believe the success of a seismic investigation begins with the precise structural evaluation and comprehensive understanding of the existing system. Compiling a useful and all-inclusive structural evaluation requires experience with the upgrade projects.

In the last several years, IMEG's structural team of engineers, designers, and support staff have completed more than 50 high-quality seismic evaluation and upgrade projects.

Successful completion of these projects enabled our team to emphasize the importance of structural/seismic evaluation and code-writers' thought process behind the evaluation statements.

## **We bring to life the visions of the owner, architect, and builder and delight in making the impossible a reality.**

In addition, IMEG has developed an excellent working relationship and trust level with local, state and federal regulatory agencies. This includes California's Office of Statewide Planning and Development (OSHPD), Department of General Services (DGS), California Division of the State Architect (DSA), and multiple local municipalities. We also know how to address issues and concerns due to our years of providing structural plan check services to the organizations.

We have included multiple examples of our vast experience on the following pages.



# SIMILAR EXPERIENCE

Led by highly qualified and key technical personnel, our firm has proven its technical capabilities in creative design expertise and knowledge in seismic rehabilitation, retrofit and structural upgrades to minimize impacts on the operation of the facilities during construction. We work to provide flexibility in the floor plan and coordinate with the architect to accommodate our seismic force resisting system. Some examples of our creative design solutions include the following:



## **100 Van Ness, San Francisco, CA, LEED Silver Certified**

Structural engineering and design services were provided for this remodel and adaptive-reuse project that transformed the outdated 1974 office building into a 510,000-sf modern apartment building. The 29-story building includes 418 units with indoor and outdoor amenities. These amenities include a dramatic roof deck providing residents with 360° views of the Bay Area, garden space, grass lawn, lounges, fire pit and a grilling area.



## **Commerce Towers Adaptive Reuse, Houston, TX**

Major renovation and adaptive reuse of a 24-story two-towered office building into a 537,000-sf multi-family luxury condominium high-rise with 39 units, pool and amenities. All structural revisions to the concrete and steel structure were made without disturbing the original brick facade. Structural challenges included converting the lower six levels of the building into a parking garage, which required the insertion of a new floor, ramp additions and column relocations.



## **801 S. Broadway, Los Angeles, CA**

IMEG provided structural, MEP and technology engineering design for the reuse and redevelopment of the 1,100,000-sf California Broadway Trade Center. Phase 1 included removing approximately 57,000-sf of floor space to create light wells, a courtyard, new mezzanine and rooftop levels that increased the building's peak height to 16 stories above grade. Our team completed a seismic risk assessment and evaluation, of the entire building. Coordination with utility companies for all infrastructure systems was carefully facilitated by our team for new power, lighting, security, fire alarm, HVAC and control systems. Phase 2 of the renovation consisted of the fit-out of approximately 500,000-sf of office and hotel space, 200,000-sf retail and restaurants, new mezzanine floors (multiple), and rooftop additions that include pools, gardens, and landscaped areas.



## **612 S. Broadway, Los Angeles, CA**

In order to meet current codes for the new occupants, the nearly 100-year-old building framework needed to be seismically upgraded – without adding structural elements that would take away from the original design of the structure or compromise the historic significance of the ornate façade. To do this, IMEG structural engineers used the ASCE 41-13 analysis, rather than the more commonly used ASCE 7-10 analysis, as it provided better results and less retrofit was needed. This approach made the project a pioneer in using ASCE 41 in the City of Los Angeles.



## **Columbia Residences Adaptive Reuse, Washington, DC**

Structural engineering was provided for the major renovation and adaptive reuse of a historic hospital building originally built in 1915 into a 394,000-sf mixed-use residential building, including 225 luxury condominium units, 28,000-sf ground floor retail space and 147,500-sf 330-stall underground parking garage. Maintaining the landmark status of the structure and site was the distinct design challenge which IMEG engineers successfully resolved in this project.

# SEISMIC EVALUATION & UPGRADES



## COMMERCIAL/MIXED-USE:

801 S. BROADWAY (BROADWAY TRADE CENTER), LOS ANGELES, CA  
 612 S. BROADWAY, LOS ANGELES, CA  
 605 BROADWAY, LOS ANGELES, CA  
 520 N. CENTRAL AVE, GLENDALE, CA  
 SANTA MONICA NDC BUILDING SEISMIC RETROFIT EVALUATION  
 SANTA MONICA PRE-NORTHRIDGE STEEL MOMENT FRAME BUILDING  
 RETROFIT EVALUATION (MULTIPLE BUILDINGS)  
 SANTA MONICA URM BUILDING RETROFIT, SANTA MONICA, CA  
 SANTA MONICA CONCRETE TILT-UP BUILDING RETROFIT,  
 SANTA MONICA, CA

## PUBLIC & GOVERNMENTAL:

CITY OF BALDWIN PARK, CITY AUDITORIUM, BALDWIN PARK, CA  
 CITY OF COMMERCE LIBRARY BUILDING, COMMERCE, CA  
 COUNTY OF LOS ANGELES, KENNETH HAHN STATE RECREATION,  
 DEPARTMENTS OF VETERAN AFFAIRS (VA), MULTIPLE BUILDINGS,  
 VARIOUS CITIES, CA  
 GLENDALE CIVIC AUDITORIUM, GLENDALE, CA  
 LONG BEACH CITY HALL BUILDING, LONG BEACH, CA  
 LOS ANGELES, CA  
 PASADENA FIRE STATION #33 & #39, PASADENA, CA  
 PASADENA WATER & POWER CHESTER SUBSTATION, PASADENA, CA  
 SAN BERNARDINA CITY CENTER BUILDINGS, SAN BERNARDINO, CA  
 US NAVY NAVAL AMPHIBIOUS BASE, CORONADO, CA

## EDUCATION:

FULLERTON JOINT UNION HIGH SCHOOL DISTRICT (120 BUILDINGS),  
 FULLERTON, CA  
 LAUSD, OVER 20 SCHOOL CAMPUSES (OVER 50 BUILDINGS),  
 LOS ANGELES, CA  
 OCEANVIEW SCHOOL DISTRICT (OVER 120 BUILDINGS), OCEANVIEW, CA  
 ONTARIO-MONTCLAIR SCHOOL DISTRICT (123 BUILDINGS), ONTARIO, CA  
 UC IRVINE, MULTIPLE BUILDINGS, IRVINE, CA  
 UCLA, MULTIPLE BUILDINGS, WESTWOOD, CA  
 COLLEGE OF CANYON, SANTA CLARITA, CA  
 USC CAMPUS SEISMIC EVALUATIONS (OVER 50 BUILDINGS AND  
 2 MILLION SQUARE FEET)

## SB-1953 / PLAN REVIEW / OSHPD / HAZUS :

ALTA BATES SUMMIT MEDICAL CENTER OAKLAND  
 BARLOW RESPIRATORY HOSPITAL  
 CHILDREN'S HOSPITAL OF ORANGE COUNTY  
 CITRUS VALLEY MEDICAL CENTER – INTER COMMUNITY CAMPUS  
 CITRUS VALLEY MEDICAL CENTER – QUEEN OF THE VALLEY CAMPUS  
 COAST PLAZA DOCTOR'S HOSPITAL  
 COMMUNITY HOSPITAL OF HUNTINGTON PARK  
 EAST LOS ANGELES DOCTORS HOSPITAL  
 ENCINO HOSPITAL MEDICAL CENTER  
 GLENDALE ADVENTIST MEDICAL CENTER  
 HARBOR/UCLA MEDICAL CENTER  
 HOAG MEMORIAL HOSPITAL PRESBYTERIAN  
 HOLLYWOOD PRESBYTERIAN MEDICAL CENTER  
 HUNTINGTON MEMORIAL HOSPITAL  
 KAISER PERMANENTE PANORAMA CITY  
 KINDRED HOSPITAL BALDWIN PARK, RIVERSIDE & SOUTH BAY  
 LAC+USC MEDICAL CENTER  
 LOMA LINDA UNIVERSITY MEDICAL CENTER  
 MARINA DEL REY HOSPITAL  
 MARTIN LUTHER KING HOSPITAL  
 MEMORIAL HOSPITAL OF GARDENA  
 METHODIST HOSPITAL OF SOUTHERN CALIFORNIA  
 MONROVIA MEMORIAL HOSPITAL  
 OLIVE VIEW UCLA MEDICAL CENTER  
 PACIFICA HOSPITAL OF THE VALLEY  
 POMONA VALLEY HOSPITAL MEDICAL CENTER  
 PROVIDENCE HOLY CROSS MEDICAL CENTER  
 PROVIDENCE TARZANA MEDICAL CENTER  
 RANCHO LOS AMIGOS NATIONAL REHABILITATION CENTER  
 SAN FRANCISCO GENERAL HOSPITAL AND TRAUMA CENTER  
 SCRIPPS HEALTH – SCRIPPS MEMORIAL HOSPITAL  
 SHERMAN OAKS HOSPITAL  
 SIMI VALLEY HOSPITAL  
 SOUTHERN CALIFORNIA HOSPITAL AT CULVER CITY  
 STANFORD UNIVERSITY LUCILLE PACKARD CHILDREN'S HOSPITAL,  
 USC/VERDUGO HILLS HOSPITAL  
 VALLEY PRESBYTERIAN HOSPITAL  
 VICTOR VALLEY HOSPITAL  
 WASHINGTON HOSPITAL HEALTHCARE SYSTEM  
 WHITE MEMORIAL MEDICAL CENTER



# HIGH-RISE



## **THE BLOC, LOS ANGELES, CA**

2,000,000-sf **23-Story** Renovation & New Mixed-Use Development

## **THE NEW CITY, CHICAGO, IL**

Mixed-Use Facility, Including 200,000-sf **19-Story** Residential High-rise

## **THE PINNACLE TOWERS, SAN DIEGO, CA**

Two New **45-Story** Mixed-Use Buildings

## **UNIVERSITY OF WISCONSIN – UNIVERSITY SQUARE, MADISON, WI**

New **12-Story** Mixed-Use Building

## **UNIVERSITY OF WISCONSIN, EAU CLAIRE, WI**

**10-Story** Towers Residence Hall Renovation

## **UNIVERSITY OF WISCONSIN, MADISON, WI**

50,000-sf Addition and 461,207-sf Renovation of **10-Story** Sellery Witte Hall

## **UNIVERSITY OF WISCONSIN, MILWAUKEE, WI**

**20-Story** New Residence Hall - Mechanical

## **11 SOUTH LASALLE, CHICAGO, IL**

373,000-sf Historic High-Rise Mixed-Use Redevelopment

## **1000 SOUTH CLARK, CHICAGO, IL**

Design-Build New 444,963-sf **28-Story** Residential High-Rise

## **1600 EAST 53RD STREET, HYDE PARK, IL**

**26-Story** 342,600-sf New Mixed-Use High-Rise Tower

## **1600 PACIFIC TOWER, DALLAS, TX**

**32-Story** 350,000-sf Mixed-Use Building Renovation

## **AT&T, SAN ANTONIO, TX**

244,100-sf, **14-Story** Tenant Improvement of the Valero II Office Building

## **CENTURY PLAZA, CENTURY CITY, CA**

750,000-sf New Century Plaza Development, Including Renovation of the **16-Story** Century Plaza Hotel, and the Addition of Two New **46-Story** Residential Towers

## **CERMAK & WABASH, CHICAGO, IL**

308,000-sf Aspire Residences Mixed-Use Development, Including **25-Story** Apartment Tower over 4-Story Podium with Retail, Amenities and Parking, [LEED Silver](#)

## **FROST BANK TOWER, DALLAS, TX**

New **20-Story** Mixed-Use Office Building, [Pursuing LEED Silver](#)

## **LAKE & ABERDEEN, CHICAGO, IL**

280,000-sf New **10-Story** Mixed-Use Development, Including Retail, Parking Garage, and 80 Apartments, [LEED Silver](#)

## **ST. ANTHONY HOTEL, SAN ANTONIO, TX**

352-Room, **10-Story**, 272,067-sf Historic Hotel Renovation



# MIXED-USE



**1 POLK ST., SAN FRANCISCO, CA**

276,000-sf New 20-Story Mixed-Use Development, Including Residential Apartments, Retail, and Parking

**15TH STREET & ISLAND AVENUE, SAN DIEGO, CA**

1,000,000-sf New 46-Story Residential Towers

**30 OTIS ST., SAN FRANCISCO, CA**

434,000-sf New 26-Story Mixed-Use Tower, Including a Ballet School, Retail, Garage, and 148 Apartments, LEED Gold

**86 THIRD ST., LOS ALTOS, CA**

27,400-sf New Mixed-Use Development with Retail Space and Parking Garage

**100 VAN NESS, SAN FRANCISCO, CA**

400,000-sf New 28-Story Mixed-Use Tower Including Retail Space, Parking Garage, and 399 Residential Apartments, LEED Gold

**150 SOUTH 2ND ST., SAN JOSE, CA**

350,600-sf New 24-Story Mixed-Use Development, Including 393 Residential Units, Retail Space, Restaurant, and Parking Garage

**170 PARK AVENUE PLAZA, SAN JOSE, CA**

470,000-sf New 24-story 265-ft Tall Mixed-Use Residential Tower with Retail Space and Parking Garage

**171 POST STREET, SAN JOSE, CA**

340,000-sf New 20-story Mixed-Use Residential Tower featuring 203 Residential Units with Retail Space and Parking Garage

**178 TOWNSEND, SAN FRANCISCO, CA**

100,000-sf Adaptive Reuse, Historic Preservation, Full Renovation and Retrofit of an 1888 historic warehouse building into a 6-Story Mixed-Use Development, Including 94 Loft Apartments, Day Care, Restaurant and Parking Garage

**241 10TH ST. LA MAISON, SAN FRANCISCO, CA**

35,900-sf New Mixed-Use Development, Including 28 Residential Units, Commercial Space and Parking Garage

**390 FIRST ST., SAN FRANCISCO, CA**

198,000-sf New 14-Story Mixed-Use Development with 170 Apartments, Commercial, and Parking Garage

**580 ANTON, COSTA MESA, CA**

430,000-sf New Five-Story Mixed-Use Development featuring 249 Apartment Units, Commercial, and Parking Garage

**700 S. MANHATTAN PLACE, LOS ANGELES, CA**

185,000-sf New Seven-Story Mixed-Use Development, Including 160 Residential Units, Commercial, and Parking Garage

**717 OLYMPIC AT FIGUEROA, LOS ANGELES, CA**

333,000-sf New 26-story Mixed-Use Residential Development, Including 151 Apartments, Retail Space and Parking Garage

**801 S. BROADWAY, BROADWAY TRADE CENTER, LOS ANGELES, CA**

1,100,000-sf 50-Story New Residential Towers (Broadway Trade Center)

**1000 S. CLARK LLC, CHICAGO, IL**

Design/Build 444,963-sf, 29-Story New Residential High Rise, Including Fitness Center, Theatre, Demonstration Kitchen, Pool and Spa, and 300-car Parking Garage

**1066 MARKET ST., SAN FRANCISCO, CA**

295,000-sf New 14-Story Mixed-Use Development with Residential Units, Retail, and Parking Garage

**1275 EL CAMINO REAL, MENLO PARK, CA**

16,000-sf New Three-Story Mixed-Use Development with Residential Units, Retail, Office and Parking Garage



# MIXED-USE

## **1285 SUTTER ST., SAN FRANCISCO, CA**

240,000-sf New 13-Story Mixed-Use Development featuring 107 Residential Units, Retail and Parking Garage, [LEED Gold](#)

## **1401 MISSION ST., SAN FRANCISCO, CA**

138,000-sf New 12-Story Mixed-Use Development, Including 121 Residential Units, Retail and Parking Garage

## **1450 NORTH DAYTON, CHICAGO, IL**

225,000-sf New Housing and Retail Mixed-Use Development

## **1525 SAN CARLOS, SAN CARLOS, CA**

43,000-sf New Four-Story Mixed-Use Residential, Including 18 Units, Commercial and Parking Garage

## **1600 EAST 53RD STREET, HYDE PARK, IL**

342,600-sf New 26-Story Mixed-Use High Rise Tower

## **1645 PACIFIC ST., SAN FRANCISCO, CA**

46,000-sf New Six-Story Mixed-Use Development with 45 Residential Units, Retail and Parking Garage

## **1800 TROUSDALE, BURLINGAME, CA**

90,500-sf New Five-Story Mixed-Use Development, Including Residential Apartments, Commercial, and Parking Garage

## **1875 CENTRAL STREET, DENVER, CO**

45,000-sf New Mixed-Use Building with Three Floors of Office Space, Two Restaurants, Retail Space and Parking Garage

## **2305 MISSION COLLEGE - CLT, SANTA CLARA, CA**

350,000-sf Remodel and TI of a Mixed-Use Complex, Including Office and Industrial

## **1950 ADDISON ST., BERKELEY, CA**

115,000-sf New Seven-Story Mixed-Use Development, Including 107 Residential Units, Commercial, and Parking Garage

## **2558 MISSION ST., SAN FRANCISCO, CA**

150,000-sf New Eight-Story Mixed-Use Development with 114 Residential Units, Retail, Movie Theater and Parking Garage

## **3250 HOLLIS ST., OAKLAND, CA**

125,000-sf New Four-Story Mixed-Use Development featuring 124 Residential Units, Retail, and Parking Garage

## **3750 GRAND, DES MOINES, IA**

125,000-sf New Eight-Story High-Rise Residential Tower with Below Grade Parking. Including 20,000-sf Church Conversion into Multi-Use Space with Restaurant/Café, Outdoor Pool, and Residential Units

## **5248 S. CORNELL AVENUE, HYDE PARK, IL**

342,600-sf New Mixed-Use, 26-Story High-Rise, [Two Green Globes](#)

## **6TH & BROADWAY ADAPTIVE REUSE, LOS ANGELES, CA**

## **ABACA AT 1201 TENNESSEE, SAN FRANCISCO, CA**

235,000-sf New Six-Story Mixed-Use Development, Including 263 Apartment Units, Retail Space, and Parking Garage

## **AJ CAPITAL PARTNERS, NASHVILLE, TN**

233,000-sf New Nine-Story Mixed-Use Development, Including Residential Apartments, Retail, and Parking

## **ALAMEDA SQUARE, LOS ANGELES, CA**

2,000,000-sf Mixed-Use Historic Building Re-Use, Including Retail Shops, Restaurants and Office Spaces

## **ASHTON CANDLESTICK COVE, SAN FRANCISCO, CA**

225,000-sf New Seven-Story Mixed-Use Development with 100 Residential Units, Retail, and Parking Garage

## **AVALON HAYES VALLEY, SAN FRANCISCO, CA**

180,000-sf New Mixed-Use Development, Including 180 Rental Apartments, Retail, and Parking Garage, [LEED Platinum](#)

## **AVALON MISSION BAY II, SAN FRANCISCO, CA**

362,000-sf New 17-Story Mixed-Use Development with 139 Residential Units, Retail, and Parking Garage

## **AVALON WALNUT CREEK, WALNUT CREEK, CA**

335,000-sf New Mixed-Use Development, Including 550 Residential Units, Retail, Office, and Parking Garage

## **AZUSA THE ORCHARD, AZUSA, CA**

New Mixed-Use Development, Including 163 Residential Units, Retail, Movie Theater and Parking Garage

## **BELMONT VILLAGE, LOS ANGELES, CA**

## **BIG SKY VILLAGE CENTER, BIG SKY, MT**

65,000-sf New Four-Story Mixed-Use Development with Condominium Units, Retail, Restaurant and Parking

## **BIGHORN COUNTRY CLUB, PALM DESERT, CA**

## **BLACKHAWK/HALSTED, CHICAGO, IL**

120,000-sf New Mixed-Use Building w/Green Roof, [LEED Silver](#)

## **BLUE RIDGE WILSHIRE, SANTA MONICA, CA**

105,596-sf Design and Construction of a 92-Unit Apartment, Mixed-Use Project

## **BRANNAN SQUARE, SAN FRANCISCO, CA**

400,000-sf New Nine-Story Mixed-Use Development with 191 Luxury Condominium Units, Retail, and Parking Garage

## **BRANNAN TOWERS, SAN FRANCISCO, CA**

426,000-sf New Mixed-Use Development, Three 17-Story Towers Featuring 336 Luxury Condominium Units, Retail, and Parking Garage

## **BROADWAY APARTMENT LOFTS, LOS ANGELES, CA**

65,300-sf New Five Story 94-Unit Residential Loft Space

## **BROADWAY GRAND, OAKLAND, CA**

325,000-sf New Six-Story Mixed-Use Development, Including Residential Units, Retail, and Parking Garage

## **BRYANT & 18TH ST., SAN FRANCISCO, CA**

300,000-sf New Six-Story Mixed-Use Development featuring 274 Residential Units, Retail, and Parking Garage



# MIXED-USE

## **BUTLER BROTHERS BUILDING, DALLAS, TX**

**CADENCE APARTMENTS, SOUTH SAN FRANCISCO, CA**  
290,000-sf New Four-Story Mixed-Use Development, Including 272 Residential Units, Retail, and Parking Garage, [LEED Silver](#)

**CANDLESTICK-HUNTERS POINT, SAN FRANCISCO, CA**  
2,000,000-sf New Mixed-Use Development, Including Low-Rise Residential Building, High-Rise Hotel, Retail, and Parking

**CENTURY PLAZA DEVELOPMENT, CENTURY CITY, CA**  
750,000-sf Mixed-Use Development Including Hotel Renovation, New Six-Story Under-Ground Parking Structure and Two 46-Tower Condominium Towers

**CERMAK & WABASH, CHICAGO, IL**  
308,000-sf Aspire Residences Mixed-Use Development, Including 25-Story Apartment Tower over 4-Story Podium with Retail, Amenities and Parking, [LEED Silver](#)

**CHART HOUSE LODGE, ASPEN, CO**  
47,076-sf New Four-Story Mixed-Use Residential Development

**CITY WALK AT WOODBURY, WOODBURY, MN**  
Mixed-use Residential and Retail Development

**CONRAD HOTEL, INDIANAPOLIS, IN**  
390,310-sf New 23-Story Hotel, including Residential Units

**COTTONWOOD & IDA - TINWORKS, BOZEMAN, MT**  
163,500-sf New Mixed-Use Seven-Building Development, Including Townhomes, Apartments, Office, Artist Studios, Restaurant, Commercial/Retail, Landscaped Public Plaza and Parking Garage

## **DE NEVE PLAZA HOUSING, WESTWOOD, CA**

**DOMAIN MOUNTAIN VIEW, MOUNTAIN VIEW, CA**  
326,000-sf New Mixed-Use Development, Including 160 Residential Units, Retail, and Parking Garage

**DUNBAR BUILDING, BOZEMAN, MT**  
10,000-sf New Three-Story Mixed-Use Development with Apartment Units, Commercial, Office, and Parking Garage

**EDGEWATER HOTEL, MADISON, WI**  
200,000-sf New Hotel and 74,000-sf Parking Structure, 67,500-sf Existing Parking Structure Renovation, and Existing Building 60,300-sf Infrastructure Upgrade

**FALLETTI PLAZA (BRODERICK PLACE), SAN FRANCISCO, CA**  
New Four-Story Mixed-Use Development, Including 70 Condominium Units, Retail, and Parking Garage

## **FIGUEROA / CENTRAL DOWNTOWN LA, LOS ANGELES, CA**

## **GLASHAUS LOFTS, EMERYVILLE, CA**

**HAWTHORNE 44, PORTLAND, OR**  
46,000-sf New Four-Story Mixed-Use Development with 27 Apartment Units, Retail, and Parking Garage

## **HEARTLAND ALLIANCE, CHICAGO, IL**

83,685-sf Adaptive Re-use of Existing Historic Building for Senior Housing, [LEED Gold](#)

**HOTEL ESSEX AND ESSEX ON THE PARK, CHICAGO, IL**  
574,550-sf 254-Room Hotel Renovation and 56-Story New Residential Tower, [LEED Silver](#) and [WELL Certified](#)

**HUB, DENVER, CO**  
520,000-sf New Eight-Story Mixed-Use Building, including 150-Room Boutique Hotel

**INDIGO APARTMENTS, REDWOOD CITY, CA**  
723,000-sf New 12-Story Mixed-Use Development, Including 471 Apartment Units, Retail, and Parking Garage

**JACOBS CROSSING, BOZEMAN, MT**  
41,000-sf New Three-Story Mixed-Use Building with Residential Units, Retail, Office, and Parking Garage

**JOURNEYMAN DISTILLERY, VALPARAISO, IN**  
125,000-sf Building & Outdoor Space Renovation, Including Food Service, Bars, Event Space, Brewery & Distillery Production, Retail, Hotel, Greenhouse/Apiary, Movie Theater/Arcade Room, and Office Space

## **KOREAN AMERICAN NATIONAL MUSEUM MIXED-USE, LOS ANGELES, CA**

190,000-sf New Seven-Story Mixed-Use Complex, Including a Two-Story Cultural Museum, Auditorium, Library, Exhibit Halls, Cafe, Open Space Event Center, 103 Apartment Units and Parking Garage

## **LA VITA, SAN DIEGO, CA**

**LAKE & ABERDEEN, CHICAGO, IL**  
280,000-sf New 10-Story Mixed-Use Development, Including Retail, Parking Garage, and 80 Apartments, [LEED Silver](#)

## **LOFTS ON FIFTH, SAN DIEGO, CA**

**LYRIC AT 1500 N CALIFORNIA, WALNUT CREEK, CA**  
237,000-sf New Five-Story Mixed-Use Development featuring 140 Residential Units, Retail, Restaurant, and Parking Garage

**MAGNOLIA PLACE, SAN FRANCISCO, CA**  
66,000-sf New Three-Story Mixed-Use Development with 27 Apartment Units, Retail, and Parking Garage

## **MANGO TREE MIXED USE, LOS ANGELES, CA**

## **MARTHA'S VILLAGE, SAN DIEGO, CA**

## **MEDIA VILLAGE, BURBANK, CA**

**MERIDIAN AT MIDTOWN, SAN JOSE, CA**  
156,000-sf New Four-Story Mixed-Use Development, Including Residential Units, Retail, and Parking Garage



# MIXED-USE

## **MILL STREET LOFTS, BOZEMAN, MT**

13,000-sf New Four-Story Mixed-Use Building, Including Residential Units, Commercial and Carport

## **MOSCONE CENTER, SAN FRANCISCO, CA**

New Large Mixed-Use Convention and Exhibition Center, Including Long-Span Ballroom, Office Space and Parking Garage

## **NAYA AT 1095 W. EL CAMINO REAL, SUNNYVALE, CA**

New Four-Story Mixed-Use Development featuring 156 Residential Units, Office, and Parking Garage

## **NEW CITY, CHICAGO, IL**

New Mixed-Use Development, Including 200,000-sf High-Rise Residential Building, 450,000-sf Retail Base, and 300,000-sf Parking Structure, [LEED Gold](#)

## **NORTH RIVER DEVELOPMENT, AURORA, IL**

55,700-sf Renovation Mixed-Use Facility, Including Residential and Commercial Tenants

## **OBERLIN COLLEGE, OBERLIN, OH**

110,000-sf New Multi-purpose Academic Building, Including, Commercial, Hospitality, Conference Center, Entertainment & Retail Hub, [LEED Platinum](#) and [Net Zero Energy](#)

## **OCEANVIEW VILLAGE, SAN FRANCISCO, CA**

680,000-sf New Four-Story Mixed-Use Development with Apartment Units, Retail, and Parking Garage

## **OLDTOWN NEWHALL, SANTA CLARITA, CA**

136,000-sf New Four-Story Mixed-Use Development featuring 47 Residential Units, Retail, and Parking Garage

## **ON VINE (FORMERLY ACADEMY SQUARE), HOLLYWOOD, CA**

1,166,000-sf New Mixed-Use Development, Including Office Buildings, Retail/Commercial Space, Parking Garage, and a 20-Story Residential Tower

## **ONE POWELL ST., SAN FRANCISCO, CA**

Historical Renovation of an Eight-Story Mixed-Use Building with Apartment Units, Retail, Commercial, and Parking Garage

## **ONE SKI HILL PLACE, BRECKENRIDGE, CO**

252,844-sf Condominium with Mixed-Use Amenities

## **PACIFIC BEACON, SAN DIEGO, CA**

Three 18-Story High Rise Towers

## **PACIFIC PLACE, SAN FRANCISCO, CA**

New Mixed-Use Development Towers (Eight and Ten Story), Including 154 Condominium Units, Retail, and Parking Garage

## **PACIFIC TERRACE, SAN FRANCISCO, CA**

New Six-Story Mixed-Use Development, Including 41 Apartment Units, Retail, and Parking Garage

## **PINNACLE TOWERS, SAN DIEGO, CA**

1,000,000-sf New Mixed-Use Development, Including Two 45-Story Residential Towers, Parking and Commercial Amenities

## **POTRERO LAUNCH, SAN FRANCISCO, CA**

255,000-sf New Six-Story Mixed-Use Development with 196 Apartment Units, Retail, Restaurant, and Parking Garage

## **PRADO-ON-LAKE, PASADENA, CA**

255,000-sf New Mixed-Use Development featuring 108 Residential Units, Retail, and Parking Garage

## **PROMENADE CORPORATE CENTER, SCOTTSDALE, AZ**

## **Q21, PORTLAND, OR**

200,000-sf New Seven-Story Mixed-Use Development Including 163 Apartments, Office, Retail and Parking Garage

## **RENAISSANCE SQUARE, CONCORD, CA**

320,000-sf New Mixed-Use Development with Three Four-Story Residential Buildings, Retail, Commercial, Office, and Parking Garage

## **RIDGE DEVELOPMENT, CHICAGO, IL**

24,000-sf New Ridge Hollywood Four-story Mixed-Use Building, Including Retail and Apartments

## **RONALD McDONALD HOUSE CHARITIES, ST. LOUIS, MO**

72,500-sf New, Four-Story Ronald McDonald House, Including 70 Guest Rooms, Common Areas, Commercial Kitchen, and Office Space - Design/Build

## **SAN DIEGO CONVENTION CENTER, SAN DIEGO, CA**

## **SAN MARCOS MIXED USE DEVELOPMENT, LA JOLLA, CA**

## **SIoux STEEL, SIOUX FALLS, SD**

175,000-sf Nine-Story Mixed-Use High-Rise Building with Eight-Story Parking Ramp

## **SOBo LOFTS, BOZEMAN, MT**

48,000-sf New Four-Story Mixed-Use Development Including 42 Residential Units, Commercial and Parking Garage

## **TALARIA@BURBANK, BURBANK, CA**

404,900-sf New Mixed-Use Development

## **TANNERY ARTS CENTER APARTMENTS, SANTA CRUZ, CA**

180,000-sf Mixed-Use Development, Including Two Four-Story 100 Live-Work Apartments, Office, and Parking Garage

## **TARTAN DEVELOPMENT, NORMAL, IL**

One Uptown on the Circle Mixed-Use Development, Including Hyatt Place Hotel, Residential Tower, and Common Area w/Indoor Pool, Restaurant, and Underground Parking Garage

## **THE BLOC, LOS ANGELES, CA**

2,000,000-sf 23-Story Renovation & New Mixed-Use Development

## **THE EXCHANGE ON 16TH MISSION BAY, SAN FRANCISCO, CA**

1,259,000-sf New Mixed-Use Development, Including Biotech Office, Commercial, Retail, Rooftop Terrace, Landscaped Plaza and Parking Garage





# MIXED-USE

## THE GROVE, LOS ANGELES, CA

575,000-sf New Outdoor Marketplace  
Farmers Market Expansion (Six Buildings)

## THE MARLOW AT 1800 VAN NESS, SAN FRANCISCO, CA

162,000-sf New Eight-Story Mixed-Use Development, Including 98  
Luxury Condominium Units, Retail, and Parking Garage

## THE PIERCE, SAN JOSE, CA

388,000-sf New Seven-Story Mixed-Use Development featuring  
232 Luxury Apartments, Retail, and Parking Garage, **LEED Silver**

## THE PLAZA AT TRITON PARK, FOSTER CITY, CA

425,000-sf New Mixed-Use Residential Complex, **LEED Gold**

## THE ROWAN AT 346 POTRERO, SAN FRANCISCO, CA

New Niine-Story Mixed-Use Development, Including 70 Residential  
Units, Retail, and Parking Garage

## THE SHOPS AT LA CANTERA, SAN ANTONIO, TX

## THE SOURCE, BUENA PARK, CA

500,000-sf New Mixed-Use Development with 5-Story Office  
Building and Seven-Story Hotel

## TORBURN PARTNERS, PLANTATION, FL

Industrial Campus Redevelopment for Office and Retail Space

## U.S. NAVY, GREAT LAKES, IL

10,000-sf Mixed-Use Conversion Great Lakes Naval Station

## UNIVERSITY SQUARE, MADISON, WI

1,100,000-sf Mixed Use Facility with Apartments, Services and  
Health, Retail Shops, Food Court, and Parking

## VALLEY JUNCTION MIXED-USE DEVELOPMENT, WEST DES MOINES, IA

10,000-sf New 3-Story Facility with 16 Apartments and 1 Retail  
Space

## VARA AT 1880 MISSION ST., SAN FRANCISCO, CA

230,000-sf New Six-Story Mixed-Use Development with 202  
Apartment Units, Retail, Commercial, and Parking Garage

## VENN AT 1844 MARKET ST., SAN FRANCISCO, CA

New Eight-Story Mixed-Use Development featuring 113 Luxury  
Apartment Units, Retail, and Parking Garage

## W.H. BABCOCK, BOZEMAN, MT

230,000-sf Two New Five-Story Mixed-Use Buildings, Including 94  
Residential Units, Commercial and Parking Garage

## WATTSTAR CENTER, LOS ANGELES, CA

## WILSHIRE CORONADO HIGH RISE, LOS ANGELES, CA

195,000-sf New Residential Tower with Mixed-Use Space

## WESTFIELD HORTON PLAZA, SAN DIEGO, CA

760,000-sf Shopping Center Renovation

## WILSHIRE CORONADO HIGH RISE, LOS ANGELES, CA

195,000-sf New Residential Tower with Mixed Use Space

## YELLOWSTONE CLUB CORE VILLAGE, BIG SKY, MT

475,000-sf New Mixed-Use Private Resort Village Including 48  
Residences, Fitness Center, Spa, Swimming Pool, Dining Lounge/  
Bar, Full-Ski Service Facility and Parking Garage

## YELLOWSTONE COUNTRY CLUB, BILLINGS, MT

Full-Service Clubhouse Renovation

## MIXED-USE SECURITY

### 500 ATLANTIC AVE, BOSTON, MA

854,500-sf Intercontinental Hotels and Condos - Security

### AUSTIN CENTRE, AUSTIN, TX

Mixed-Use Security

### GENERAL RE - FINANCIAL CENTRE, STAMFORD, CA

Mixed-Use Security

### KENDALL SQUARE, CAMBRIDGE, MA

Mixed-Use Security

### LANDRY'S INC., HOUSTON, TX

Mixed-Use Security

### MIDWAY PROJECT, BOSTON, MA

Mixed-Use Security

### ONE DETROIT CENTER, DETROIT, MI

Mixed-Use Security

### PACIFIC TELESIS CENTER, SAN FRANCISCO, CA

Mixed-Use Security

### PEACHTREE CENTER, ATLANTA, GA

Mixed-Use Security

### REPUBLIC PLAZA, DENVER, CO

Mixed-Use Security

### SOCIETY TOWER, CLEVELAND, OH

Mixed-Use Security

### VALENCIA PLACE, KANSAS CITY, MO

Mixed-Use Security

### THE VIEW OF FIFTH, COLUMBUS, OH

Mixed-Use Security

### THE VIEW OF HIGH, COLUMBUS, OH

Mixed-Use Security

### ABRAJ AL-BAIT TOWERS, MEKKAH, SAUDI ARABIA

8,611,000-sf King Abdul Aziz Endowment Mixed-Use Project -  
Security

### BLL PLAZA, JAKARTA, INDONESIA

Mixed-Use Security

### BUR JURMAN CENTER, DUBAI, SAUDI ARABIA

Mixed-Use Security



# MIXED-USE

## **BURJ AL-OULA TOWER, TURNER, AL KHOBAR, SAUDI ARABIA**

131,760-sf Mixed Use Facility Including Multi-Level Retail Shopping Center, 50-Story High-Rise Office Tower, and Five-Star 250 Key Hotel - Security

## **CANARY WHARF, LONDON, ENGLAND**

Mixed-Use Security

## **CHINA WORLD TRADE CENTRE, BEIJING, CHINA**

3,010,000-sf Mixed Use Tower - Security

## **DANAMON SQUARE, JAKARTA, INDONESIA**

Mixed-Use Security

## **EMIRATES PALACE HOTEL & CONFERENCE CENTER, ABU DHABI, SAUDI ARABIA**

Mixed-Use Security

## **FAR EASTERN PLAZA, TAIPEI, TAIWAN**

Mixed-Use Security

## **GOLDEN PYRAMIDS PLAZA, CAIRO, EGYPT**

Mixed-Use Security

## **INTERNATIONAL TRADE CENTER, BARCELONA, SPAIN**

Mixed-Use Security

## **KERZNER MAGAZAN, EL JADIDA, MOROCCO**

Mixed-Use Security

## **KING ABDULLAH ECONOMIC CITY (KAEC), JEDDAH, SAUDI ARABIA**

Mixed-Use Security

## **PORT GHALIB, MARSА ALAM, EGYPT**

8,000,000 Square Meters Resort Community Security Upgrades

## **SAN STEFANO COMPLEX, ALEXANDRIA, EGYPT**

3,000,000-sf Mixed Use Complex, Including 120-Room Four Seasons Hotel Between Two 880-Unit Residential Apartment Towers - Security

## **WATERFRONT CENTRE, VANCOUVER, CANADA**

Mixed-Use Security





# RESIDENTIAL PROJECTS



**1425 MARKET STREET, SAN DIEGO, CA**  
300-Unit New High-Rise Apartment Building (Due Diligence)

**15TH STREET & ISLAND AVENUE TOWER, SAN DIEGO, CA**  
1,000,000-sf New 46-Story Residential Towers

**17TH AND PARK AVENUE APARTMENTS, DENVER, CO**  
281,500-sf New 189-Unit High Rise Apartment Complex

**40 CENTRAL PARK SOUTH, NEW YORK, NY**  
Apartment Security

**85 S. UNION APARTMENTS, DENVER, CO**  
248,000-sf New Multi-Family Complex, Including 270 Units and 130,000-sf of Parking

**111 CITY LOFTS, DES MOINES, IA**  
160,000-sf Office Building Redevelopment to 62 Condominiums

**500 ATLANTIC AVE, BOSTON, MA**  
854,500-sf Intercontinental Hotels and Condos - Security

**500 S. ERVAY ST., DALLAS, TX**  
Renovation of Nine-Story 650,000-sf Historic Warehouse Building (Butler Brothers Building) into Residential and Hotel

**801 S. BROADWAY (BROADWAY TRADE CENTER)**  
11,000,000-sf 50-Story New Residential Towers

**900 LAKE SHORE DRIVE, CHICAGO, IL**  
Esplanade Apartments Renovation - Security

**1000 S. CLARK LLC, CHICAGO, IL**  
450,000-sf New 28-Story Apartment High-Rise including Townhouses and Apartments

**1450 NORTH DAYTON, CHICAGO, IL**  
225,000-sf New Housing and Retail Mixed-Use Development

**1600 PACIFIC, DALLAS TX**  
Renovation of 33 Floor and Historic LTV Tower Including Residential, Hotel And Ground Level Retail

**2209 SOUTH 1ST APARTMENT BUILDING, AUSTIN, TX**  
157,710-sf New Wood Framed Four-Story Apartments atop a Single Level Podium Parking Garage

**9092 RAINEY STREET, AUSTIN, TX**  
51-story Residential Tower with Two Levels of Retail Below-grade; Amenity Deck with Pool on 12th Floor

**AEW, BOSTON, MA**  
Arbrook Apartments - Security

**AGUILERA APARTMENTS, LACROSSE, WI**  
50-Unit Market Rate Apartments

**AMBASSADOR APARTMENTS, DENVER, CO**  
Apartment Complex Renovations

**ARCHSTONE SMITH, HOUSTON, TX**  
Brompton Courts Apartments - Security

**ASPEN HEALTH CLUB AND TOWNHOMES, ASPEN, CO**  
195,000-sf Health Club Renovation and Addition of New Residential Facilities

**BAKKEN APARTMENTS, BAKKEN, ND**  
350,000-sf Complex, Comprised of 16, Two-Story Buildings with 20 Apartment Units per Building

**BLACKHAWK/HALSTED, CHICAGO, IL**  
120,000-sf New Mixed-Use Building w/Green Roof, LEED Silver

**BLOOM ZUMBRO RIVER DEVELOPMENT, ROCHESTER, MN**  
1,000,000-sf Bloom Rochester Zumbro Mixed-Use Development, including 130 Luxury Condos



# RESIDENTIAL PROJECTS

**BLUE RIDGE 201 WILSHIRE, SANTA MONICA, CA**

105,596-sf 92-Unit Apartment, Mixed-Use Project

**BROADWAY APARTMENT LOFTS, LOS ANGELES, CA**

65,300-sf, New 94-Unit Residential Building with 42,400-sf Parking and Retail Space

**BUSH CONSTRUCTION, DAVENPORT, IA**

100,000-sf Historic Warehouse Conversion to Pershing Lofts

**CALHOUN APARTMENTS, BILLINGS, MT**

New Apartment Complex

**CAMBRIDGE TOWERS, AUSTIN, TX**

High Rise Condos - Security

**CENTURY PLAZA DEVELOPMENT, CENTURY CITY, CA**

750,000-sf Mixed Use Development Including Hotel Renovation, New Six-Story Under-Ground Parking Structure and Two 46-Tower Condominium Towers

**CERMAK & WABASH, CHICAGO, IL**

308,000-sf Aspire Residences Mixed-Use Development, Including 25-Story Apartment Tower over 4-Story Podium with Retail, Amenities and Parking. **LEED Silver**

**CHART HOUSE LODGE, ASPEN, CO**

47,076-sf New Four-Story Mixed-Use Residential Development

**CHATEAU TERRACE, BEAVER CREEK, CO**

105,000-sf New Eight-Story Residential Complex

**CHATEAU VENDOME, BALA CYNWYD, PA**

Luxury Apartments - Security

**CITY WALK AT WOODBURY, WOODBURY, MN**

Mixed-Use Housing and Retail Development

**CODA CHERRY CREEK TOWERS (1ST AND STEELE), DENVER, CO**

282,000-sf New 12-Story Residential Development, Including 182 Apartment Units

**COLUMBIA TOWNHOMES, SAN DIEGO, CA**

30,000-sf New Residential Building

**CONRAD HOTEL, INDIANAPOLIS, IN**

390,310-sf New 23-Story Hotel, including Residential Units

**CONWAY RESIDENCE, BIG SKY, MT**

22,000-sf Private 10-Suite Residence

**CORONADO PLACE AND TOWERS, ST. LOUIS, MO**

Apartments - Security

**CREEKSIDE APARTMENTS, BOZEMAN, MT**

New Apartment Building

**CRYSTAL POINT, PHOENIX, AZ**

New Condos - Security

**DELMAR AND EUCLID, ST. LOUIS, MO**

New 182,000-sf Five-story Building on Top of Podium with Associated 4-story 82,000-sf Precast Parking Garage

**DESOTA APARTMENTS, GRAND FORKS, ND**

36-Unit Market rate Apartments

**DLJ REAL ESTATE, NEW YORK, NY**

New Condos - Security

**EASTVALE DEVELOPMENT, RIVERSIDE, CA**

New 385-Single Family Homes Development (Shea Homes)

**EDGEWOOD APARTMENTS, BISMARCK, ND**

256-Unit Market Rate Apartments - Phase 1

**EIKE APARTMENTS, LARAMIE, WY**

Three-Story Multi-Unit Apartment Building

**ELEMENT 52, TELLURIDE, CO**

131,000-sf Seven Building Townhouse and Penthouse Complex

**ELKHORN LODGE, BEAVER CREEK, CO**

164,000-sf New Six-Story Residential/Resort Complex

**EMPIRE PLAZA CONDOMINIUM, TORONTO, CANADA**

New Condos - Security

**ENDI, DULUTH, MN**

Mixed-Use: Luxury Apartments with First-Floor Retail

**EVOLUTION LOFTS, LAS VEGAS, NV**

28-Story, 806-Unit New Housing Development

**FLAGSHIP WHARF, BOSTON, MA**

Luxury Condos - Security

**GARDEN NORTH APARTMENTS, ROCHESTER, MN**

204-Unit Market Rate Apartments

**HAVEN AND CHURCH TOWNHOMES, RANCHO CUCAMONGA, CA**

New 33-Building Single Family Home Community (KB Homes)

**HEADGATE APARTMENTS, WHEATLAND, WY**

New 16-Unit Apartment Complex - Electrical Services

**HOTEL ESSEX AND ESSEX ON THE PARK, CHICAGO, IL**

574,550-sf 254-Room Hotel Renovation and 55-Story New Residential Tower, **LEED Silver**

**HUNT RESIDENCE, ASPEN, CO**

10,000-sf Three-Level Single Family Residence

**HUNTER'S RIDGE, FONTANA, CA**

New 2,200 Single Family Home Development

**LA CASITAS LOFTS, ATWATER VILLAGE, CA**

New Single Family Home Development

**LAKE & ABERDEEN, CHICAGO, IL**

280,000-sf New 10-Story Mixed-Use Development, Including Retail, Parking Garage, and 80 Apartments

**LEANING TREE/SCIENCE PARK HOUSING, AUSTIN, MN**

42-Unit Market Rate Apartments

**LEGENDS @ CASCADE CONDOMINIUMS, SYLMAR, CA**

New 500-Unit Residential Development (KB Homes)



# RESIDENTIAL PROJECTS

## **LOFTS ON FOURTH, SAN DIEGO, CA**

118,000-sf New 49-Unit Condominium Complex

## **M-FLATS, MINNEAPOLIS, MN**

Condominiums

## **MAINE HEIGHTS, ROCHESTER, MN**

Apartment Complex - Two Phases

## **MANDARIN ORIENTAL, BOSTON, MA**

Hotel & Condos - Security

## **MAPLE TERRACE APARTMENTS, LOVELAND, CO**

1,000-sf Solar Thermal System Upgrade

## **MARINE CORPS BASE CAMP PENDLETON, OCEANSIDE, CA**

Camp Pendleton Military Housing Project (Phase 1)

Site Development Project (Phase 1)

New 3,393-Unit Military Housing Development Project: (Phase 3)

## **CAMP PENDLETON, WIRE MOUNTAIN LL**

New 582-Unit Military Housing Development and Community Centers

Camp Pendleton DeLuz Housing Project (Phase 1)

New 82-Unit Military Housing Development and Community Centers (Phase 1)

New 618-Unit Military Housing Development (Phase 3)

## **MCCADDEN PLACE, HOLLYWOOD, CA**

New 218-Unit Condominium Building with Two-Level Subterranean Parking Structure:

## **MERIDIAN AT THE LANDMARK, GREENWOOD VILLAGE, CO**

880,000-sf New High Rise Towers

## **MINE SHAFT TOWER, RED LODGE, MT**

New Multi-Family Development

## **MONTICELLO CROSSINGS, MONTICELLO, MN**

202-Unit Market Rate Apartments - Phase I and II

## **NATIONAL PARK SERVICE, U.S. VIRGIN ISLANDS**

Employee Housing

## **NEW MODEL COLONIES, ONTARIO, CA**

New 8,200-Acre Residential Development

## **NORTHGATE APARTMENTS, DENVER, CO**

Apartment Complex Electrical Upgrade

## **O'NEIL HEIGHTS MILITARY HOUSING PROJECT, OCEANSIDE, CA**

218-Unit Military Housing Development Renovation

## **ONE SKI HILL PLACE, BRECKENRIDGE, CO**

252,844-sf Condominium with Mixed-Use Amenities

## **OPUS CAMPUS PLAZA, IRVINE, CA**

Three 102-Unit Condominium Towers

## **PACIFIC BEACON, SAN DIEGO, CA**

Three 18-Story High Rise Towers

## **PLAZA LOFTS, AUSTIN, TX**

Security Services

## **PUEBLO DE MAYAGUEZ APARTMENTS, BRONX, NY**

72-Unit Apartment Building - Security

## **RED RIVER APARTMENTS, AUSTIN, TX**

Leasing Office Redesign

## **RESIDENCES AT LITTLE NELL, ASPEN, CO**

290,000-sf Luxury Private Residence Club

## **RIVERPLACE SQUARE APARTMENTS, PORTLAND, OR**

Apartment Complex Renovations

## **RIVERWALK DOWNTOWN CITY APARTMENTS, ROCHESTER, MN**

## **RIZE AT OPUS, MINNETONKA, MN**

Luxury Housing; 323 units

## **ROARING FORK DRIVE, ASPEN, CO**

3,250-sf High End Private Residence

## **ROOSEVELT PARK APARTMENTS, LONGMONT, CO**

200,000-sf Mixed Use Facility Including 115 Apartment Units

## **ROUZAN VILLAGE, LOS ANGELES, CA**

New Three-Building Complex with 200 Apartments and Two Parking Structures

## **ROWES WHARF BOSTON, MA**

Condominiums - Security

## **SAN STEFANO COMPLEX, ALEXANDRIA, EGYPT**

3,000,000-sf Mixed Use Complex, Including 120-Room Four Seasons Hotel Situated Between Two Towers of 880 Residential Apartments - Security

Security Services for 12+ Private Residences

## **SIMONSON GROUP - RIVERVIEW, GRAND FORKS, ND**

New Apartment Complex

## **SKYE I AND SKYE II AT ARBOR LAKES, MAPLE GROVE, MN**

Luxury Housing; 400 units

## **SMITH RESIDENCE, VAIL, CO**

11,512-sf Three-Level Single Family Residence

## **SNOWMASS SANCTUARY, SNOWMASS VILLAGE, CO**

109,800-sf Winterbourn Condominium Complex Including LEED Silver Certified Golf Clubhouse

## **SOUTH ELIZABETH, DENVER, CO**

13,400-sf Private Residence Remodel and Pool House Addition

## **SOUTH POINT II APARTMENTS, GRAND FORKS, ND**

150-Unit Market Rate Apartments

## **SPARBOE RESIDENCE, BILLINGS, MT**

8,000-sf Single Family Residence

## **STUDIO LOHI APARTMENTS, DENVER, CO**

153,000-sf Five-Story 114-Unit Apartment Complex



# RESIDENTIAL PROJECTS

## **SUMMIT VIEW APARTMENTS, ROCK SPRINGS, WY**

New Apartment Complex

## **TALARIA@BURBANK, BURBANK, CA**

404,900-sf 14-Story New Mixed Use Development:

## **TARTAN DEVELOPMENT, NORMAL, IL**

One Uptown on the Circle Mixed-Use Development, Including Hyatt Place Hotel, Residential Tower, and Common Area w/ Indoor Pool, Restaurant, and Underground Parking Garage

## **THE HABITAT COMPANY, BELLEVILLE, MI**

236,400-sf Fire Alarm Upgrade for Apartment Building  
5,000-sf Club House Renovation

## **THE GROVE AT LARAMIE, CHEYENNE, WY**

New Apartment Complex

## **THE MEADOWS TOWNHOMES, FILMORE, CA**

New 126-Single Family Community (KB Homes)

## **THE NEW CITY, CHICAGO, IL**

Mixed Use Facility, Including 200,000-sf Residential High-rise, 450,000-sf Retail, and 300,000-sf Parking Structure

## **THE PINES II, ROCHESTER, MN**

194-Unit Market Rate Apartments

## **THE VIEW OF FIFTH, COLUMBUS, OH**

Mixed-Use Security

## **THE VIEW OF HIGH, COLUMBUS, OH**

Mixed-Use Security

## **TOWERS OF TOWN LAKE, AUSTIN, TX**

Luxury Condos - Security

## **UNIVERSITY FLATS, GRAND FORKS, ND**

70-Unit Student Housing

## **UNIVERSITY CLUB TOWER, MILWAUKEE, WI**

Condos - Security

## **UNIVERSITY SQUARE, MADISON, WI**

1,100,000-sf Mixed Use Facility with Apartments, Services and Health, Retail Shops, Food Court, and Parking

## **URBAN FRONTIER HOUSE, BILLINGS, MT**

3,900-sf Single Family Residence

## **UNION WEST, LAKEWOOD, CO**

248,000-sf Five-Story Luxury Apartments

## **WESTGATE CONDOMINIUM TOWERS, AUSTIN, TX**

Condos - Security

## **WILSHIRE CORONADO HIGH RISE, LOS ANGELES, CA**

195,000-sf New Residential Tower with Mixed Use Space

## **YELLOWSTONE COUNTRY CLUB, BILLINGS, MT**

Full-Service Clubhouse Renovation

# Ed Gharibans, PE, SE

PRINCIPAL-IN-CHARGE



Ed has been practicing structural engineering for more than 40 years. He holds expertise in the design and development of various healthcare buildings and works closely with all of his clients to ensure each project is delivered on time and within budget. His experience includes the design and development of new buildings, as well as building modifications, upgrades and equipment anchorage for healthcare facilities. Ed has recently gained a considerable amount of experience in preparing reports for hospital facilities relating to Senate Bill 1953. His leadership role makes him an active participant in all stages of the project.

## PROJECT HIGHLIGHTS

- 801 S. Broadway, Los Angeles, CA, 1,100,000-sf Adaptive Reuse and Redevelopment of California Broadway Trade Center, Including PML Assessment, Seismic Retrofit, and Major Renovation
- 612 S. Broadway, Los Angeles, CA, 81,000-sf Renovation and Adaptive Reuse of a 7-Story Department Store Building Built in 1923 into a Office and Retail Structure
- Anaheim Global Medical Center, Anaheim, CA, Seismic Evaluation and Upgrades for SPC-4D Reclassification of Multiple Buildings
- Barlow Respiratory Hospital, Los Angeles, CA, Seismic Evaluation and SPC-2 as well as SPC-4D Upgrades of Multiple Buildings
- Children's Hospital, Los Angeles, CA, Seismic Evaluation and Upgrades for SPC-4D Reclassification of Multiple Buildings
- CHOC Children's, Orange, CA, 70,000-sf West Research Building Renovation
- Hoag Hospital Newport Beach, CA, Seismic Evaluation and Upgrades for SPC-2 and SPC-4D Reclassification of Multiple Buildings
- Olympia Medical Center, Los Angeles, CA, Seismic Evaluations & Upgrades of Existing Hospital Buildings
- Orange County Global Medical Center, Santa Ana, CA, Seismic Evaluation and Upgrades for SPC-2 & SPC-4D Reclassification of Multiple Buildings
- Pasadena Unified School District, CA, Seismic Evaluation of All Buildings per AB 300 Requirements
- Rancho Los Amigos Rehabilitation Center, Downey, CA, 225,000-sf Campus-Wide Renovation (Phase 1) and 42-Acre Campus-Wide Due Diligence (Phase 2)
  - 64,804-sf Renovation of the Historical Harriman Building (Building 400), Pursuing LEED NC
  - 49,221-sf Renovation of the Support Services Building Pursuing LEED CI
- San Francisco General Hospital & Trauma Center, OSHPD Plan Review of ±450,000 SF New Base-Isolated Building
- Sharp Memorial Hospital, San Diego, CA, Nonlinear Static (Pushover) Analyses for SPC-2 Reclassification, OSHPD Plan Review

## Experience

40 Total, 36 with IMEG

## Education

Loyola Marymount University,  
MS Structural Engineering

## Registrations

Professional Engineer  
California (S2942) (C34691)  
Nevada (S12639) (C8641)  
Oregon (85678)

## Affiliations

American Society of Civil Engineers  
(Fellow)  
Structural Engineers Association of  
Southern California  
American Concrete Institute  
California Building Standards Commission,  
Code Advisory Committee

## Wally Ford, PE, LEED AP

STRUCTURAL LEAD



Wally Ford, P.E., LEED AP, has 44 years of experience in the planning and design of structural systems for commercial and institutional buildings. He specializes in high-rise design, having been involved in the design of dozens of buildings over 25 stories and many over 50 stories. He has contributed to the architecture and engineering community by teaching a variety of structural engineering courses in the Architecture Departments of both Rice University and the University of Houston.

### PROJECT HIGHLIGHTS

- Reliant Energy Tower, Houston, TX, Structural Retrofit of a 47-story Steel Office Building with Composite Columns and Steel Bracing\*
- Tarantino Properties, Houston, TX, Commerce Towers, Conversion of Existing 24-story Office Building into Residential Units and Lofts, 125 Units
- 1100 Louisiana, Houston, TX, 55-story Office Building with Steel Floor Framing and Concrete Exterior Tube\*
- Barnett Plaza, Tampa, FL, 42-story Concrete Office Building Designed to Withstand Basic Wind Speed of 120 mph; 10-level Parking Garage\*
- Bell Atlantic Tower, Philadelphia, PA, 54-story Steel Office Building, Construction Phase\*
- Chase Tower (Differential Axial Shortening Analysis), Houston, TX, 75-story Office Building with Steel Floor Framing, Concrete Shear Walls, Interior Steel Columns, and Exterior Concrete Columns\*
- First Bank Place, Minneapolis, MN, 58-story Steel Office Building with Discrete Concrete Super-columns\*
- Hines, Houston, TX, 609 Main, 51-story Office Building Contains 39 stories of Office Atop 10 Parking Levels and Lobby with 2-levels Below-grade Parking; Includes Retail and a Fitness Facility and Two Sky Gardens; Central plant, 3,225-sf with 65 ft Utility Tunnel, [Certified LEED Platinum](#)
- Metropolitan Partnership, Charlotte, NC, Urban Forest Office Tower, 687,000-sf New 21-story Office Tower; 12,400-sf Under Ground Service Area with Associated Plaza Above; 185,000-sf, 7.5-story Precast Parking Structure with 15,000-sf of Retail on Ground Level
- Plaza 7, Minneapolis, MN, 37-story, Steel, Mixed-use Facility in Downtown Minneapolis with 2 Parking Levels, 14 Hotel Levels and 21 Office Levels\*
- Trammell Crow Company, Houston, TX, Hess Tower, 31-story Office Building on Full City Block with Parking Garage on Adjacent Block; 850,000-sf Office Building with 2-levels Below-grade Parking, Cafeteria and Ground-level Retail; Skybridges to Connect Building to Existing Building on Adjacent Block and to a New Parking Garage; Cast-in-place Parking Garage, 11 Levels, 470,000-gsf, Green roof, [Certified LEED Platinum](#)
- Wedge International Tower (1415 Louisiana), Houston, TX, 43-story Steel Office Building Including Parking Below Office Space, 520,000-sf\*
- Williams Tower, Houston, TX, 65-story Steel Office Building, Construction Phase\*

\*Experience Prior to Joining IMEG

### Experience

44 Total, 23 with IMEG

### Education

Rice University, MS Civil Engineering  
Rice University, BS Civil Engineering

### Registrations

Professional Engineer in Texas (61776) and Florida (84669)

LEED Accredited Professional

### Affiliations

American Society of Civil Engineers  
American Concrete Institute  
Structural Engineers Association of Texas (Past President of Houston/Gulf Coast Chapter)  
American Institute of Steel Construction  
US Green Building Council

### Publications, Reports and Lectures

"Haunched-Girder and Shear Wall Frames - 42-Story Barnett Plaza in Tampa," by Joseph P. Colaco and Wally Ford, Concrete International, November, 1986

John B. Hawley Award by ASCE Texas Section for best of session lecture for "Wind Engineering Retrofit for a 47-Story Steel Building," by Joseph P. Colaco, Wally Ford and Gene Robertson. Presented in Spring, 1997

"Complete Retrofit of a 47-Story Steel Building for Wind Loads," by Joseph P. Colaco, Wally Ford and Gene Robertson, CTBUH Review, May, 2000

"Tip of the Iceberg," by Wally Ford and Brandon Coffey, Modern Steel Construction, June, 2013



## Balram Gupta, PhD, PE, SE

SENIOR PRINCIPAL / CLIENT EXECUTIVE



Balram has been practicing structural engineering for over 33 years. His experience includes seismic design of new buildings, evaluation of existing facilities and seismic upgrades related to state regulatory requirements. He is an active participant in all stages of the project including managing a team of engineers, overseeing project schedules and budgets, interfacing with the clients, etc. He has vast experience with HAZUS studies and seismic evaluations, and upgrades related to SB-1953. Balram has also provided plan review services to OSHPD for more than 14 years including new hospitals, patient care towers and building renovation projects.

### PROJECT HIGHLIGHTS

- 801 S. Broadway, Los Angeles, CA, 1,100,000-sf Adaptive Reuse and Redevelopment of California Broadway Trade Center, Including PML Assessment, Seismic Retrofit, and Major Renovation
- Anaheim Global Medical Center, Anaheim, CA, Seismic Evaluation and Upgrades for SPC-4D Reclassification of Multiple Buildings
- Barlow Respiratory Hospital, Los Angeles, CA, Seismic Evaluation and SPC-2 as well as SPC-4D Upgrades of Multiple Buildings
- Children's Hospital, Los Angeles, CA, Seismic Evaluation and Upgrades for SPC-4D Reclassification of Multiple Buildings
- Conejo Valley USD, Thousand Oaks, Newbury Park and Westlake Village, CA, Plan Review of 4 Gymnasiums
- Hoag Hospital Newport Beach, CA, Seismic Evaluation and Upgrades for SPC-2 and SPC-4D Reclassification of Multiple Buildings
- Mercy Medical Center, Merced, CA, OSHPD Plan Review
- Olympia Medical Center, Los Angeles, CA, Seismic Evaluations & Upgrades of Existing Hospital Buildings
- Orange County Global Medical Center, Santa Ana, CA, Seismic Evaluation and Upgrades for SPC-2 & SPC-4D Reclassification of Multiple Buildings
- Pasadena Unified School District, CA, Seismic Evaluation of All Buildings per AB 300 Requirements
- San Francisco General Hospital & Trauma Center, OSHPD Plan Review of ±450,000 SF New Base-Isolated Building
- Sharp Memorial Hospital, San Diego, CA, Nonlinear Static (Pushover) Analyses for SPC-2 Reclassification, OSHPD Plan Review
- Stanford University Lucile Packard Children's Hospital, Stanford, CA, New 530,000-sf Hospital Building, Plan Check Services
- Sweetwater Union High School District, Chula Vista, CA, Seismic Evaluation of All Buildings per AB 300 Requirements
- UC San Diego Thornton Hospital, San Diego, CA, 135,000-sf New Building with SidePlate Moment Frame System and Interstitial Floors, OSHPD Plan Review

### Experience

33 Total, 22 with IMEG

### Education

University of Central Florida, PhD, Earthquake Engineering  
Indian Institute of Technology, Delhi, India, MS, Applied Mechanics  
Punjab Engineering College, Chandigarh, India, BS, Civil Engineering

### Registrations

Professional Engineer  
California (C61461) (S4913)

### Affiliations

American Concrete Institute  
American Institute of Steel Construction  
American Welding Society

# Dhawal Agarwal, PE, SE, LEED GREEN ASSOCIATE

STRUCTURAL ENGINEER



Dhawal has extensive experience in the design and development of new buildings, as well as building modifications and equipment anchorage. He is also experienced in designing various types of structures. His experience includes conducting visual observations of existing buildings and reviewing as-built documents, analyzing building structural integrity, and preparing structural drawings. Dhawal works with cost estimators to develop project budgets, he prepares structural calculations using state-of-the-art computer programs, directs the production of structural design and construction documents, and monitors construction progress. Dhawal has experience designing schools, hospitals, office buildings, hotels, and parking structures. His work also includes structural investigations and observations.

## PROJECT HIGHLIGHTS

- 801 S. Broadway, Los Angeles, CA, 1,100,000-sf Adaptive Reuse and Redevelopment of California Broadway Trade Center, Including PML Assessment, Seismic Retrofit, and Major Renovation
- 612 S. Broadway, Los Angeles, CA, 81,000-sf Renovation and Adaptive Reuse of a 7-Story Department Store Building Built in 1923 into a Office and Retail Structure
- Barlow Respiratory Hospital, Los Angeles, CA, Seismic Evaluation and SPC-2 as well as SPC-4D Upgrades of Multiple Buildings
- Glendale Adventist Medical Center, TCU Building, Glendale, CA, Seismic Upgrade to Obtain SPC-2
- Hoag Hospital Newport Beach, CA, Seismic Evaluation and Upgrades for SPC-2, and SPC-4D Reclassification of Multiple Buildings
- Olympia Medical Center, Los Angeles, CA, Seismic Evaluations & Upgrades of Existing Hospital Buildings
- Pomona Valley Hospital Medical Center, Pomona, CA, Collapse Prevention (CP) Seismic Upgrade of 1963 Building (Lab and Pediatrics)
- Providence Cedars-Sinai Tarzana Medical Center, Tarzana, CA, SPC-2 & SPC-4D Seismic Upgrade, Main Hospital Building, Patient Tower, and Ancillary Building
- Rancho Los Amigos National Rehabilitation Center, Downey, CA, New JPI Extension
- San Francisco General Hospital & Trauma Center, San Francisco, CA, 450,000-sf New Base-Isolated Hospital Building, OSHPD Plan Review
- Southern California Hospital, Culver City, CA, SPC-4D Upgrade of Outpatient Building
- Sutter Health Eden Medical Center, Castro Valley, CA, 230,000-sf New Hospital
- UC Irvine Medical Center, Orange, CA, Central Plant Upgrade
- UC Irvine Medical Center, Orange, CA, SPC-5/NPC-4 Seismic Upgrade
- Verdugo Hills Hospital, Glendale, CA, SPC-2 Seismic Upgrade, Main Hospital Building, North and South Towers

## Experience

14 Total, 14 with IMEG

## Education

University at Buffalo, SUNY,  
MS Structural Engineering 2007

Indian Institute of Technology, Bombay,  
B. Tech Civil Engineering 2006

## Registrations

Professional Engineer  
California (S5954) (C75210)

## Accreditations

LEED Green Associate

## Affiliations

American Society of Civil Engineers  
American Institute of Steel Construction

## Naseer Ahmed, PE

MEP LEAD



Naseer's electrical engineering experience includes the design and construction of fire alarm, fire protection, power distribution, motor control centers, process control panels, lighting, and grounding systems for education facilities. He has extensive design experience for new facilities including classrooms, auditoriums, theaters, and gymnasiums. This vast experience includes emergency generator, boiler, and chiller plants. Naseer is involved in site evaluations, studies, and master planning of several existing facilities. He has also has developed an excellent relationship with DSA for more than 25 years providing an effective review process.

### PROJECT HIGHLIGHTS

- Apple Campus 2, Cupertino, CA, 2.8M-sf New Apple Campus (Plan Review, Code Compliance)
- Disneyland Resorts, Anaheim, CA, Renovation for Various Theme Park Attractions, Shops and Restaurants
- Fox Plaza, Los Angeles, CA, Expansion & Renovation
- Hotel Sherman Oaks, Valley Village, CA, C.A. Services
- The BLOC, Los Angeles, CA, 2,000,000-sf Renovation & New Mixed-Use Development \$160M
- The Grove, Los Angeles, CA, 575,000-sf Outdoor Marketplace
- Thomas Berkley Square Office Building, Oakland, CA, New LEED Facility
- Westfield Horton Plaza, San Diego, CA, Modernization of 760,000-sf Shopping Mall

### Experience

40 Total, 32 with IMEG

### Education

University of Engineering & Technology,  
BS, Electrical Engineering

Punjab University, BS, Mathematics/  
Physics

### Registrations

Professional Engineer  
California (E13828)  
Florida (80196)  
Hawaii (E10643)  
Utah (9355797-2212)  
Washington (53424)

### Affiliations

Institute of Electrical and Electronic  
Engineers

## Eddy Santosa, AIA, CBCP, BEMP, LEED AP BD+C

SENIOR BUILDING PERFORMANCE CONSULTANT



Eddy has more than 20 years of experience in sustainable design and architecture/building industry. He has been involved in establishing sustainability strategies, energy efficient strategies and passive design analyses for many projects in USA and around the world. His works range from developing master plan and conceptual design strategies for net zero projects to providing project managements and energy simulation calculations for LEED certifications. Eddy serves on the Board of Directors at IBPSA US.

### PROJECT HIGHLIGHTS

- Austin ISD, Austin, TX, 91,000-sf Doss Elementary School Modernization - *Designed as Net Zero Ready Building* \*
- Confidential Healthcare Client, Duarte, CA, Central Utility Plant and Infrastructure Expansion
- Frontier Project, Rancho Cucamonga, CA, 14,000-sf Sustainable Showcase Building – *LEED Platinum, LEED Consultant-Energy Modeling* \*
- HMC Architects, Ontario, CA, 45,000-sf Office Building Renovation - *LEED Silver, LEED Consultant and Energy Modeling* \*
- Los Colinas Detention and Reentry Facility, Santee, CA, Sustainability and LEED Assessments (24 Buildings) \*
- Mall of Saudi, Riyadh, Saudi Arabia, Net Zero Plan for 866500-m2 and a Comparison Study with the Central Utility with Other 7 Central Utility Plants \*
- Mall of Saudi, Riyadh, Saudi Arabia, 3,000,000-sf Shopping Mall - *Early Design Energy Modeling and Daylight Modeling* \*
- OC Vibe, Anaheim, CA, Central Utility Plant Assessment
- The First People's Hospital, Shunde, China, 2,400,000-sf New Hospital Complex - *First Green Hospital in China, Sustainability Consultant and Early Design Energy Modeling* \*
- University of Pennsylvania, Philadelphia, PA, Sustainability and Energy Audits (150 buildings) \*
- Los Angeles Community College District, South Gate, CA, 105,000-sf New Three-Story Classroom and Laboratory Building - ELAC South Gate Campus
- Southern California Edison - Rosemead, Rancho Cucamonga, CA, T&D Training Center with Underground Training Labs

\* Indicates project experience prior to joining IMEG

### Experience

23 Total, 1 with IMEG

### Education

University of Pennsylvania, MS in Architecture

National University of Singapore, MS in Building Science

Universitas Tarumanagara, Jakarta, Indonesia, BS in Architecture

### Registrations

AIA, California (C37355) 2018

### Accreditations

Certified Building Commissioning Professional 2010

LEED Accredited Professional BD+C 2005

### Affiliations

IBPSA (Board of Directors)

USGBC (LEED Pro-Reviewer)

### Presentations & Publications

AIA Conference on Architecture, 2019

Eco El Paso, 2018 / A4LE Southern Region

Conference, 2018 / Solar Conference,

ASES National, 44th 2015 / AIA.org, 2017 /

Prism - Sustainability in Built Environment,

2018 / BESS, 2015

### Awards

The Los Angeles Business Council (LABC), "Best of L.A. Architects," for Frontier Project/HMC Architects, 2010

AIA Academy of Architecture for Health Unbuilt Award, AIA/AAH Unbuilt Award for the First People's Hospital/HMC Architects, 2011

# Amador Contreras, SE

SENIOR STRUCTURAL FORENSICS SPECIALIST



Amador serves as Senior Structural Forensics Specialist for IMEG. He has 22 years of structural engineering experience in design, forensic investigation, evaluation, condition assessments, material evaluation and testing, structural load testing, instrumentation and monitoring, and repair and rehabilitation of distressed buildings and structures. Amador also is a SPRAT-certified rope access technician with expertise in fall protection and facade access systems. His architectural engineering experience encompasses a wide range of structures from healthcare, education, municipal, federal, defense and intelligence, science and technology, residential, commercial, and mid-rise and high-rise buildings.

## PROJECT HIGHLIGHTS

- VSUSA Blue Island Metro South - Hospital Building, Blue Island, IL, Façade Condition Assessment of Exterior Marble Stone Veneer-faced Precast Panels, Clay Face Brick, Metal Panels, and Cast Limestone Masonry Façade for the Planned Adaptive Reuse of Former St. Francis Hospital Building
- VSUSA Blue Island Metro South - Underground Tunnel, Blue Island, IL, Structural Condition Assessment and Repair Documents of the Underground Tunnel System for the Planned Adaptive Reuse of Former St. Francis Hospital Campus
- Fertility Centers of Illinois - ASC 361 Chestnut, Chicago, IL, Structural Condition Assessment of Concrete Apparatus Floor for the Planned Adaptive Reuse of Former M. Snow & Company Textile Manufacturing Warehouse
- Kinn MKE Guesthouse, Milwaukee, WI, Façade Condition Assessment of Exterior Clay Brick and Limestone Façade\*
- Neal Math & Science Academy Redevelopment, North Chicago, IL, Structural Investigation, Evaluation, Engineering Design, and Construction Administration for the Preservation and Rehabilitation of the School Campus Existing Gymnasium Building\*
- St. Stephenson Missionary Baptist Church Adaptive Reuse/Redevelopment, Chicago, IL, Structural Condition Assessment for the Preservation or Deconstruction of the Existing Building Clay Masonry Façade Through Adaptive Reuse for the Planned Construction of a New 5-story Office Building Inside the Structure\*
- Indianapolis Airport Authority, Indianapolis, IN, Forensic Structural Investigation of the Shoring Towers and the Primary Roof Framing Splice Connection Distress Conditions for the Airport Terminal\*
- Main Street Lofts, New York, Forensic Structural Investigation of Pre-Cast Planks Erection Collapse\*
- Triangle Plaza, Chicago, IL, Façade Ordinance Inspection\*
- Pep Boys Water Tower, Chicago, IL, Difficult Access Condition Assessment of Elevated Water Tank Structure\*
- Starbucks Reserve Roastery, Chicago, IL, Corrosion Condition Assessment of Corrosive Damage at First Floor Structural Frame\*
- Old Orchard Mall, Skokie, IL, Water Leakage Investigation of Shopping Mall Plaza\*

\*Experience Prior to Joining IMEG

## Experience

22 Total, 1 with IMEG

## Education

Illinois Institute of Technology,  
BS Civil Engineering

## Registrations

Registered Structural Engineer in  
Illinois  
Society of Professional Rope Access  
Technical  
LEED Accredited Professional

## Affiliations

American Society of Engineers  
Structural Engineers Association of Illinois  
International Concrete Repair Institute



# 18 MAIN

## APPENDIX PRELIMINARY SEISMIC ASSESSMENT

CONFIDENTIAL

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# PRELIMINARY SEISMIC ASSESSMENT 100 N MAIN STREET MEMPHIS, TENNESSEE

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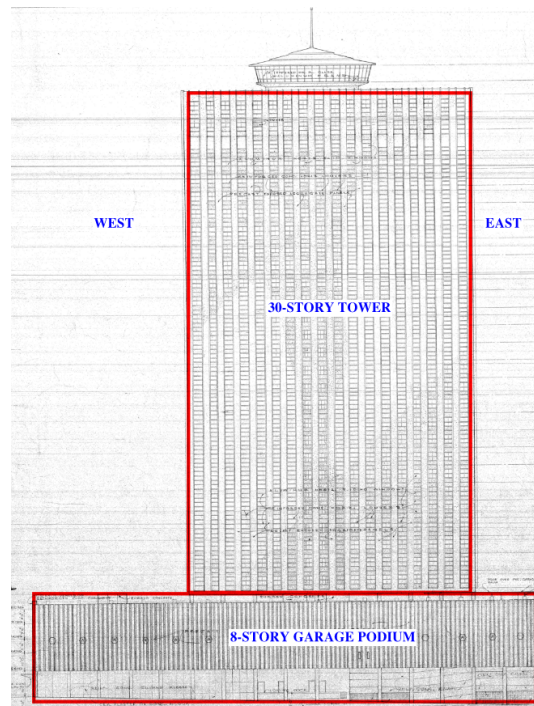
August 19, 2021



# 100 N MAIN STREET MEMPHIS, TN

## A. BACKGROUND

Located at 100 N Main Street, Memphis, TN, the existing building is a 38-storied tower built in 1963. The building is 30 story reinforced concrete tower on top of 8 story reinforced concrete podium parking garage and mixed-use podium. Tower has plan dimension of approximately 182'x87' with average 11' story height and 8 story concrete podium has total plan dimension of approximately 322'x140' with average 9' story height. Podium structure is seismically separated at west side of the building with 1" expansion joint. This divides the concrete podium into two independent buildings- 221'x140' east plan dimension and 101'x140' west plan dimension in the existing as-built condition. Roof of tower, 38<sup>th</sup> floor, consists of steel framed roof restaurant supporting 4-sided sign structure with antenna and telecommunication equipment mounted on top of it.



The gravity system for the building is an 8" thick reinforced concrete flat slab supporting by concrete columns that range from 20" square to 30" square spaced at 20' on center. Reinforced concrete shear walls are varying from 12" to 18" thick at the elevator and stair shafts located in the center of the tower. The perimeter of the tower has 16"x33" beams framing between exterior columns that provide anchorage points for the precast concrete panels. The garage levels have 9" thickened slabs and thickened slab at the column strip.





As stated on the general notes no. 8 on sheet S2 of the existing structural drawings, the “structural frame of the main building is designed to share lateral loads with elevator / stair shafts walls”. This creates a dual lateral force resisting system combining the flat slab & column moment frame with shear walls near the center of the tower. Due to the year built of the structure, concrete shear walls and columns are not detailed per ductile requirements of the current code.

The approximate suspended floor areas at various levels of the Parking Structure are as follows:

Podium Levels (Ground through Level 8):	±45,080 SF / FLOOR
Tower Levels (Level 9 through Roof):	±15,834 SF / FLOOR
<b>Total Suspended Floor Area:</b>	<b>±840,000 SF</b>

## B. SCOPE OF CURRENT STUDY

The scope consists of performing a preliminary structural seismic evaluation to assess the adequacy of the structure at 100 N Main Street for the life safety performance criteria and to identify potential retrofit required, if any. This study used the ASCE 41-17 document for the seismic evaluation. The building is currently unoccupied and empty and will be used in future for residential purpose and therefore it is considered as risk category II structure. As per table 2-1 in ASCE 41-17, it needs to satisfy dual level performance criteria, i.e., Life Safety (LS) structural performance level at BSE-1E<sup>1</sup> earthquake and Collapse Prevention (CP) performance level at BSE-2E<sup>2</sup> earthquake.

Three-dimensional linear dynamic analyses were performed using computer program ETABS to evaluate the performance of the existing Seismic-Force-Resisting-System (SFRS) of the building. We have developed a computer model that reflects the conditions shown on the original drawings for this “preliminary” study. Results of these analyses were then used to identify potential “conceptual” retrofits that would be required to satisfy the dual level of performance criteria mentioned above.

## C. DOCUMENTS REVIEWED

To accomplish the scope mentioned in §B, we reviewed and referred to the following documents:

1. Existing drawings:
  - a. Original structural drawings prepared by Eller & Reaves Structural Engineers, dated July 23, 1963 to review overall SFRS and general layout.

<sup>1</sup>BSE-1E represents a frequently occurring but smaller (milder) earthquake. In technical terms, BSE-1E represents an earthquake with 20% probability of exceedance in 50 years or an earthquake with a mean return period of ±225 years.

<sup>2</sup>BSE-2E represents a rare but stronger earthquake. In technical terms, BSE-2E represents an earthquake with 5% probability of exceedance in 50 years or an earthquake with a mean return period of ±975 years.



- b. Original architectural drawings prepared by Robert Lee Hall & Associates Architects, dated July 23, 1963 to review general layout and exterior cladding.
2. ASCE 41-17: ASCE Standard for Seismic Evaluation and Retrofit of Existing Buildings.



Figure 1: Site plan of the building (North up)



Figure 2: 3D View of the building (Looking South-East Elevation)

# 100 N MAIN STREET MEMPHIS, TN



Figure 3: North Elevation – Concrete Podium



Figure 4: South Elevation – Concrete Podium

#### D. MODELING & ANALYSIS ASSUMPTIONS

Computer program ETABS (Version 18.1.1) was used for this preliminary study. We made the following assumptions in our analysis model:

1. Linear Dynamic Procedure (LDP) per ASCE 41-17 was used for the analyses of the structure.
2. BSE-1E and BSE-2E response spectra were calculated from the USGS mapped values per ASCE 41-17. Please note that we would require a “site-specific” geotechnical and geo-hazards report to confirm seismic parameters and site class assumptions.
3. Site Class D was assumed for the response spectra.
4. The applicable USGS seismic parameters for BSE-1E and BSE-2E earthquakes for the lateral-force-resisting-system used are as follows:

BSE-1E		
Ss	0.182	g
S1	0.044	g
Sxs	0.291	g
Sx1	0.105	g
Fa	1.6	
Fv	2.4	
To	0.072165	sec
Ts	0.360825	sec
T <sub>L</sub>	12	sec

BSE-2E		
Ss	0.689	g
S1	0.221	g
Sxs	0.86	g
Sx1	0.476	g
Fa	1.249	
Fv	2.159	
To	0.110698	sec
Ts	0.553488	sec
T <sub>L</sub>	12	sec

5. The assumed dual lateral-force-resisting-system (LFRS) is reinforced concrete shear walls and flat-slab column moment frame – building frame system to match with the original design.
6. Existing material properties as per sheet S2 of the existing structural drawings are used in the analyses corresponded.
7. Orthogonal effects were considered.
8. Gravity columns and beams were included in the model.
9. All existing structural elements were modeled with elastic material properties.
10. We assigned rigid diaphragm property to the reinforced concrete slabs.
11. Load cases & combinations were based on Chapter-7 in ASCE 41-17.
12. Seismic mass is the combination of those generated internally by the model (self-mass) and those calculated and added to the floor elements (added mass) as uniform area or line masses. Mass of the floor slabs, walls, beams, and columns was included as self-mass while other superimposed



# 100 N MAIN STREET MEMPHIS, TN

dead loads such as ceilings, flooring/roofing, skin load, and MEP were applied as added uniform mass/load.

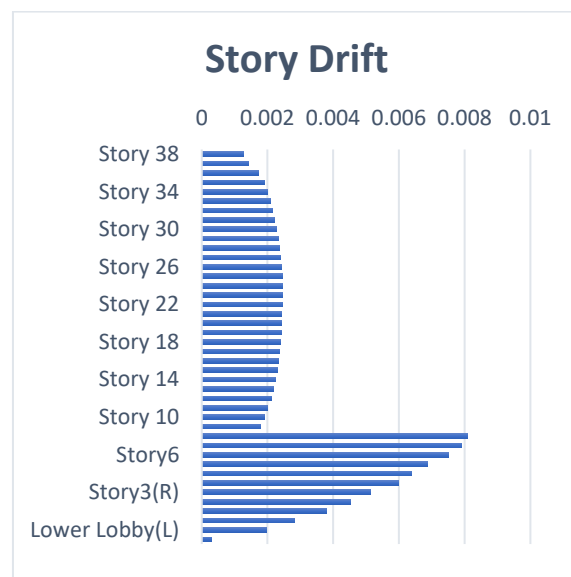
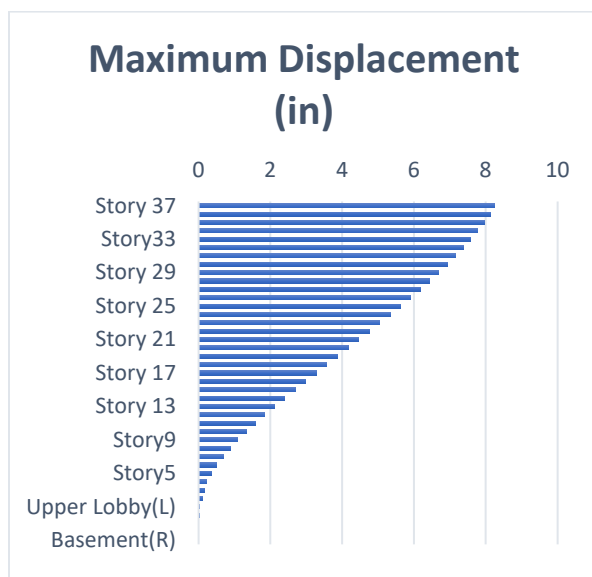
13. Effective flexural and shear stiffness due to cracking were considered by applying stiffness modifiers in the ETABS model. These modifiers were based on Chapter-10 of ASCE 41-17 for reinforced concrete (RC) elements.

## E. STRUCTURAL FINDINGS AND CONCLUSIONS:

A 3-dimensional model of 30 story tower building over 8 story concrete podium is modelled using ETABS program and analyzed using linear dynamic procedure the dual level performance criteria. Building global parameters including story drift and displacements are checked for design level earthquake (BSE-1E) and the results are as follows:

Story	Displacement (in)	Story Drift (%)
Tower- Story 38	8.23	0.17
Podium- Story 8	0.88	0.09

The maximum allowable building story drift is 2% for a Risk Category II structure. Maximum story drift of the building is 0.8% therefore, is within the allowable drift limit.



Results of our preliminary study show the following:

1. **Walls/Piers:** Selected existing walls and piers were checked at locations where forces are expected to be high for this “preliminary” study and they are appeared to be adequate in flexure and shear since their DCRs (demand capacity ratios) are less than acceptable criteria per ASCE 41-17 except at few selected wall piers would require shear strengthening. These wall/piers will require seismic retrofit using fiber-wrap (for shear strengthening). Please see attachment for identification of locations where walls/piers requiring retrofit.
2. **Spandrels:** Selected spandrels, i.e. horizontal wall segments were checked for this “preliminary” study and are appeared to be adequate in flexure and shear since their DCRs (demand capacity ratios) are less than acceptable criteria per ASCE 41-17.
3. **Floor/Roof Diaphragms:** All Floors and roof slabs were modeled as rigid diaphragms. Diaphragm shears were not checked in the current preliminary study but based on our engineering judgement, 8” thick reinforced concrete diaphragm would be adequate for the life-safety performance level at BSE-1E level of loads.  
Slab punching is checked at few selected critical locations in tower with flat slab system and is appeared to be adequate.
4. **Gravity Columns/Beams:** Selected gravity columns & beams were checked for this “preliminary” study, and few will require seismic retrofit using fiber-wrap (for shear strengthening). Please see attachment for identification of locations where columns/beams requiring retrofit.
5. **Building Story Drift:** There are inter-story drift limitations imposed by the code that would need to be satisfied per new building design code provisions. The calculated inter-story drifts for all levels are within the permissible drift limit of 2.0%.
6. **Adjacent Building/Seismic Joint:** 8-Story Garage podium is seismically separated at west perimeter of tower with 1” gap. We proposed to connect the two garages since the gap is inadequate and due to the presence of double columns along that edge, it would be impractical to increase the gap. Please see attachment for the conceptual retrofit detail for connection of the two portions.
7. **Foundations:** The foundation consists of driven 14” square prestressed concrete piles driven approximately 35’ to 45’ deep for an allowable capacity of 140 tons per general note #1 of original structural drawings. Pile caps range from 3’-6” to 6’-4” thick, with wall caps or caps for multiple piles containing top reinforcing steel in addition to bottom steel.

Foundations were modeled as rigid and were not evaluated for the current “preliminary” study. Before performing a detailed evaluation of the foundations, IMEG would require



input from a geotechnical engineer regarding allowable & ultimate soil bearing values corresponding to ASCE 41-17 level of loading. Based on our engineering judgement, foundations are appeared to be adequate for life-safety performance criteria with thick pile cap (mat foundation) supported by multiple piles.

### **ATTACHMENTS**

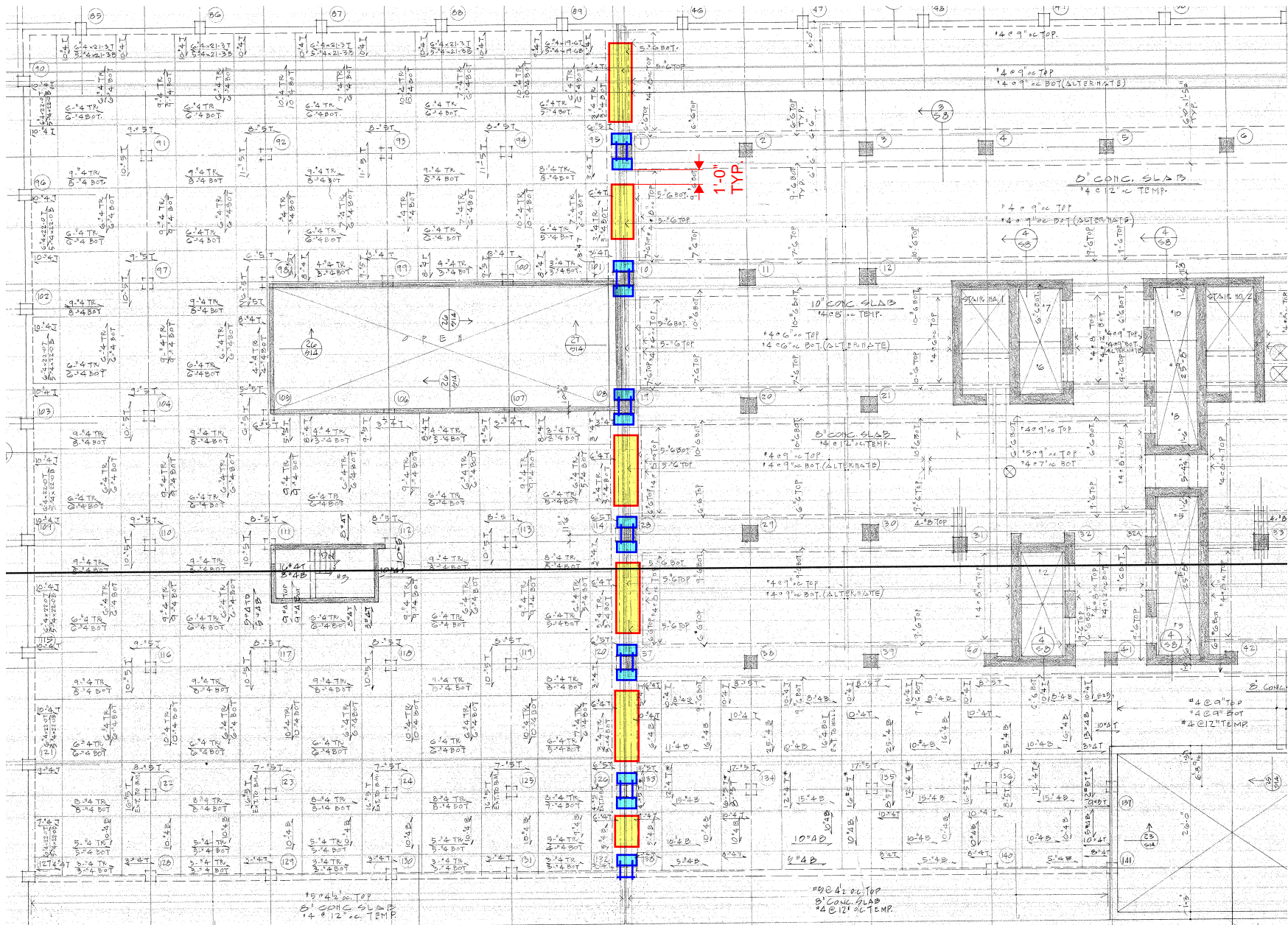
- Structural plans showing conceptual retrofit locations that would potentially be required
- Conceptual retrofit details.
- Preliminary structural calculation



**Structural Plans Showing**  
**“Conceptual” Retrofit Potentially Required**



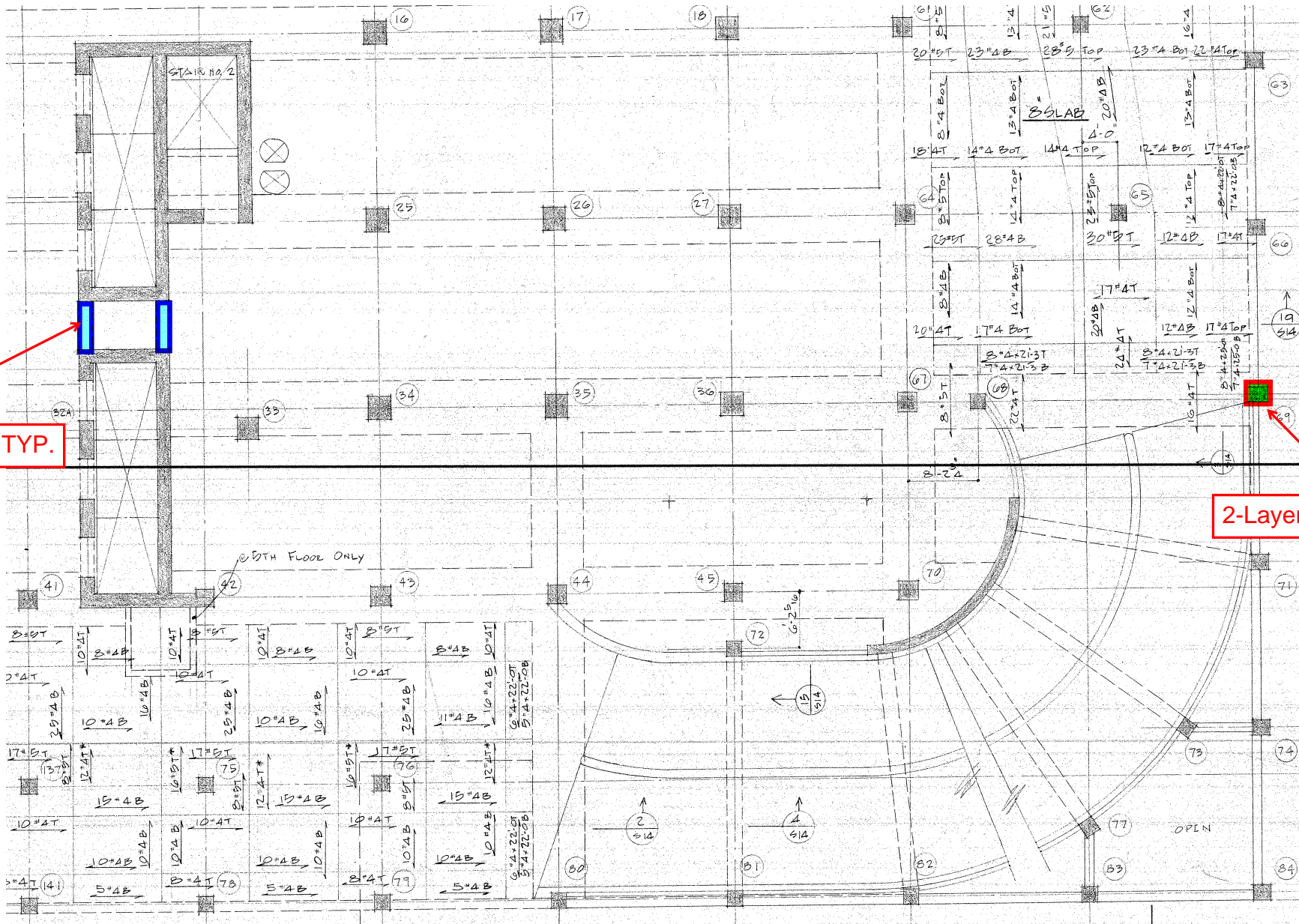




### TYPICAL PODIUM PARTIAL FLOOR PLAN

- USE RETROFIT DETAIL A, TYP. (FLOOR 8 & BELOW)
- USE RETROFIT DETAIL B, TYP. (FLOOR 8 & BELOW)





2-Layers - TYP.

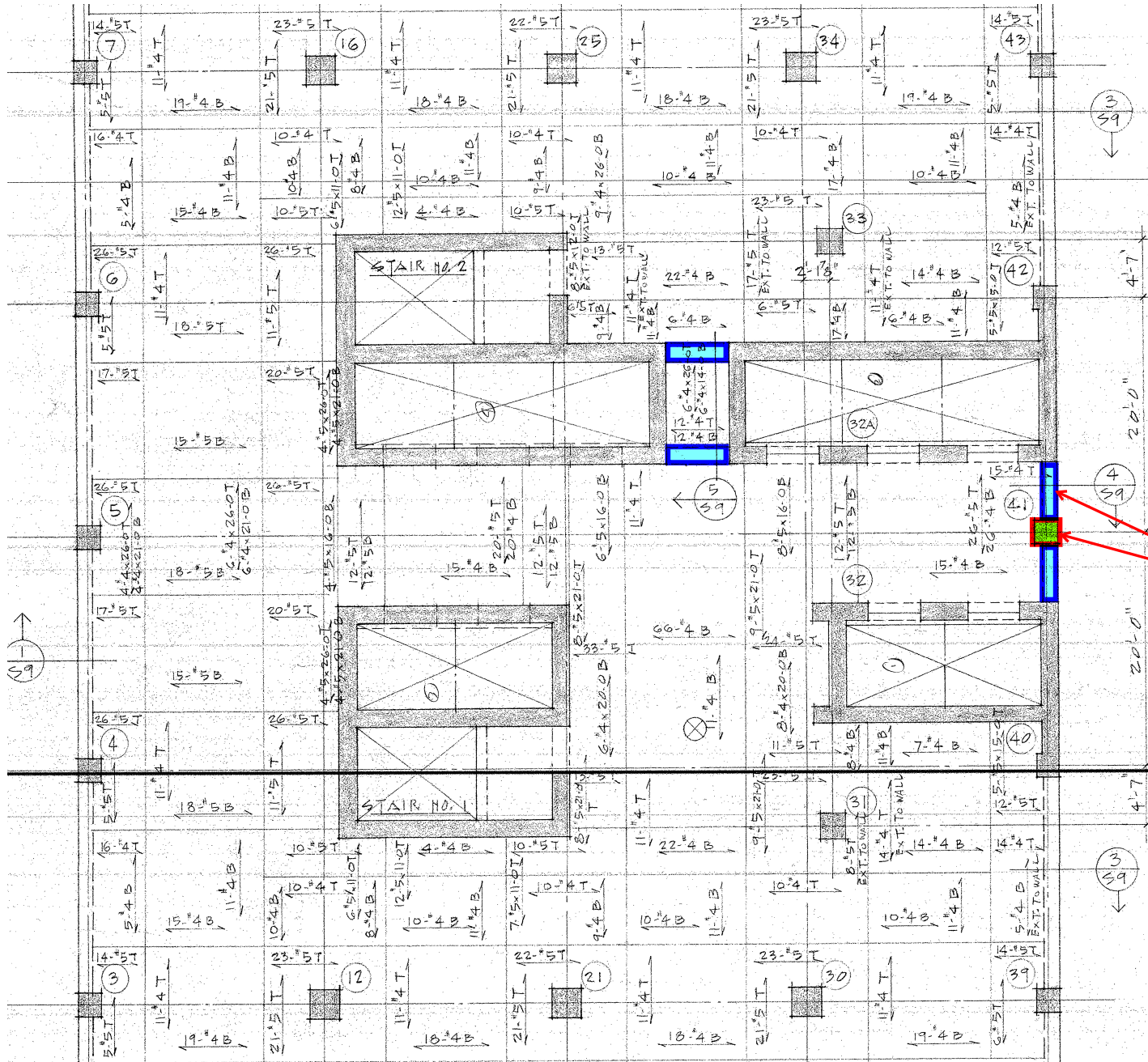
2-Layers - TYP.

**TYPICAL PODIUM PARTIAL FLOOR PLAN**





- USE COLUMN RETROFIT DETAIL C, TYP. (FLOOR 4 & ABOVE UP TO 8TH FLOOR)
- USE BEAM RETROFIT DETAIL D, TYP. (ALL FLOORS BELOW 8TH FLOOR)

# TYPICAL PARTIAL FLOOR PLAN (9TH THRU 24TH)



2-Layers - TYP.

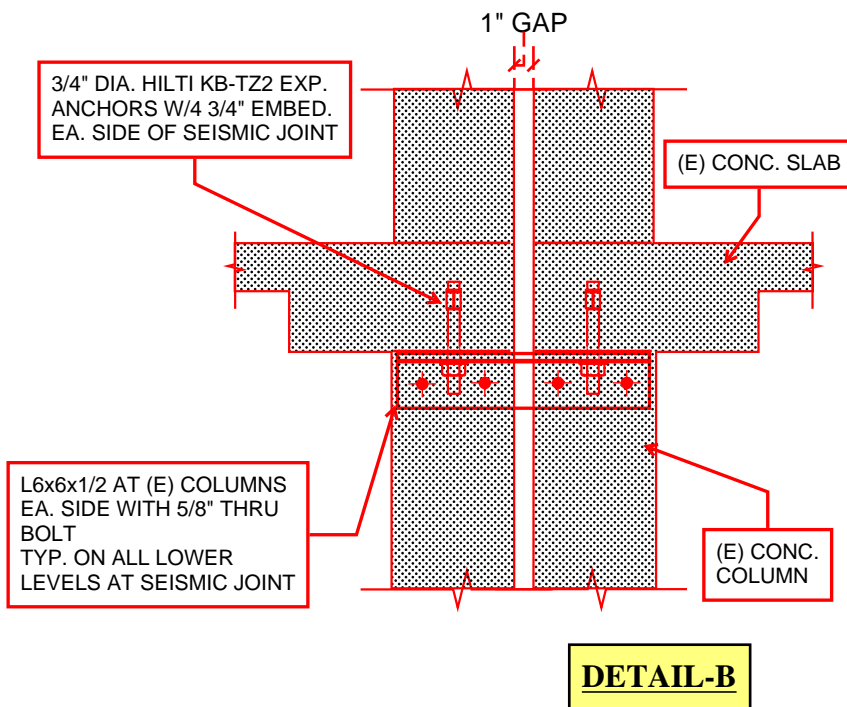
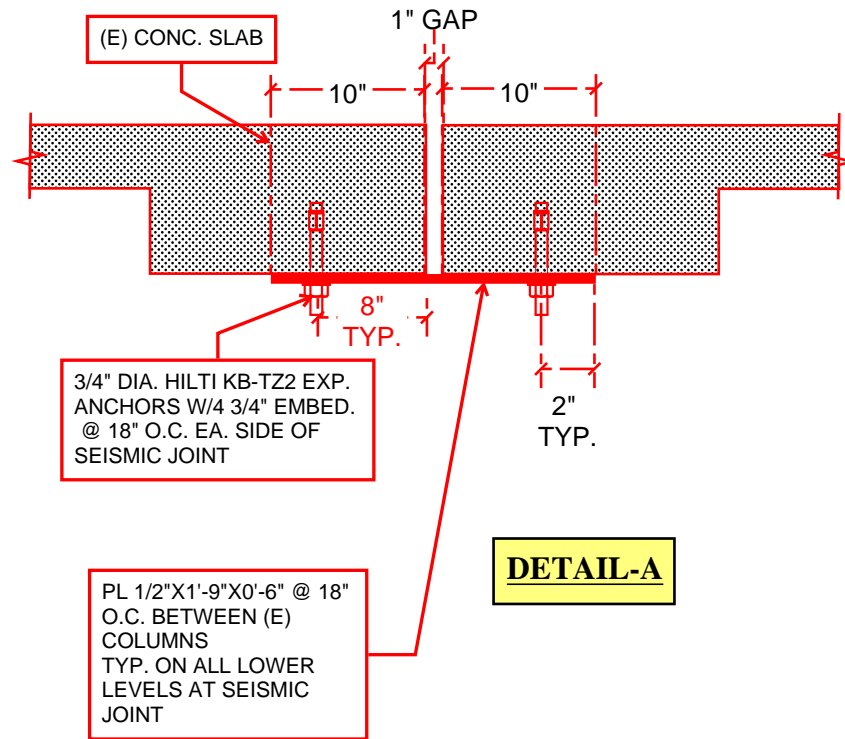
-  USE COLUMN RETROFIT DETAIL C, TYP. (FLOOR 8 & ABOVE UP TO 24TH FLOOR)
-  USE BEAM RETROFIT DETAIL D, TYP. (FLOOR 8 & ABOVE UP TO 24TH FLOOR)



## “Conceptual” Retrofit Details



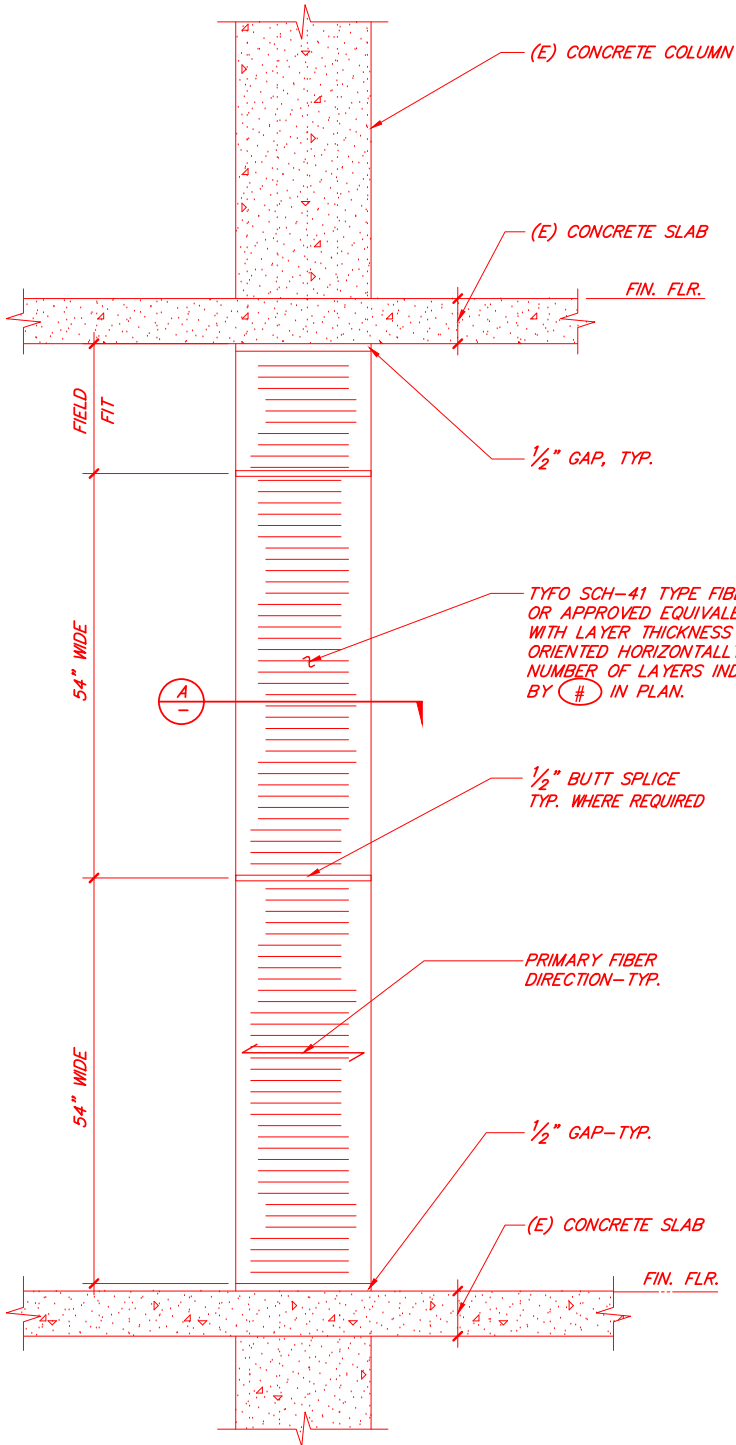
# CONNECTION AT SEISMIC JOINT RETROFIT OPTIONS



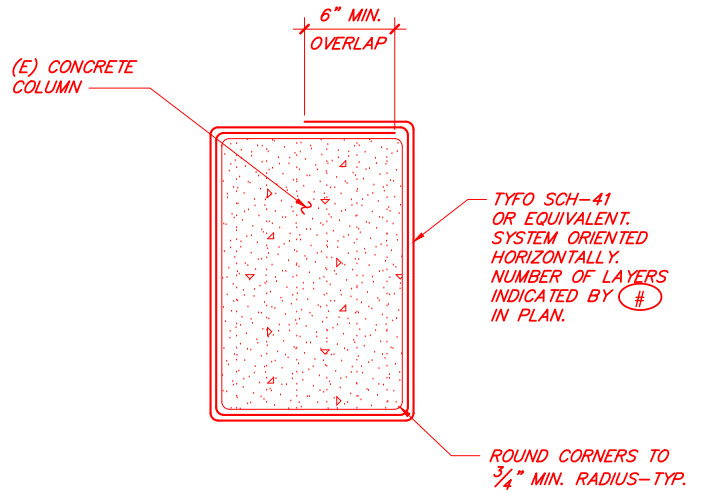
**NOTES:**

1. ALL DRILLING THROUGH EXISTING SLAB AND OTHER CONCRETE ELEMENTS SHALL BE DONE AFTER LOCATING EXISTING REINFORCING AND TENDONS. USE NON-DESTRUCTIVE METHODS PRIOR TO DRILLING HOLES.

# CONCRETE COLUMN RETROFIT OPTIONS



*B - COLUMN ELEVATION*



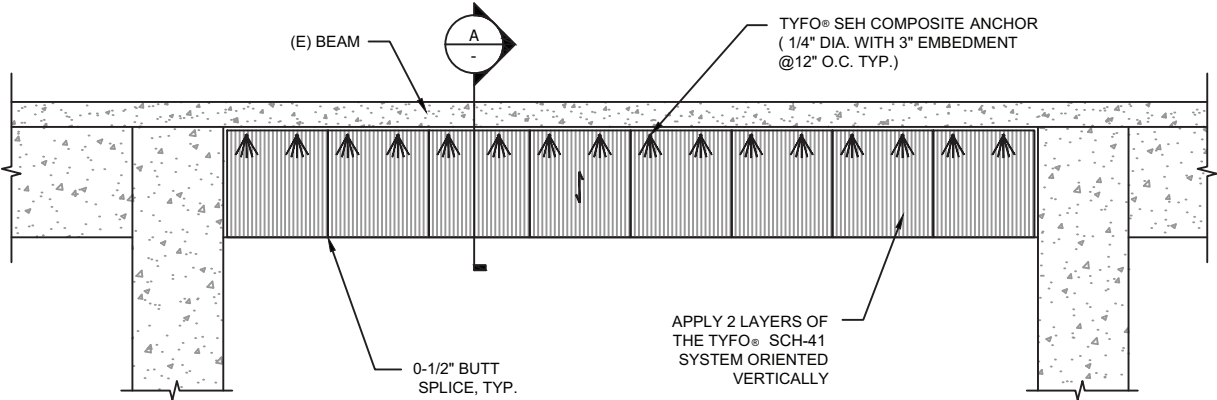
*A - SECTION*



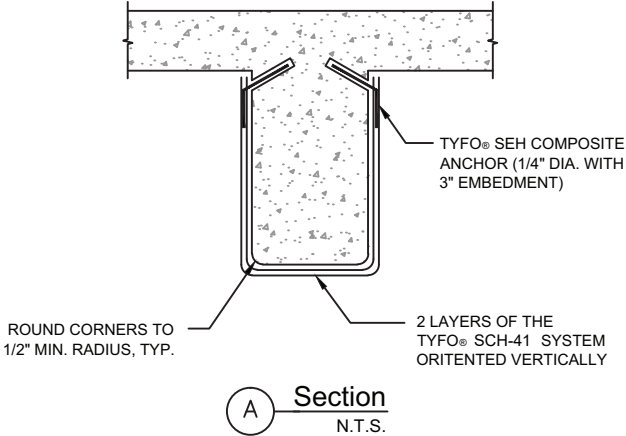
**FIBERWRAP APPLICATION ON COLUMN**

## **DETAIL-C: COLUMN STRENGTHENING USING FIBER-WRAP**

# BEAM SHEAR STRENGTHENING DETAIL

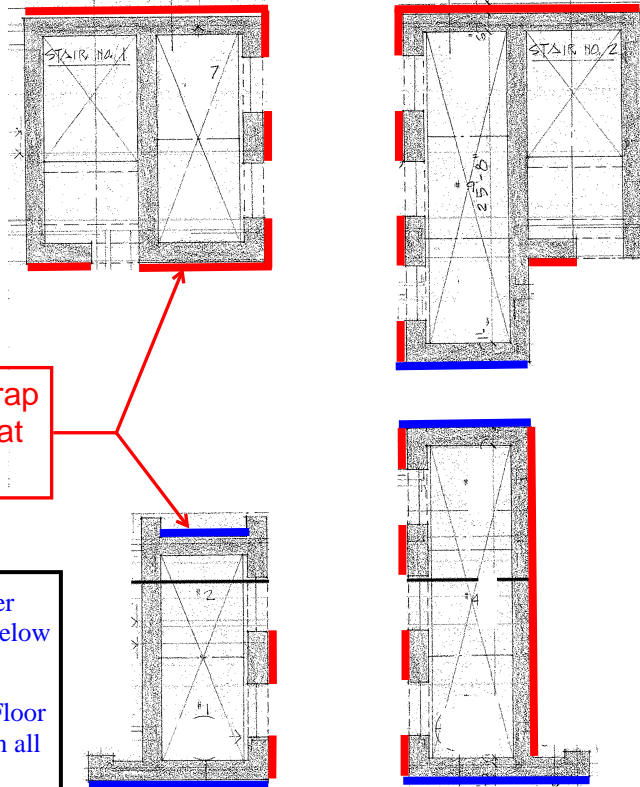


**TYPICAL BEAM ELEVATION (N.T.S)**



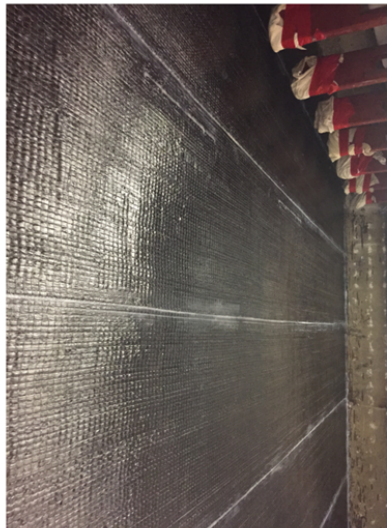
## **DETAIL-D: BEAM STRENGTHENING USING FIBER-WRAP**

# SHEAR WALL FIBER-WRAP DETAILS

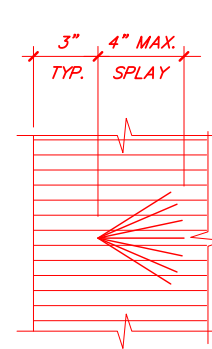


2-layers of Fiberwrap is required - TYP. at all locations

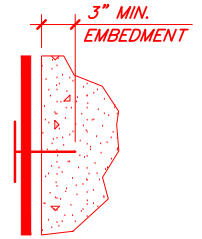
- Fiber-wrap at Upper Lobby Level and below on all levels
- Fiber-wrap at 8th Floor Level and below on all levels.



**TYPICAL FIBERWRAP APPLICATION ON CONCRETE WALL**

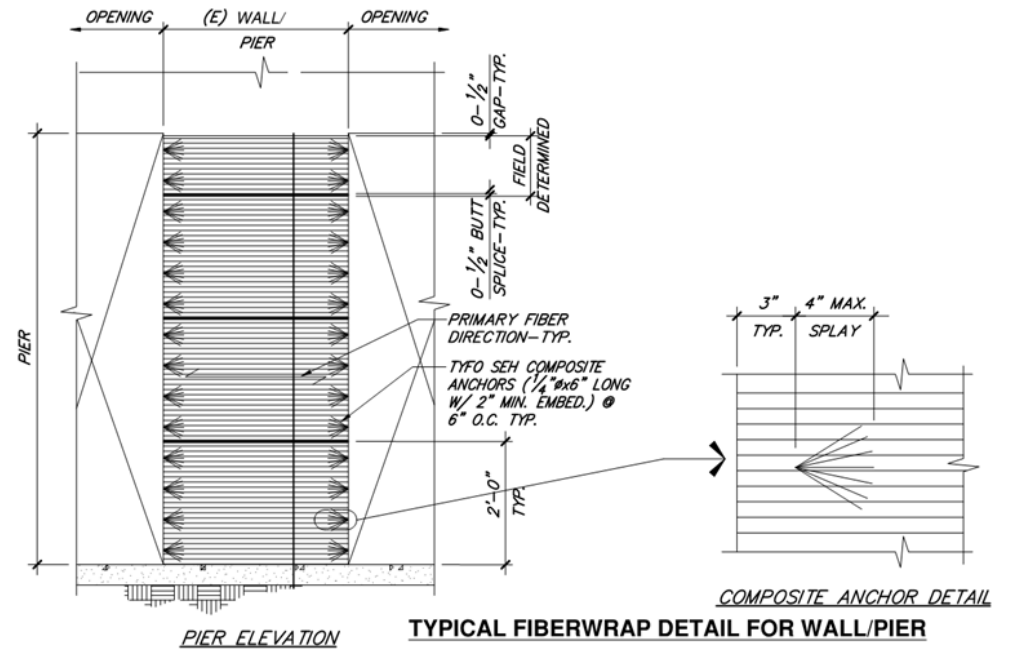


*COMPOSITE ANCHOR DETAIL*



*ANCHOR DETAIL*

Note: 1/2" dia. composite anchors @ 12" O.C. will be used at each end of the fiberwrap.



*PIER ELEVATION*

**TYPICAL FIBERWRAP DETAIL FOR WALL/PIER**

*COMPOSITE ANCHOR DETAIL*



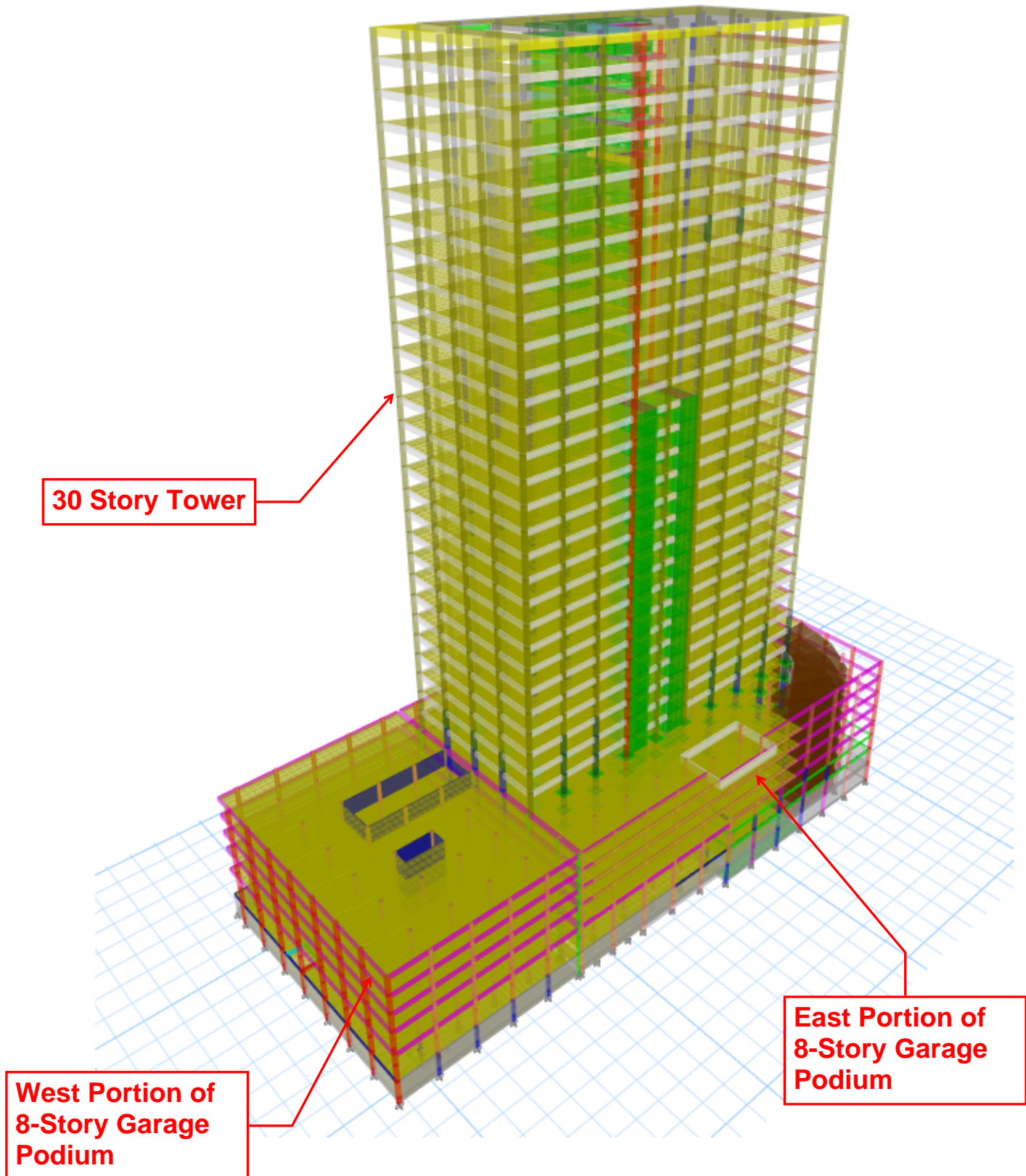
# Preliminary Structural Calculations



## ETABS 3D Model



# 100 N MAIN STREET MEMPHIS, TN



## Modal Mass Participation



## 100 N MAIN STREET MEMPHIS, TN

### Mass Participation

<u>Case</u>	<u>Mode</u>	<u>Period sec</u>	<u>UX</u>	<u>UY</u>	<u>UZ</u>	<u>SumUX</u>	<u>SumUY</u>	<u>SumUZ</u>	<u>RX</u>	<u>RY</u>	<u>RZ</u>	<u>SumRX</u>	<u>SumRY</u>	<u>SumRZ</u>
Modal	1	5.483	0.5221	0.0196	0	0.52	0.02	0	0.02	0.43	0.01	0.02	0.43	0.01
Modal	2	4.468	0.0197	0.4698	0	0.54	0.49	0	0.47	0.02	0.01	0.49	0.44	0.01
Modal	3	3.631	0.0052	0.0000	0	0.55	0.49	0	0.00	0.00	0.50	0.49	0.45	0.51
Modal	4	3.384	0.0000	0.0001	0	0.55	0.49	0	0.00	0.00	0.00	0.49	0.45	0.51
Modal	5	3.384	0.0000	0.0001	0	0.55	0.49	0	0.00	0.00	0.00	0.49	0.45	0.51
Modal	6	3.384	0.0001	0.0000	0	0.55	0.49	0	0.00	0.00	0.00	0.49	0.45	0.51
Modal	7	3.384	0.0001	0.0000	0	0.55	0.49	0	0.00	0.00	0.00	0.49	0.45	0.51
Modal	8	2.021	0.0004	0.0023	0	0.55	0.49	0	0.00	0.00	0.00	0.49	0.45	0.51
Modal	9	1.605	0.1282	0.0030	0	0.68	0.50	0	0.00	0.13	0.00	0.50	0.58	0.51
Modal	10	1.438	0.0030	0.0972	0	0.68	0.59	0	0.03	0.00	0.05	0.53	0.58	0.56
Modal	11	1.356	0.0027	0.0682	0	0.68	0.66	0	0.02	0.00	0.08	0.55	0.59	0.64
Modal	12	1.257	0.0008	0.0001	0	0.68	0.66	0	0.00	0.00	0.00	0.55	0.59	0.64
Modal	13	0.99	0.0024	0.0003	0	0.68	0.66	0	0.00	0.00	0.00	0.55	0.59	0.65
Modal	14	0.834	0.0032	0.0067	0	0.69	0.67	0	0.01	0.00	0.08	0.56	0.59	0.73
Modal	15	0.771	0.0733	0.0065	0	0.76	0.67	0	0.00	0.06	0.00	0.56	0.65	0.73
Modal	16	0.684	0.0001	0.0012	0	0.76	0.68	0	0.00	0.00	0.00	0.57	0.65	0.73
Modal	17	0.682	0.0002	0.0001	0	0.76	0.68	0	0.00	0.00	0.00	0.57	0.65	0.73
Modal	18	0.607	0.0001	0.0319	0	0.76	0.71	0	0.03	0.00	0.03	0.59	0.65	0.77
Modal	19	0.595	0.0049	0.0671	0	0.77	0.77	0	0.07	0.01	0.01	0.66	0.65	0.77
Modal	20	0.574	0.0010	0.0014	0	0.77	0.78	0	0.00	0.00	0.00	0.66	0.65	0.78
Modal	21	0.551	0.0000	0.0000	0	0.77	0.78	0	0.00	0.00	0.00	0.66	0.65	0.78
Modal	22	0.551	0.0000	0.0000	0	0.77	0.78	0	0.00	0.00	0.00	0.66	0.65	0.78



## 100 N MAIN STREET MEMPHIS, TN

## Mass Participation

Case	Mode	Period	UX	UY	UZ	SumUX	SumUY	SumUZ	RX	RY	RZ	SumRX	SumRY	SumRZ
		sec												
Modal	23	0.541	0.0000	0.0006	0	0.77	0.78	0	0.00	0.00	0.00	0.66	0.65	0.78
Modal	24	0.475	0.0291	0.0017	0	0.80	0.78	0	0.00	0.04	0.01	0.66	0.69	0.79
Modal	25	0.448	0.0000	0.0001	0	0.80	0.78	0	0.00	0.00	0.00	0.66	0.69	0.79
Modal	26	0.434	0.0189	0.0002	0	0.82	0.78	0	0.00	0.02	0.01	0.67	0.72	0.80
Modal	27	0.381	0.0001	0.0003	0	0.82	0.78	0	0.00	0.00	0.00	0.67	0.72	0.80
Modal	28	0.357	0.0002	0.0474	0	0.82	0.83	0	0.06	0.00	0.00	0.72	0.72	0.80
Modal	29	0.343	0.0060	0.0015	0	0.82	0.83	0	0.00	0.01	0.00	0.73	0.72	0.81
Modal	30	0.328	0.0044	0.0013	0	0.83	0.83	0	0.00	0.00	0.00	0.73	0.73	0.81
Modal	31	0.311	0.0014	0.0015	0	0.83	0.83	0	0.00	0.00	0.00	0.73	0.73	0.81
Modal	32	0.303	0.0183	0.0014	0	0.85	0.83	0	0.00	0.02	0.00	0.73	0.75	0.81
Modal	33	0.27	0.0000	0.0049	0	0.85	0.84	0	0.01	0.00	0.01	0.74	0.75	0.82
Modal	34	0.231	0.0003	0.0312	0	0.85	0.87	0	0.04	0.00	0.00	0.78	0.75	0.82
Modal	35	0.223	0.0117	0.0000	0	0.86	0.87	0	0.00	0.02	0.00	0.78	0.77	0.82
Modal	36	0.198	0.0061	0.0019	0	0.86	0.87	0	0.00	0.01	0.00	0.78	0.78	0.82
Modal	37	0.16	0.0045	0.0147	0	0.87	0.88	0	0.02	0.01	0.00	0.80	0.78	0.82
Modal	38	0.148	0.0101	0.0070	0	0.88	0.89	0	0.01	0.01	0.00	0.81	0.80	0.82
Modal	39	0.105	0.0111	0.0147	0	0.89	0.91	0	0.02	0.02	0.00	0.84	0.81	0.82
Modal	40	0.099	0.0127	0.0109	0	0.90	0.92	0	0.02	0.02	0.00	0.85	0.83	0.82
Modal	41	0.049	0.0134	0.0336	0	0.92	0.95	0	0.06	0.02	0.01	0.91	0.85	0.83
Modal	42	0.043	0.0426	0.0101	0	0.96	0.96	0	0.02	0.07	0.00	0.93	0.92	0.83



## Base Shear-BSE-1E & BSE-2E



## 100 N MAIN STREET MEMPHIS, TN

Base shear											
<u>Output Case</u>	<u>Case Type</u>	<u>Step Type</u>	<u>FX</u>	<u>FY</u>	<u>FZ</u>	<u>MX</u>	<u>MY</u>	<u>MZ</u>	<u>X</u>	<u>Y</u>	<u>Z</u>
			<u>kip</u>	<u>kip</u>	<u>kip</u>	<u>kip-in</u>	<u>kip-in</u>	<u>kip-in</u>	<u>in</u>	<u>in</u>	<u>in</u>
EX_BSE1E	LinRespSpec	Max	3916.79	1923.7	0	1099950	3871218	6035243	0	0	-12
EY_BSE1E	LinRespSpec	Max	1868.62	4527.18	0	4741247	1066866	9668019	0	0	-12
EX_BSE2E	LinRespSpec	Max	12393.24	5390.71	0	4903732	17290317	17911812	0	0	-12
EY_BSE2E	LinRespSpec	Max	5316.99	14830.88	0	21009760	4729190	30970737	0	0	-12







# 100 NORTH MAIN



GT GARDINER & THEOBALD

IMEG

ALLWORLD  
Project Management, LLC

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## 100 N Main RFP Disclaimer

This confidential RFP Response and Appendix have been prepared by 18 Main LLC ("18 Main") as a response to the 100 North Main – Request for Proposal that was issued by the DMC on June 15, 2021.

The contents of this RFP response and Appendix are strictly confidential and are intended to provide the DMC, DMA and other relevant parties within the City of Memphis with the opportunity to determine their interest in 18 Main's proposed development at 100 N Main and may not be used or reproduced or published in any other way.

This RFP Response does not constitute an offer to sell or a solicitation of an offer to buy any securities and may not be used or relied upon in connection with any such offer or sale of securities.

The information set forth herein (the "Information") does not purport to be complete, is subject to change and is not guaranteed as to completeness or accuracy. No representations or warranties, express or implied, are made with respect to the accuracy or completeness of the Information. Should you be interested in further information and 18 Main so elects, you will have the opportunity to access additional information and have the ability to conduct additional due diligence regarding the Opportunity.

Certain statements contained in this presentation are forward-looking statements. These forward-looking statements are based on current expectations, estimates and projections about the market in which the properties are located, and the beliefs and assumptions of 18 Main. Words such as "expects", "anticipates", "should", "intends", "plans", "believes", "seeks", "estimates", "forecasts", "projects", variations of such words and similar expressions are intended to identify such forward-looking statements. These statements are not guarantees of future performance and involve certain risks, uncertainties and assumptions which are difficult to predict. Therefore, actual outcomes and results may differ materially from what is expressed or forecasted in such forward-looking statements.

Among the factors that could cause actual results to differ materially are the general economic climate, inflationary trends, competition and the supply of and demand for property, interest rate levels, the availability of financing, potential environmental liability, changes in tax and corporate regulations and other risks associated with the ownership and acquisition of property, including risks in occupancy, changes in the legal or regulatory environment or that operation costs may be greater than anticipated.

This RFP Response and Appendix are strictly confidential and intended solely for your own limited use and consideration within the RFP process and under no circumstance be published without prior written consent by 18 Main LLC. By acknowledgment of your receipt of this summary, you agree that the summary and its contents are confidential, that you will hold and treat it in the strictest of confidence, that you will not, directly or indirectly, disclose or permit anyone else to disclose this RFP Response and Appendix or its contents to any other person, firm or entity without prior written authorization of 18 Main, and that you will not use or permit to be used this RFP Response and Appendix or their contents in any fashion or manner detrimental to the interest of 18 Main.

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August 31, 2021

Downtown Memphis Commission (DMC)  
Downtown Mobility Authority (DMA)  
City of Memphis  
Attention: Ms. Christine Taylor  
taylor@downtownmemphis.com

Dear Members of the DMC,

Marvel does not do it justice. One-Hundred-North-Main has the possibility to establish the inflection point in the ongoing transformation of Downtown and the City of Memphis at large. It is a building that singlehandedly can dictate where the City is to go.

We have all seen how in the past few years Memphis has gained tremendous momentum. It is certainly now moving in the right direction and more importantly delivering not only promise, but tangible results. We see this through cranes in the sky, completion of projects, and finally, finally, stabilization of apartment product at rents supporting a higher caliber of development as exemplified by One Beale.

These are all fantastic in their own right, and integral to the progression of the City. The announcements of new employment Downtown from Fedex Logistics to St. Jude, and beyond are arguably even more impactful, as we expect to see come to fruition in the coming years.

The announcement, and actual completion of the Renasant Convention Center, shows a City which literally 'puts its money where its mouth is'.

Nonetheless, it must be asked, is this enough? Is it enough not just to change the trajectory of Memphis, but as we all truly strive for, put Memphis in a position as a leading city of America if not the world?

One-Hundred-North-Main is a building both Shay, and myself have been infatuated with from day-one. We have followed its progression, or unfortunately lack thereof, in the preceding years. We have followed the various ideas being contemplated for its development, as well as explored our thoughts for its future. It is actually the building which attracted me to Downtown in the first place and reignited my interest due to activity at the property in late 2017. Such led to our subsequent acquisitions Downtown beginning in 2018.

One-Hundred-North-Main may become a beacon of hope for the City, and a spectacle on an international scale for historic preservation. In the same breath, it may become a glimmer of the past, and be demolished to make room for an uninspiring, low or mid-rise project. It must be asked, is this what we wish to see in this City? Is this in-line with the vision presented by the various stakeholders as publicly discussed and best outlined in Memphis 3.0, "build up, not out"? Will demolishing the tallest building in the City to make room for something much smaller in stature, and poorer in character prove we are truly ready to move in the direction of Memphis 3.0, and the future of the City at large?

However way you cut it, One-Hundred-North-Main not be a greatly profitable project. It is however very symbolic. So long as such is economically feasible, we should tirelessly strive to preserve it. I cannot emphasize enough the importance of what it symbolizes as displaying to the City, stakeholders, and outsiders as to the character of the City. It further emphasizes our communal ability to take calculated risk. Playing it 'safe' will not allow us as a City and as a community to leapfrog.



If demolished, aside from the loss it presents, it may be viewed simply as a two-acre parcel costing in excess of \$20m. It is still possible to acquire land in core parts of Downtown for far less than \$10m per acre, as such, simply on a market analysis, it is an unattractive development site.

Prior to discussing our plan for the building, let us address the elephant in the room. The status of our current projects Downtown. We too have been forced to enjoy the ramifications COVID has brought on. Nonetheless, at this stage, can comfortably say we view them predominantly as delays, and as such have not delineated from of our development plans.

- 18 South Main Street:** Dream Hotels Group has been signed on to occupy the entirety of the ground floor and lower level, creating distinct F&B venues which will cater the needs of Downtown, and fall in line with our commitment of creating pedestrian traffic. We are now completing design in order to initiate buildout and are scheduled for occupancy Q2 2022. Actual MWBE spend to date >29%.
- 107 South Main Street:** As of August 2021, we have completed design and pulled permits. Construction is being mobilized for commencement in September and occupancy is scheduled for Q4 2022. Projected MWBE spend >35%.
- 122 South Main Street:** During COVID, we have prioritized our residential projects over hospitality. With those now beginning construction, we are to resume pre-development Q4 2021 and break ground Q4 2022.
- 311 South Main Street:** This is a standalone 30,000 sqft building to be converted to a hospitality/F&B venue. It is prioritized in tandem with the Dream Hotel and expected to be completed Q4 2022.
- 372 South Main Street:** Design and leasing was completed during COVID. The project was delivered April 2021, and as of August tenants have taken occupancy thus stabilizing the project. Actual MWBE spend >38%.
- 386 South Main Street:** 32-unit multifamily project and arguably the first mid-block development done in the City. We have completed design and are awaiting permits. Upon receipt of permits, construction will commence which is anticipated September 2021 with occupancy September 2022.
- 390 South Main Street:** We have chosen to separate the development of 386 and create our office space at 390 which we intend to move into by Q1 2022.
- 324 South Front Street:** 164-unit multifamily project. We have completed design and are awaiting permits. Upon receipt of permits, construction will commence which is anticipated September 2021 with occupancy January 2023.
- The Pinch District:** To our knowledge, all approvals have been granted. We are awaiting to execute the Development Agreement with the City. We remain committed to the terms agreed upon in 2019 and are at the ready to begin once the Development Agreement is executed. Upon signing of the Development Agreement, we anticipate 12-18 months of pre-development from which time the first phase shall be delivered 24 months thereafter. We cannot provide an accurate timeline as have been waiting to execute the development agreement for in excess of one year.



In addition to the above project detail, we have chosen to open a development office in Memphis which we have begun recruiting for. Such is to be fully operational Q1 2022. The local operation will oversee the ongoing construction at 107, 311, 386, and 324. It will additionally oversee the predevelopment of the Dream Hotel (122) and the Pinch District. Lastly, it will be responsible for all commercial leasing.

Separate from our in-house team, we have engaged on existing projects various teams including owner's representation, and project management as outlined in the organizational chart within the RFP package.

Both the local in-house team and the outside owner's representation and project management will contain the bandwidth for additional projects such as 100 North Main. Further, we intend for development outside of Memphis to be handled by our Memphis office.

Not to delineate any steam and return to our subject:

We have reviewed varied plans both those attempted and discussed in the past, as well as iterations of such of our own. The complexity of the building is vast. When exploring preservation, one must consider items including but not limited to; the great cost to complete, parking requirements relevant to usage in and around the building, possibility for absorption based on usage, vast floorplates which may be attractive for office usage however are highly inefficient for residential, and ceiling heights which may be adequate for residential but based on today's standards, not sufficient for class-A office. Such is frankly the tip of the iceberg.

We vetted options including multifamily, condo, office, retail, hotel, and varied combinations of such as previously explored by other developers.

When taking all into account and further exploring the needs of the City, it hit us that there is only one way to preserve the building while creating a development which adequately meets the needs of the community. It must be converted to affordable housing.

To address the above concerns and explore solutions presented by affordable housing:

Firstly, cost: with a combination of preservation and affordable housing, we are able to greatly reduce the cost to develop the property using both Historic Tax Credits as well as Low Income Housing Tax Credits. Moreover, the development of such housing is heavily supported by bodies such as HUD and thus enables for reduced cost of capital and better terms of financing when compared to per se commercial, or hospitality usage.

Secondly, parking: the parking requirements for affordable housing will be less than those required by office usage or likely market rate housing. Market rate housing would likely entail smaller unit sizes and thus require a higher ratio of parking per square foot. We were able to design the project to incorporate 838 parking spaces, on a total unit count of 542. While not all parking may be used for residential, it certainly enables parking at a greater ratio than we have seen at any development Downtown. Additionally, with many developments lacking on-site parking, and the City's funding sources for garage grants being greatly reduced, it makes the project all the more important for Downtown in itself to create more parking. We do not see many other opportunities to bring such significant levels of new parking to the core of Downtown.



Thirdly, absorption: as per The State of Memphis Housing 2020 report, it is determined there is a need for at least another 30,000 affordable units (at 60% AMI or lower) within the City of Memphis. We are concerned about being able to absorb such a high number of market rate apartments in one site. We are equally concerned about the ability to absorb another large scale hotel with the expectation of the Loews to be built down the block. We are perhaps even more concerned about the ability to absorb a smaller high-end hotel with the coming online of hotels such as the Dream and Grant Hyatt. And, we are most concerned of the ability to absorb office space, as the building will not pose for the most desirable product, in a market where office leasing remains an uphill battle. Such is further compounded by the addition of new office space at the Pinch, The Walk, and vacancy such as that seen at Raymond James. Moreover, and arguably most importantly, the words *inclusion*, and *gentrification* have been thrown around liberally. Gentrification may sound nice to investors, but inherently implies the moving out of certain communities, further dividing the City based on economic class. Inclusion is vastly important but locally predominantly discussed in reference to the trades being employed at these development sites. Through the building of affordable housing, we are able to solidify a base in the heart of the Downtown Renaissance which creates true inclusion, enabling a diverse demographic to live in prime real estate, and influence the culture and spirit of what we see happening Downtown for many years to come.

This alone shall be a feat for other cities to learn from, if not aspire to.

In summation, we are very excited by this opportunity, and remain no less excited regarding our existing projects Downtown. We have further outlined our proposal, along with supporting documents in the attached RFP package. We remain steadfast in our commitment to the City of Memphis, and anxiously await to see as it reap the rewards made possible through years of dedication by countless individuals from within.

Sincerely,

Tom Intrator  
Founder and Managing Partner  
18 Main



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## Table of Contents

	Cover Letter
01	Project Goals
04	Commitment to Diversity, Outreach & Inclusion
05	Project Feasibility
05	Development Team
14	Relevant Experience
21	Development Concept
28	Public Parking & Diverse Mobility
29	Project Timeline
30	Financial Benefits to the City of Memphis
31	Financials



# Project Goals

At the core of our proposal is the belief that a diverse and vibrant community can be realized at 100 North Main and this community can act as a catalyst for economic development throughout downtown Memphis. As a path toward realizing this belief, we have outlined our approach to achieve and exceed the 8 project goals identified in the RFP. Our proposed development will feature:

- 542 affordable housing units, offered in a broad range of unit types to support a diversity of user/family needs. Residential units will be housed within the adaptive reuse of the historic tower, as well as within a newly constructed 7-story building wrapping a new public parking structure at the SE corner of the site.
- An amenity rich roof deck will unite the two buildings .
- 120,000 sf of new commercial uses; including ground floor retail, cafe, bar, music venue, grocery store, plaza dining, as well as club, event space, restaurant and potential city offices at the upper levels of the tower.
- Existing Parking will be renovated and additional parking will be provided within the newly constructed 7-story building for a total of 838 stalls. Diverse array of urban transportation alternatives will also be provided.
- Vibrant public plaza filled with dining, retail and a music venue will serve as an extension of Main Street and increase pedestrian engagement.



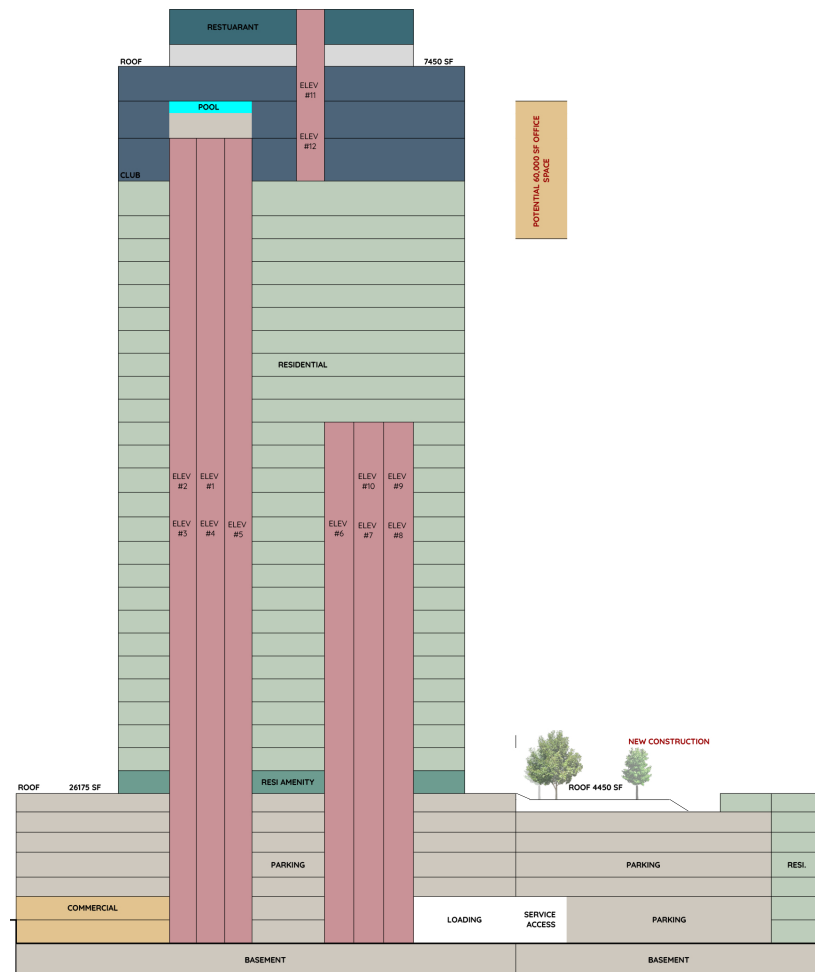
## 1. Fits Downtown & Promotes Design Excellence

Our proposed development considers context first and has conceived each building element with the intent to enhance the overall whole of the site as well as the neighborhood. We've considered the needs of the community and neighborhood and provided a high quality solution to meet those needs as exposed in our Development Concept below.

## 2. Increases Density, Grows Tax Base & Financial Benefits to the City of Memphis

The introduction of new housing units, both within the existing tower as well as newly constructed units wrapping the proposed parking structure will densify the underutilized real estate parcel. By combining this new density in tandem with open space amenities, we aim to achieve 'appropriate densification' for the site. Understanding that the project must provide for the fundamental human need for exposure to natural elements, we believe this combination provides a human centered solution. In addition, the new housing units facing the street help to engage the neighborhood and bring a classic sensibility to the character of this block.

The project will introduce hundreds of new residents to this portion of Memphis. These residents will be provided with community serving amenities such as a grocery store, retail, restaurants and additional public parking. These amenities will support not only the new residents, but the entire area as a whole with new residents, new people to work, shop, dine, and play in Downtown. This will assist the rebirth of the neighborhood and in turn the property values and incremental tax revenues of the City.



### 3. Pedestrian Experience, Enhanced Public Realm & Increased Mobility

Our proposed development includes the partial reuse and refurbishment of the existing masonry buildings along Main Street. By incorporating these existing structures and adding new storefronts, we're able to not only respect the history of these buildings, but also maintain the character and scale of this portion of Main Street.

As an additional means towards strengthening the pedestrian network along Main Street, we're proposing multiple opportunities for a porous edge (to provide visual and physical access) to the neighborhood. A well programmed plaza (just the right size to feel engaging and vibrant) will invite pedestrians into the site and beyond with vibrant music, shopping, drinking and dining.

#### 3 Mini Communities in 1

We've woven 3 distinct use clusters into the project; housing, the club / lounge / public event spaces / public restaurant, and the plaza / commercial spaces - all distinct with separate circulation, parking, and their own identity. Each of these mini communities supports the other and each supports a variety of mobility options. Each mini community has gathering spaces, beautiful lush and shaded outdoor spaces and a sense of "place". As a potential alternative, 60,000 sq ft of office space may be made available to the City of Memphis and may be accommodated on the 32-35th floors



### 4. Commitment to Diversity & Inclusion

Without housing equity, any city will struggle to reach its full potential. According to the 2020 'The State of Memphis Housing' report, the City of Memphis must provide nearly 30,000 more affordable units to meet the city's needs. A significant portion of the affordable units recently lost in the City of Memphis have been lost within the downtown core. Unfortunately, housing instability is concentrated racially and ethnically.

According to the Memphis Housing Report - "In recent years, Memphians and our city leaders have become more aware of the problems associated with sprawl and its contribution to neighborhood decline and increased poverty. This heightened awareness was the driving force behind the award winning Memphis 3.0 plan approved in 2019, which seeks to guide how the city grows into our third century. Its primary vision for Memphis is to "build up, not out." While the legacy of sprawl and reduced density has exacerbated the racial segregation and economic disparity that are now obvious problems for neighborhood preservation, a trend toward density will hold down the costs and increase the access to public services on one hand while, on the other, contributing to healthier, safer environments for residents."

Our proposal will replace approximately 550 of those lost affordable units, however, we know that unit count isn't enough. Through a simple focus on detail, shade, privacy, socialization, visual and physical connection, we aim to provide high quality affordable housing, within a community that exemplifies design excellence.



## 5. Vibrancy & Memphis as Destination

Our vision is to breathe new life into the tallest building in Memphis. We plan to provide a fresh new identity, and reestablish the building as a proud contributor to the Memphis skyline. As adaptive reuse specialists, our team understands the role existing and historic buildings play in strengthening communities. Studies conducted by the National Trust for Historic preservation have revealed that neighborhoods that contain a combination of old and new structures consistently outperform their peers - economically, socially and environmentally.

The project will establish the site as a destination known throughout the city, for the music venue on the ground floor at the plaza and the club and restaurant up high in the tower. In addition, the project will house the first large scale grocery store / Big box retail store such as Target in Downtown Memphis. A place to stop on the trolley as a tourist, a place for local business people to come for lunch or a drink after work, all within the context of a robust workforce housing community. A mixed-use project that adds around-the-clock vibrancy to the neighborhood and contributes to the rich culture of Memphis.



## 6. Adaptive Reuse & New Infill

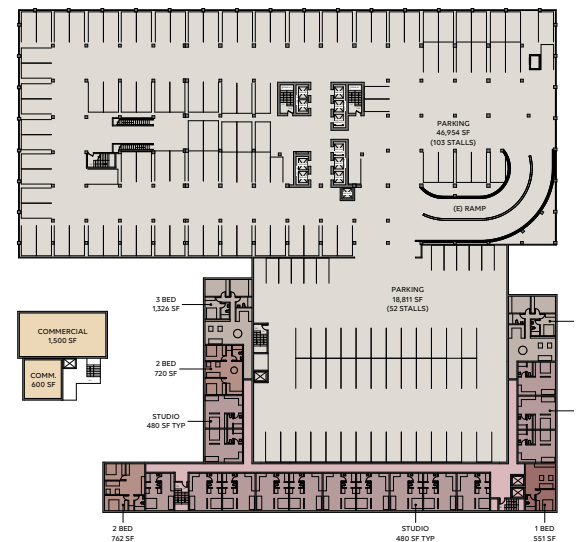
The project will retain and reuse all existing buildings on the property. New uses will be established to meet the 21st century needs of Memphis. The existing tower will receive upgrades sensitive to the historic designation of the property and aligned with the National Park Service guidelines. Only a portion of the 4 existing buildings situated on Main Street will be partially demolished to accommodate a new plaza. This partial demolition will help alter the existing building footprints and extreme building depth to provide building depths in line with typical commercial needs and small scale commercial operations.



100 N. Main Building Plan- Memphis Press Scimitar November 11, 1962

## 7. Downtown Public Parking as an Amenity & Diverse Mobility

We fully comprehend the importance of public parking and diverse mobility options in a dense urban environment. As such, our development will feature a complete renovation of the 490 existing Parking stalls in tandem with the addition of 348 new parking stalls within the newly constructed 7-story building for a total of 838 stalls. Diverse array of urban mobility options will also be provided in the form of bicycle sharing stations, electric scooter parking and chargers, dedicated ride share curbside drop-off locations at all primary building entries as well as easy access to the Main St trolley line.



## 8. Use of Available Development Incentives for Public Benefit

Our development will utilize local (HEHFB PILOT, Accelerate Memphis Fund) as well as federal (20% HTC, LIHTC) incentives. These incentives will be utilized as efficiently as possible, while maximizing the public benefit and minimizing public costs. This will be achieved by offering a quality affordable housing solutions for hundreds of Memphians along a wide array of retail, commercial, gathering spaces, public parking, increased mobility, and other services to local residents as well as to visitors from out of town. In turn, the increased density created by the development will benefit the tax revenue of the city, increase the surrounding property values, attract locals and tourist to the neighborhood, help local businesses and create new jobs

# Commitment to Diversity, Outreach & Inclusion

The 18 Main Team is energized and committed to making the 100 North Main Project a success on multiple levels. We realize the importance this project will have as a cornerstone of the revitalization of Downtown Memphis. Equally important is the desire for this development to meet and exceed expectations for Diversity and Inclusion not just in the development phase but in how the project helps making living in Downtown Memphis a reality for everyone regardless of race, creed, color, or religion.

The award-winning Memphis 3.0 Plan clearly recognized the importance of affordable housing in dense city centers “The vision of **Build Up, Not Out** is achieved through targeting resources in and around Community and Citywide Anchors. Achieving this vision calls for focusing resources in the core and neighborhood centers through activities that nurture, accelerate, or sustain development and community character. **A key part of this approach is ensuring housing remains affordable, residents are not displaced, and communities are not disrupted as a by-product of growth.** The goal of Prosperous and Affordable Communities seeks to establish the guidance to help fulfill the plan’s vision in a manner that promotes affordable and healthy housing in an equitable way.”

Our strategy for meeting and exceeding diversity and inclusion goals in all aspects of the 100 North Main development is to organize around principles of establishing metrics for our performance. The 18 Main Team has assembled best-in-class local and national professional development team members and will continue to expand the team, so that together we could bring about lasting change. We will ensure that all of our partner firms engage and hire local talent particularly when it comes to construction and the various trades, in a fashion that meets or exceeds the City of Memphis MWBE requirements. We believe in establishing outreach to community groups dedicated to serving minority businesses and individuals and establishing hiring practices from the onset of our work. In fact, many of our consultant team members included in this proposal response are already a part of shifting the balance of power. Design Architect Omgivning is a woman-led organization and is recognized and certified in Los Angeles County as a WBE. Allworld Project Management, who will serve as the development’s project manager, as well as the responsible party for our diversity, outreach and inclusion is also a local MWBE owned business in Memphis.

We see value in creating equity by establishing a goal for building affordable housing units at 100 North Main. As a team, we are familiar with the State of Memphis Housing 2020 report and the lack of affordable housing for the community. This is why our design response includes affordable housing as part of our development not just because it “pencils out in the proforma” but because it is the right step to take for Memphis.

**The development team’s executive responsible for our diversity, outreach, and inclusion is Michael A. Hooks Jr., Executive Project Manager at AllWorld Project Management, who can be reached at +901-481-0357 or via email at mahjr@allworldmail.com**

The 18 Main development team is dedicated to bringing about positive change and is empowered to execute on a development plan that is focused on what is best for Memphis. 18 Main’s commitment to Diversity and inclusion can be further exemplified by our recent projects in Memphis such as 18 S Main St., 372 S Main St and 107 S Main St. which far exceeded the city’s MWBE requirements (over 29% MWBE participation in 18 S Main, over 38% in 372 S Main and an expected 35%+ in 107 S Main).



# Project Feasibility

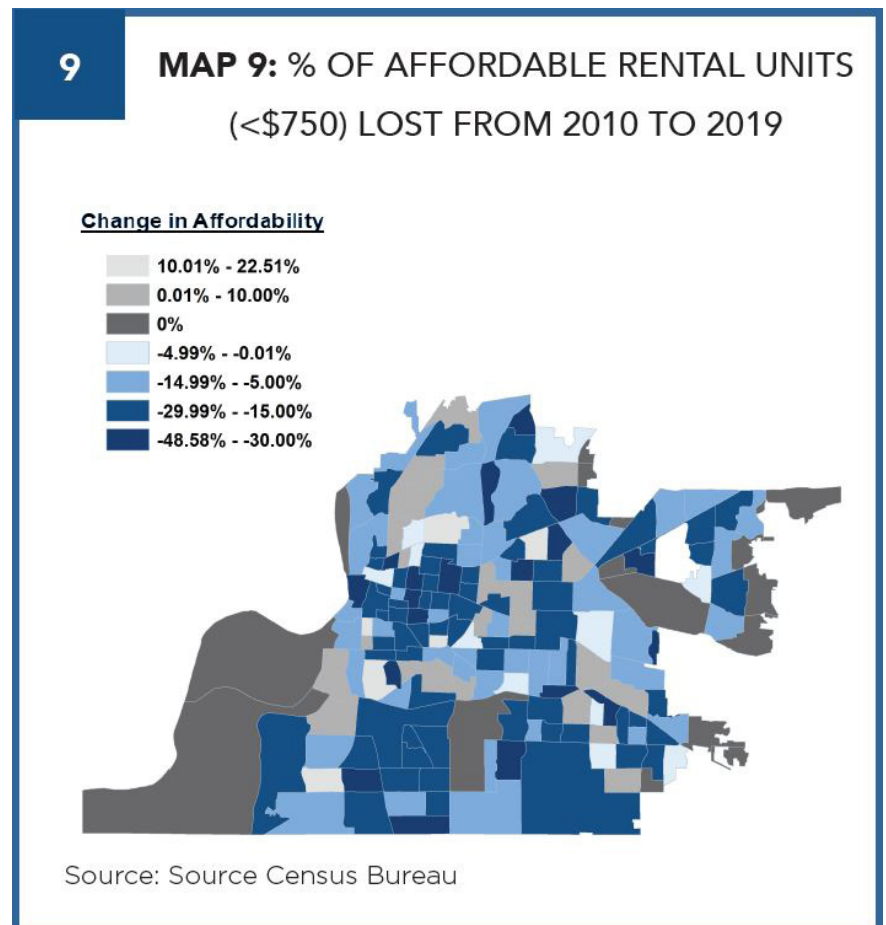
As Thomas Edison said, "Vision without execution is hallucination." It is good to have vision. It is fine to know your why. But if you cannot execute it, then it has no value whatsoever.

At 18 Main, we truly believe that in order to successfully execute a project, one needs both a solid vision as well as robust execution. For our proposed development at 100 N Main, the Why is crystal clear. Memphis has a serious affordable housing crisis. This crisis is likely to be exacerbated during the COVID Era and is another side effect of the Memphis post-recession housing boom. Downtown Memphis is one of the areas which have suffered the highest drop in affordability over the last decade with a drop of over 40% in the affordable units inventory. As such, it was no surprise when our recent market research indicated that quality affordable residential units in the downtown Memphis area have long waitlists and are at close to 100% occupancy.

As to the How, 18 Main has assembled the A-team of professionals and financial partners that will bring this vision to reality from design through stabilization. We have a Term Sheet for the required debt for this development from Arbor Commercial Funding. We have already allocated the required funding for the acquisition and pre-development costs as specified within the attached sources & uses. In an effort to display our commitment to this development, we are happy to provide proof of available funds to that effect.

Our development team has carefully studied the due-diligence materials provided with the RFP and performed additional preliminary independent reports and analysis of the site. Our due diligence to date entailed careful studies of the historic as-builts drawings, updated seismic analysis report including 3D modeling of the existing podium and tower, energy performance analysis, preliminary investigation of the deteriorated existing conditions of the façade with the assistance of a specialty forensic engineering drone and more. This extensive preliminary Due Diligence combined with our team's extensive and proven track record of delivering projects of similar scale, complexity, and nature, provides us with a high level of confidence in our ability to successfully execute this Development on time and on budget.

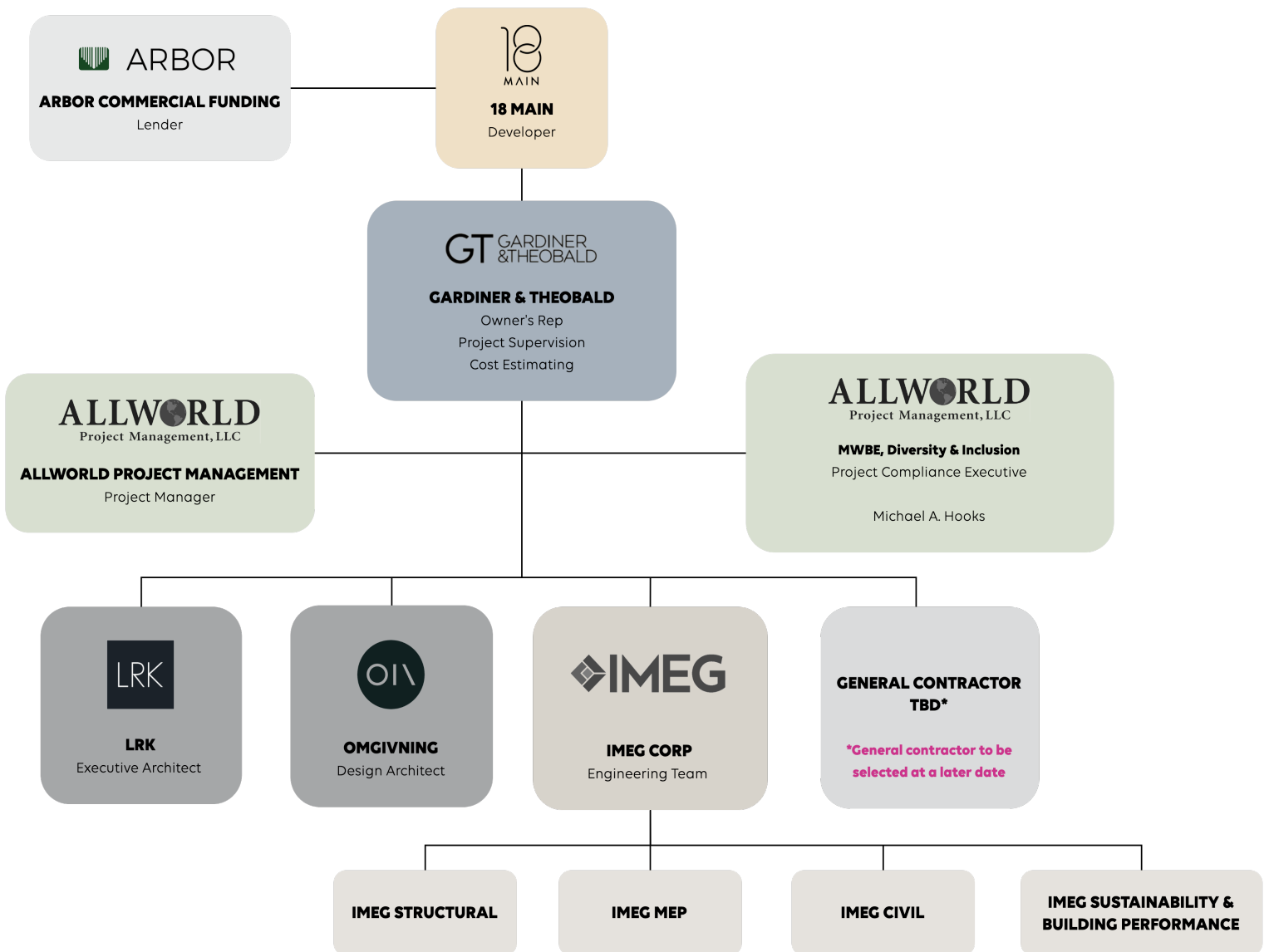
For the avoidance of doubt, 18 Main has no expectation that the DMC will provide pre-development financial assistance. We will fund any such expenses directly.



# Development Team

## Team Organization Chart

18 Main has assembled a team of locally and nationally acclaimed professionals for this assignment. Each of these firms have been selected based on their extensive years of experience on adaptive reuse and urban revitalization projects. Many of the team members have collaborated and worked on projects together over the years and we are poised to engage quickly to envision a new future for 100 North Main.



# Development Team

18 Main, LLC, Developer



18 Main is a privately held investment group with a core focus in real estate investment, experiential retail, and hospitality. Our vision is to develop beautiful and thriving communities, cultivate sustainable growth, and provide attractive returns to our investors. We accomplish this with an opportunistic eye and a team experienced in varied investment.

Our investment strategy utilizes a two-pronged approach:

1. Long-term, multi-strategy real estate investment; and
2. Investments in experiential residential, retail and hospitality

Because of our diligence, expertise, and passion for improving communities, our investments have tangible impact. 18 Main invokes a sense of pride in its investments by breathing life into communities and lifestyle businesses.

Prior to forming 18 Main, our principals aggregated a portfolio comprising approximately 4,000 multifamily units spread across the Midwest and Southeast. This portfolio was built into a vertically integrated operation along with management comprising a staff of nearly 100 of our associates. At present, the portfolio has been primarily exited producing strong returns for our investors.





**Tom Intrator**  
Founder & Managing Partner

Tom is the founder and managing partner of real estate investment group, 18 Main, LLC. With a decade of substantial real estate experience, Tom has deep industry knowledge spanning the syndication, ownership, rehabilitation, financing, and management of commercial real estate.

Tom has served as a founding partner of New-York based Hyde Capital, LLC since 2010. Hyde Capital and its subsidiary, The Lennox Companies, has acquired and managed a real estate portfolio in excess of \$300M across multifamily, retail, and office assets. The group has been active in Memphis since 2013, owning and managing 1,630 multifamily units in the area, to date.

Prior to forming Hyde, Tom worked with Silverback Capital, a real estate investment and development firm in New York City. He is also the managing member of financial services holding company, J.I. & Sons, LLC and its financial technology platform Vessti.



**Shay Yadin**  
Partner, Head of Development

As the Head of Department of 18 Main, LLC, Shay oversees the acquisition, development, and rehabilitation of the firm's real estate portfolio. Shay holds over a decade of extensive experience in property development as well as real estate law, enabling him to structure and execute complex real estate transactions.

Shay has worked closely with investors, consultants, contractors, and municipal authorities to develop more than 3 million square feet, valued in excess of \$750M across retail, office, hospitality, and residential assets nationwide.

Previously, Shay worked as a real estate attorney at Goldfarb Seligman LLP and as a senior wealth management and market analyst at Psagot Investment House in Israel. Shay holds a dual bachelor's degree in Law and Business Administration with a focus in real estate. He also earned his master's degree in Law (LL.M) with a focus in Real Estate Law. He is a retired Lieutenant from the Israel Defense Forces.



**Joseph Ammar**  
Vice President of Investments

Joseph heads investments at 18 Main including the firm's acquisition and developments activity across the US. Additionally, Mr. Ammar is responsible for the firm's capital structuring and financing activity.

Prior to 18 Main, Joseph served as head of real estate investment & management at Data Driven Properties initiating their investment platform. At Data Driven Properties he grew the investment activity in the short-term and vacation rental spaces as well as building their corresponding management platform.

Prior to Data Driven Properties, Joseph started his career as an Analyst at Hyde Capital/Lennox Companies, where he was involved in over \$150m of acquisition and disposition activity.

Joseph earned his BA in finance from Yeshiva University while interning at both Morgan Stanley and Raymond James.



# Development Team

Gardiner & Theobald, Owner's Representative, Project Monitoring, & Cost Estimating



G&T, NEW YORK, NY

Gardiner & Theobald has been providing project and cost management services throughout the United States for over 25 years.

Gardiner & Theobald Inc. was formed 1992 and is a division of Gardiner & Theobald LLP, which was founded 1835 in London, England. We have offices located in New York City, Los Angeles, Miami, Portland, San Diego, and San Francisco. We focus on minimizing risk and creating opportunities to maximize the value of our clients' developments and property assets. We deliver project leadership, commercial success, construction excellence, and specialist consultancy while working across all sectors of the built environment.

## Project Management Group

The Project Management Group provides complete Project Management services through design, construction, and project close-out. Our team is comprised of professionals with diverse backgrounds in architecture, engineering, FFE, and construction management.

## Cost Management Group

The Cost Management Group provides estimating, cost planning, and cost management services from inception through design and construction, and financial close-out. **We do not subcontract out any of our cost estimating or cost management services.**



**Chris Burke**  
Senior Director

Christopher is one of Gardiner & Theobald’s senior team leaders. Christopher is known for his creative design, procurement, and construction solutions that help facilitate the successful execution of projects for developers, landlords, tenants, and both public and private institutions around the world.

**Qualifications**

LEED AP  
Assoc. Society of Civil Engineers  
Assoc. General Contractors

**Experience**  
17 Years

**Projects**  
77 Greenwich  
Carlyle Hotel  
The Refinery  
Knickerbocker Hotel  
560 West 24th Street  
Essex House Hotel  
Fasano Hotel  
Brooklyn Botanic Garden



**Pavan Thaker**  
Director of Cost Management

Pavan and his team have overseen the Cost Management of a number of complex projects in a variety of sectors. These projects include multi-billion dollar developments in the infrastructure, hospitality, and residential sectors. Pavan specializes in utilizing innovative procurement to drive buy-out savings for his clients.

**Qualifications**

BSC (HONS) Quantity Surveying and  
Construction Commercial Management

**Experience**  
11 Years

**Projects**  
The Carlyle  
9 Orchard Street  
Soho House Dumbo  
28 Liverty Street  
Millennium  
31-11 30th Street  
Soho Works, 10 Jay Street  
Soho House Austin  
Soho House Nashville  
Rosewood Washington DC



**Brian Hart**  
Associate Director of Cost Management

Brian is a hardworking, highly motivated, and ambitious individual with extensive experience in the hospitality and residential sectors at Gardiner & Theobald.

**Qualifications**

BS, Civil Engineering  
Cert, Construction Project Management  
and Real Estate Finance

**Experience**  
14 Years

**Projects**  
37-05 30th Street (20% Affordable)  
2401 3rd Avenue, Bronx, NY (40% Affordable)  
Soho House  
2420 Amsterdam  
Soho Works Multiple Locations  
Google  
975 Washington  
The Carlyle  
NED DC  
55 Jordan Avenue  
41-17 Crescent Street  
230 West 113th Street

# Development Team

Allworld Project Management, LLC, Project Management



## Delivering Innovative Solutions to the Built Environment

Since 2010, Allworld Project Management has successfully administered high quality projects on time and within budget.

From smaller task orders to multi-million-dollar programs, each project is customized using fundamentals established by the Project Management Institute (PMI)®. We manage projects both, during a particular phase or from initiation through close out. We are committed to quality and have maintained an audited quality management system certified by the International Standards Organization since 2017.



At Allworld Project Management, our mission is to consistently exceed our clients' expectations by providing value-added solutions one task at a time. ”

MICHAEL A. HOOKS, JR. | FOUNDER AND CEO

## OUR SERVICES



CONSTRUCTION SUPPORT



ECONOMIC AND COMMUNITY DEVELOPMENT



ENGINEERING SUPPORT



GEOGRAPHICAL INFORMATION SYSTEMS



INFORMATION TECHNOLOGY



CUSTOMIZED PROJECT MANAGEMENT



WATER RESOURCES



**Michael A. Hooks, Jr. PMP**  
Executive Project Manager,  
Diversity Agent

**Role Description**

With over 20 years of experience in program and project management, Michael Hooks Jr. serves as Founder and Chief Executive Officer of Allworld Project Management. For these proposed services, Michael will serve as Executive Project Manager. Michael will apply his project management, construction administration, government relations, and diversity programming experience to provide high-level guidance to team members and the client.

**Project Experience**

Michael is uniquely qualified for this position based on several project-based experiences. The City of Memphis Sewer Assessment and Rehabilitation Program is a relevant example. Michael initiated this project as Deputy Project Manager, Controls and Communications. At the program initiation in 2012, Michael assisted the team in developing KPI's and worked with staff to implement program controls and participated in monitoring these to maintain program success. Michael participated in preparing and presenting reports to local, state, and federal government agencies for this \$250 Million Dollar Program.



**Christopher Acuff**  
Project Manager

**Role Description**

With over 25 years of project management, Christopher (Chris) has strong program management experience includes construction administration, budgeting, permitting, and quality control. As the Lead Project Manager, Chris will provide primary and direct support to the Ownership team.

**Project Experience**

Chris's career in project management has included several complex, multi-disciplinary projects including hotel development activities from concept to opening including oversight of design teams, consultants and contractors for all new builds, renovations, and rebrands.

Owner's Rep/Construction Manager for Crosstown Concourse - \$200m Adaptive Re-Use of the former 1.5Mil SF Sears Crosstown Building in Memphis. Tabbed as the largest historic adaptive reuse LEED Platinum project in the world, the Crosstown project has won numerous awards for design, construction and community impact.



**Brent A. Hooks**  
Executive Project Manager

Chief Administrative Officer for a fast-growing project management firm. Solution-oriented organized, and well-rounded individual with concentrated skills in accounting, finance, and business administration. Respected by peers and colleagues as a strong ethical example in the workplace. Brent thrives as a strategic leader in a creative environment that solves problems and provides value added solutions to the marketplace.

**Project Experience**

Crosstown Concourse, Memphis, TN  
The Crosstown Development Center completes a \$200 million renovation of over 1.1 million sq. ft. To turn the historical Sears building into a vertical urban village consisting of education, healthcare, retail, arts, and apartments.

Brent participated as project manager in the urban economic planning which also included community engagement. Additionally, Brent coordinated technical resources and budgeting while assisting with project scheduling.

# Development Team

Omgivning, Design Architect



## Address

724 S. Spring Street #501  
Los Angeles, CA 90014  
213.596.5602  
omgivning.com

**Certified Woman-Owned Business  
Enterprise, Small Business Enterprise**

## Areas of Experience

Architecture, Interiors, Adaptive  
Reuse, Core/Shell, New Construction,  
Tenant Improvements, Renovation,  
Restoration, Rehabilitation

## Project Types

Mixed Use, Multifamily Housing, Hotel,  
Restaurant/Bar, Retail, Theaters,  
Workplace

## Company Staff

1 Principal  
6 Directors  
8 Project Managers  
13 Job Captains  
8 Designers

## We uncover potential in spaces, in buildings, and in communities.

Founded in 2009, we initially focused on the revitalization of downtown Los Angeles through the adaptive reuse of existing buildings and spaces. Through the years, we have continued to expand our services to design for a variety of new construction projects and build our imprint across Southern California and further afield. Today, our design work has touched over 500 projects, from two-million square foot historic landmarks to small, local cafes. From the design of boutique hotels, multifamily housing, workplaces, to retail, dining, and theaters, our projects are welcoming environments that become essential parts of their communities. Our team of architects and designers share our belief in the power of design to positively transform. Our open and collaborative spirit is enriched by the significant participation of clients and users, as well as associate architects and consultants resulting in successful projects for our community.

## Design Philosophy

Unifying all of our work is our design approach. We believe in working from the inside out, seamlessly blending architecture and interior design, connecting at every scale from the macro to the micro. As urbanists, we see our projects as points in a larger network of social and cultural activity extending from the street, the block, and the neighborhood. Drawing on our extensive connections and collaborations, we work to amplify local and sometimes forgotten histories, facilitate neighborhood growth, and advocate for policy reform at the municipal level. As humanists, we celebrate the details that give meaning to our lives. Texture, form, color, light, and historic fabric become cues for inspiration and engagement. Our design work focuses on uniting us to a space and to our neighbors. We design for healthy, sustainable, and resilient communities.

## Commitment to Diversity and Sustainability

Our team shares our belief in the power of design to positively transform. The varied backgrounds of our individual team members are celebrated, embraced, and acknowledged for their capacity to contribute based on their unique talents and skills. Omgivning's commitment to sustainability is organized by our core values. We view all our efforts as interdependent and believe it is important to take a holistic approach when setting sustainable goals and targets for our work. Our framework streamlines efforts in order to research, analyze and provide useful information to our clients and collaborators.



**Karin Liljegren, FAIA, IIDA**  
Founder and Principal

Karin Liljegren has dedicated her career to revitalizing downtown Los Angeles's rich stock of existing buildings. In 1999, she worked on the very first projects under Los Angeles's Adaptive Reuse Ordinance, which launched her nuanced understanding of the challenges and opportunities of adaptive reuse. Karin is a thought leader in the downtown community and is active with city and county officials in crafting policies that ease the challenges of working on existing buildings. Her design projects breathe new life into the buildings and communities. Her impact created the return of historic downtown Los Angeles as a livable, walkable neighborhood.

Karin founded Omgivning in 2009. The firm puts new life to underutilized buildings transforming them into hotels, multifamily housing, offices, restaurants, and bars. Omgivning has grown and expanded having touched more than 500 buildings in Downtown Los Angeles. In 2014, the firm received a Presidential Honoree award for an Emerging Practice from the AIA Los Angeles.



**Peter Rindelaub**  
Architect, Projects Director

Downtown Los Angeles has been a draw for Peter since his move to the city in 2007. The renaissance of historic buildings here has offered an excellent platform for combining his design interests with his construction expertise.

At Omgivning, Peter has led a number of project teams on high profile adaptive re-use and renovation projects. He focuses on the design goals for the project and he works diligently to keep them front and center when communicating with project teams and the client. Peter's attention to detail helps set a high standard, especially as a building code resource. He has worked on a variety of building types over his career including multi-family residential, mixed use, office and institutional projects.

Peter is an advocate for sustainable design principles on all his projects. He acknowledges that the adaptive re-use of existing buildings contributes to positive, sustainable solutions for our cities.



**Richard Kassab**  
Project Architect and Lead Designer

Richard's diverse design experience comes from a 15-year career working on award winning international competitions in Istanbul, Budapest and Bamian, new constructions in Beirut, and historic remodels in Los Angeles.

He believes that ideas rather than shapes drive the design environment, and design doesn't end with a phase, it is carried throughout every project decision. Maintaining a project's design integrity, he is heavily involved in managing the daily process of the project, consultants and internal team.

Richard was a partner at a multidisciplinary architectural office based in Beirut, Lebanon, where he also was the marketing managing director before moving to the US. His experience in California includes freelancing with Michael Maltzan, SPF Architects, and working with private clients on single family remodels and additions.

# Development Team

LRK, Executive Architect



## Who Is LRK?

LRK is a nationally recognized full-service architectural, planning, and interior design firm. With offices in Little Rock, Memphis, Philadelphia, Princeton, Baton Rouge, Dallas, New Orleans, and Celebration, Fla., LRK is intent on creating places that make a difference in people's lives.

With an eye towards long term sustainability, LRK is committed to revitalizing and energizing communities through historic preservation and adaptive reuse. LRK balances aesthetic visions with economic realities, while also acknowledging a region's architectural traditions and history of its people. Experienced in working with U.S. Department of the Interior National Park Service guidelines and the complex challenges often associated with renovations, LRK works with clients to protect a building's original architectural character while developing thoughtful solutions for modern living.

In addition, we are committed to design with a sense of place. LRK views each project as an opportunity to improve, complement and in some cases, complete the fabric of the surrounding environment. LRK's preservation and renovation projects have been recognized by the American Institute of Architects, the National Trust for Historic Preservation, Congress for the New Urbanism, and the Urban Land Institute.

Understanding the needs of a client first and then providing creative and innovative design solutions that respond specifically to those needs is the focus of our culture. Every project we undertake starts and ends the same way: We listen.



**Frank Ricks, FAIA**  
Founder and Principal

Frank is a founding principal of LRK and the firm’s managing principal. He is actively involved in select projects that require strong leadership in design, engagement, and process of delivery. He also continues to lead the firm into position for increased opportunities for design influence, from simple buildings to entire neighborhoods and urban districts. He relishes projects that present an aesthetic challenge, are uniquely complex or difficult, or are the first of a kind for the firm. In his focus on the design and management of projects, Frank is always concerned with their impact on external/internal communities at all levels and strongly believes in the collective power of the team through collaboration that includes both the client and users. He stays involved in the community by serving on several boards, including working with the Center City Development Corporation for 12 years where he focused on improving access and connection to the Memphis’s downtown riverfront.



**Tony Pellicciotti, AIA, CDT,  
LEED AP BD+C**  
Principal

Tony brings more than 25 years of highly relevant leadership, collaboration, and design experience to LRK. With a broad, diverse portfolio, Tony has focused his professional practice to prove that good design transcends budget and program. He believes that intentional, thoughtful design inspires and motivates people to be, and to achieve, more than they thought possible. This thoughtfulness has led to the social, economic, and critical success of internationally acclaimed Crosstown Concourse, the world’s largest historic, adaptive reuse, LEED Platinum certified project. Tony maintains that, as architects, we have a unique responsibility to learn from the rich tapestry of contributions and tailor an individualized response to each project. He is passionate about historic/adaptive reuse work and he weaves practical, proven sustainability strategies throughout to bring the greatest value to his clients.

His projects have been recognized with numerous industry awards and featured in publications, including ARCHITECT, Architectural Record, Architectural Digest, Metropolis, Building Design + Construction, and Contract.



**Krissy Buck Flickinger, RA,  
LEED AP BD+C, WELL AP,  
NGBS Green Verifier**  
Associate, Sustainability Director

Krissy is an architect and also serves as the firm’s Director of Sustainability. She has practiced architecture for more than 13 years and has built a reputation for her belief that good design is about celebrating the history of a community and working within the existing fabric to create the perfect blend of old and new. It is because of this passion for preservation, adaptive reuse, and sustainability that she boasts her own scorecard of 26 projects certified to a variety of green building rating systems, meanwhile encouraging all of LRK’s designs to strive for environmental excellence. Krissy is the chair of USGBC’s Memphis Branch, where she has spearheaded the yearly “Paper Power” event geared toward empowering area youth to practice sustainability. She was awarded USGBC TN’s Green Volunteer of the Year award in 2018 and is the first Green Globes Professional, WELL Accredited Professional, and NGBS Green Verifier in the Mid-South region. Before joining LRK, Krissy was a project architect and the Sustainability Coordinator at Treanor Architects (now TreanorHL) in Kansas City, Missouri.



# Development Team

IMEG Corp, Engineering Team



We are employee-owned and results driven with a passion for transforming environments and communities through high-performance design and infrastructure.

## AT-A-GLANCE

- Top 5 Engineering Firm in U.S.
- 100% Employee-Owned
- Full-service Engineering & Consulting
- 50 Locations
- 1,500 Team Members
- 490 Licensed Engineers
- \$234M in Annual Revenue

## SERVICES

Building Design: Engineering & Planning

- Structural
- MEP/FP
- Technology Design
- Automation & Controls
- Security Design & Engineering
- Acoustics & Noise Control
- Architectural Lighting
- Medical Equipment Planning
- Building Performance Analysis

Commissioning

Consulting & Advisory Services

- Intelligent Buildings
- Technology Consulting
- Healthcare Information Technology
- Protective Services Consulting
- Forensic Consulting & Investigations
- Grant Writing

Infrastructure: Design & Planning

- Civil Engineering
- Municipal Engineering
- Land Development & Surveying
- Environmental Services
- Landscape Architecture
- Materials Testing
- Construction Observation

Process Engineering

- Automation & Controls
- Chemical Process
- Bulk Processing

IMEG is the leading U.S.-based engineering design firm that delivers a rare combination – the broad expertise of a national leader with the personal relationships and deep collaboration of a local firm. **But what really sets IMEG apart?**

- Our market-sector team structure providing data-driven solutions and innovation.
- A culture of learning and development – sharing knowledge and solving complex design problems.
- An extensive breadth of expertise and deep bench of client knowledge – helping transform environments.
- A reputation for delivering many “firsts” in sustainable design – helping clients become energy stewards and reduce impact.
- A commitment to deliver high quality, cost-effective outcomes through a collaborative and flexible project approach.



**Ed Gharibans, PE, SE**  
Principal-In-Charge

Ed has been practicing structural engineering for more than 40 years. He holds expertise in the design and development of various healthcare buildings and works closely with all of his clients to ensure each project is delivered on time and within budget. His experience includes the design and development of new buildings, as well as building modifications, upgrades and equipment anchorage for healthcare facilities. Ed has recently gained a considerable amount of experience in preparing reports for hospital facilities relating to Senate Bill 1953. His leadership role makes him an active participant in all stages of the project.



**Wally Ford, PE, LEED AP**  
Structural Lead

Wally Ford, P.E., LEED AP, has 44 years of experience in the planning and design of structural systems for commercial and institutional buildings. He specializes in high-rise design, having been involved in the design of dozens of buildings over 25 stories and many over 50 stories. He has contributed to the architecture and engineering community by teaching a variety of structural engineering courses in the Architecture Departments of both Rice University and the University of Houston.



**Naseer Ahmed, PE**  
MEP Lead

Naseer's electrical engineering experience includes the design and construction of fire alarm, fire protection, power distribution, motor control centers, process control panels, lighting, and grounding systems for education facilities. He has extensive design experience for new facilities including classrooms auditoriums, theaters, and gymnasiums. This vast experience includes emergency generator, boiler, and chiller plants. Naseer is involved in site evaluations, studies, and master planning of several existing facilities. He has also has developed an excellent relationship with DSA for more than 25 years providing an effective review process.

# Relevant Experience

We have assembled a team of experts in their field, with a range of experience to compliment one another. Below please find several examples of the team's past relevant experience. For additional information, see Appendix.



## **Broadway Trade, 801 S. Broadway**

Collaboration with the Principles of 18 Main, Omgivning, and IMEG

The Broadway Trade Center building occupies two-thirds of a city block in the Broadway Theater & Commercial District, a National Historic District. In addition to seismic upgrades and building's program includes 500,000 SF of offices, a 150-room hotel, and 200,000 SF devoted to retail, and restaurants. New levels are being added to the expansive roof while restoring its original use as a public gathering area. The roof design includes a park, an urban farm, two swimming pools, and several restaurants/bars.



## **Desmond's, 612 S. Broadway**

Collaboration with the Principles of 18 Main, Omgivning, and IMEG

Desmond's opened in 1924 as a Los Angeles-based retail chain and ultimately closed in 1981 as downtown department stores lost their allure. In 2020, Desmond's building became a Los Angeles Cultural Historic Monument. The adaptive reuse and historic restoration of Desmond's is a story of flexibility and designing within a modern historic interpretation. The building is now a mixed-use building with retail at the ground and basement level and offices on floors two through six for national co-working group, Bond Collective. The roof area has been dramatically transformed with the addition of two new stories that have the potential to hold restaurants with downtown skyline views.



## **The Rendon**

Omgivning

Omgivning is rehabilitating an existing hotel and designing a new tower on the same lot, which will become a focal point for artistic activity. The existing 3-story unreinforced brick structure was built in 1914 and will be designed for housing and studios for an artist residency program. On the rooftop, will be a garden, a bar, installation/performance areas, and a grassy area for relaxation. The project also includes a new 15-story, 100-key hotel tower. On the bi-level rooftop, a restaurant/bar will occupy the space below an outdoor spa and lounge with gardens.



## **Crosstown Concourse, Memphis, TN**

LRK Architects, Allworld Project Management

Once a vital distribution center for the Mid-South, the 1,500,000-square-foot historic Sears building (1927) had been dormant for over 20 years. LRK worked with a non-profit arts-based organization and its partners to redevelop the 10-story building into a "vertical urban village" that integrates residential, commercial, retail, health and wellness, arts and culture, and education. The design weaves a purposeful collection of diverse tenants and varied uses into a precedent-setting mixed-use community that has served as an anchor and catalyst for further revitalization. Crosstown Concourse received LEED CS Platinum certification and is the largest historic adaptive reuse LEED Platinum certified project in the world.



## **The Commonwealth, Memphis, TN**

LRK Architects

Construction is nearing completion on the 91-year-old Hickman Building in downtown Memphis. Vacant for nearly 50 years, the 100,000-square-foot building will house offices, apartments, and retail. The renovation of the Hickman Building spreads revitalization east toward two other emerging areas: the Edge and Medical Districts, helping to knit the downtown community together. LRK is providing architectural and interior design services for the renovation.



## **100 Van Ness, Los Angeles, CA, LEED Silver Certified**

IMEG

Structural engineering and design services were provided for this remodel and adaptive-reuse project that transformed the outdated 1974 office building into a 510,000-sf modern apartment building. The 29-story building includes 418 units with indoor and outdoor amenities. These amenities include a dramatic roof deck providing residents with 360° views of the Bay Area, garden space, grass lawn, lounges, fire pit and a grilling area.



## **Commerce Towers Adaptive Reuse, Houston, TX**

IMEG

Major renovation and adaptive reuse of a 24-story two-towered office building into a 537,000-sf multi-family luxury condominium high-rise with 39 units, pool and amenities. All structural revisions to the concrete and steel structure were made without disturbing the original brick facade. Structural challenges included converting the lower six levels of the building into a parking garage, which required the insertion of a new floor, ramp additions and column relocations.



## **100 Barclay, New York, NY**

Gardiner & Theobald

Gardiner & Theobald provided project monitoring for iStar Financial on the conversion of commercial-to-residential condominiums. The project is a 1,249,557 GSF commercial-to-residential condominium conversion occupying floors 11-31 of the 32-story historic landmarked building across the street from the World Trade Center/ One World Trade Center.

# Development Concept

An extensive range of uses will be introduced within a series of buildings, ranging in scale and height. The buildings are carefully clustered and organized to maximize user experience and needs.

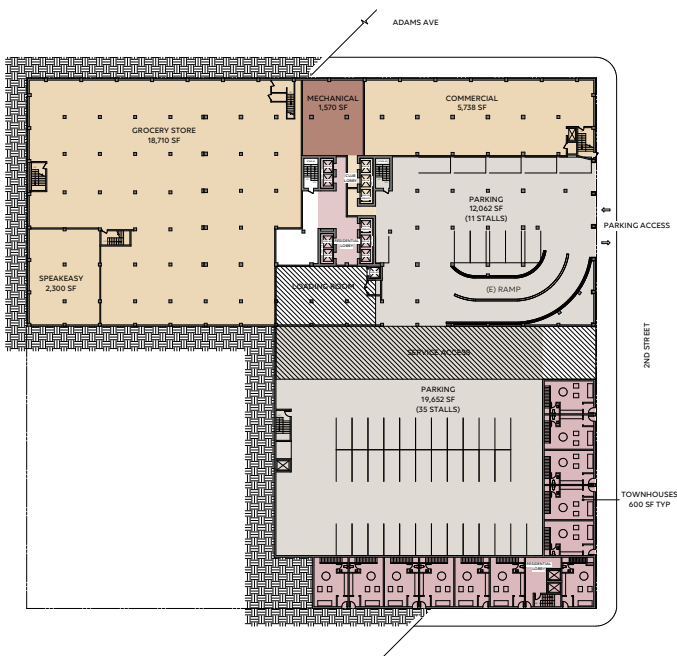
Our proposed development will feature:

- 542 affordable housing units, offered in a broad range of unit types to support a diversity of user / family needs. Residential units will be housed within the adaptive reuse of the historic tower, as well as within a newly constructed 7 story building wrapping a new public parking structure at the southeast corner of the site
- An amenity rich roof deck will unite the two buildings
- 120,000 sf of new commercial uses; including ground floor retail, cafe, bar, music venue, grocery store, plaza dining, as well as club, event space, restaurant and potential city offices at the upper levels of the tower.
- Existing Parking will be renovated and additional parking will be provided within the newly constructed 7-story building for a total of 838 stalls. Diverse array of urban transportation alternatives will also be provided.
- Vibrant public plaza filled with dining, retail and a music venue will serve as an extension of Main Street and increase pedestrian engagement.

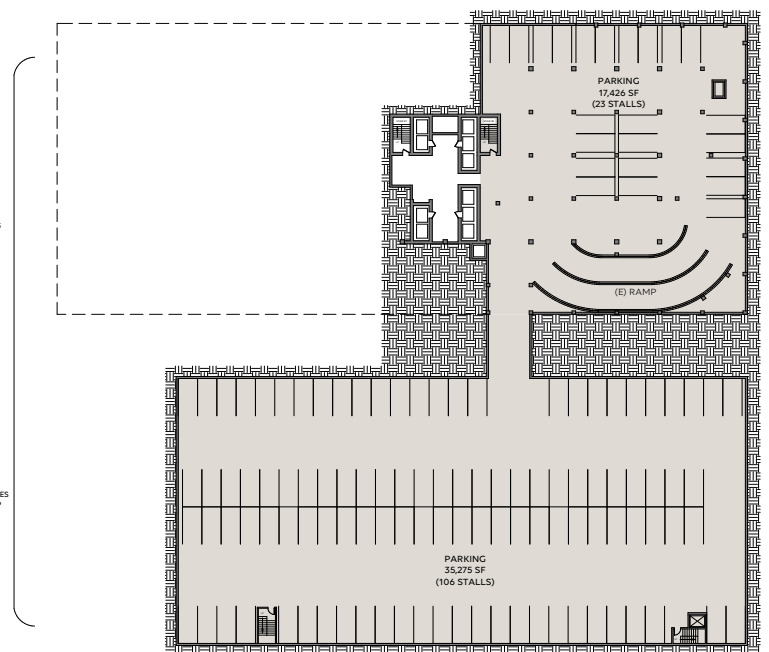
## Following is a walk through of key floors of the proposed development.

The new proposed parking structure sits south of the podium, allowing a connection to the existing parking at all levels including the basement. The new structure acts like an extension to the existing, taking full advantage of the ramp and of the existing vehicular access at 2nd St.

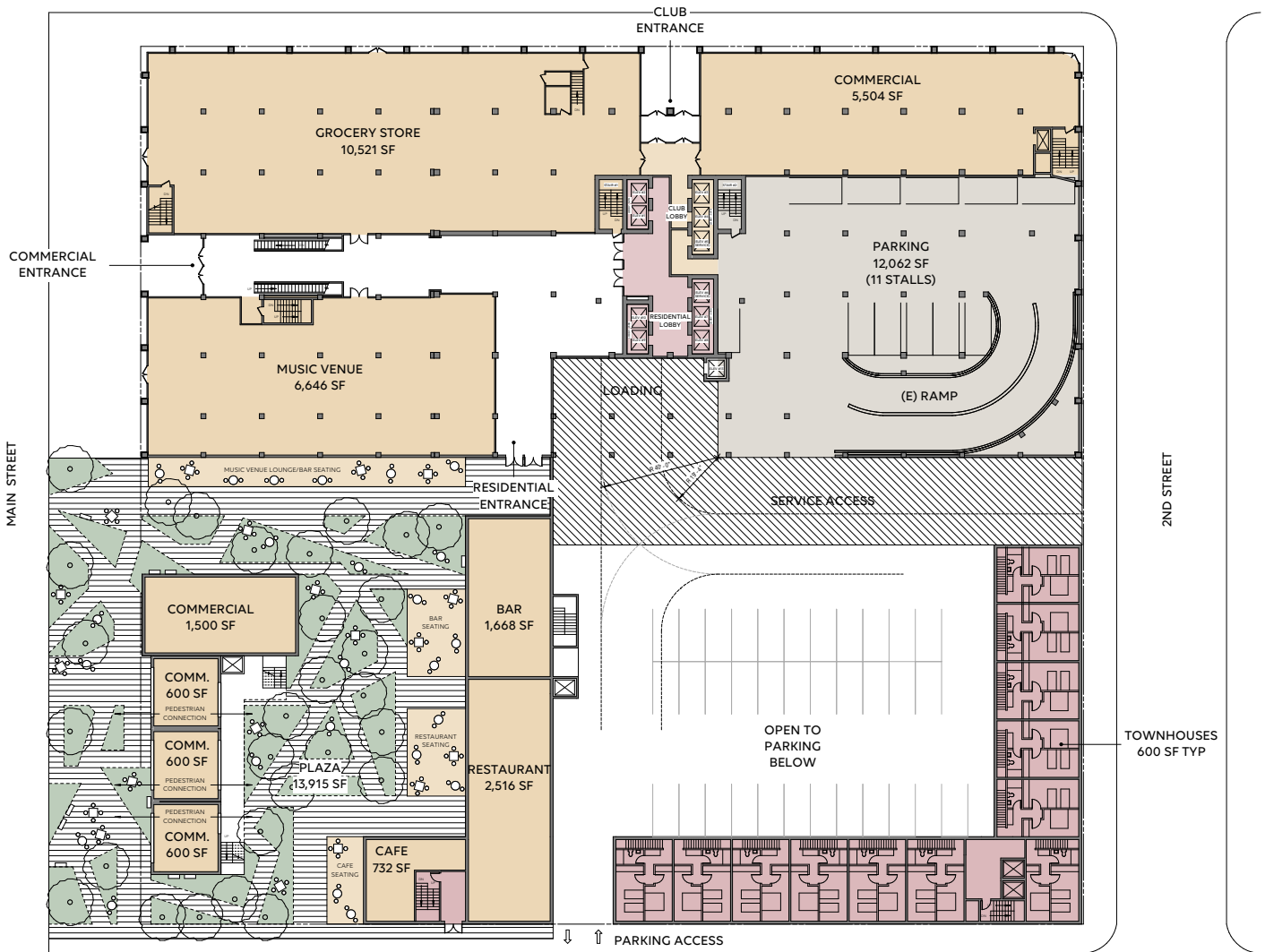
A portion of the first floor parking is dedicated to service through the loading area. In addition, a second car access is provided at Jefferson Ave.



Lower Lobby Floor Plan



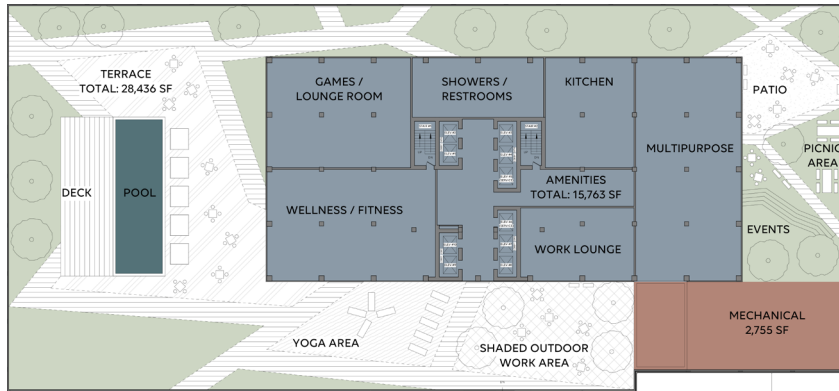
Basement Level Floor Plan



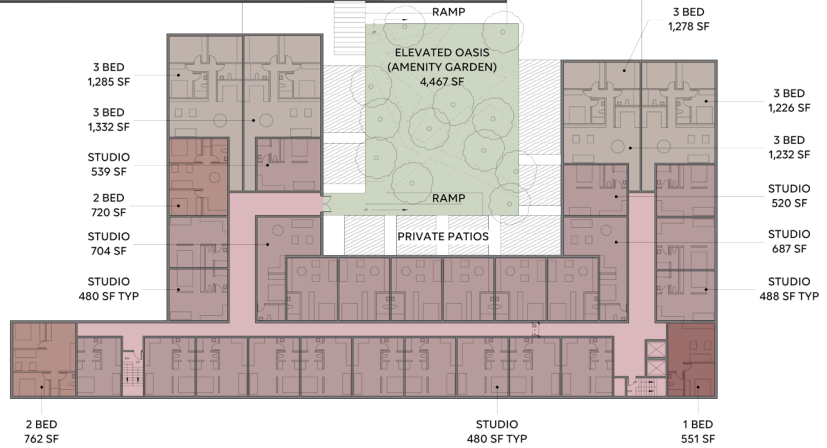
### Upper Lobby & Plaza Floor Plan

The new parking structure is wrapped with a 7 story residential component at 2nd St. and Jefferson Ave, providing townhouses on the first and second floors, with studios, 1 bedroom, 2 bedroom, and 3 bedroom apartments at the upper levels. On the corner of Main and Jefferson a public plaza emerges, open to the south and west and surrounded by commercial spaces. We propose to rehabilitate the West portion of the four historic buildings at Main St., while partially demolishing their East portion and introducing new storefronts to accommodate a new plaza. This partial demolition will Maintain the historic feel and sense of scale along Main St. and help alter the existing building footprints and provide building depths in line with typical commercial needs and small scale commercial operations.

Inside the existing podium a music venue is proposed, taking advantage of the plaza as an extension. A grocery store at the corner of Main and Adams will provide service to the entire neighborhood.

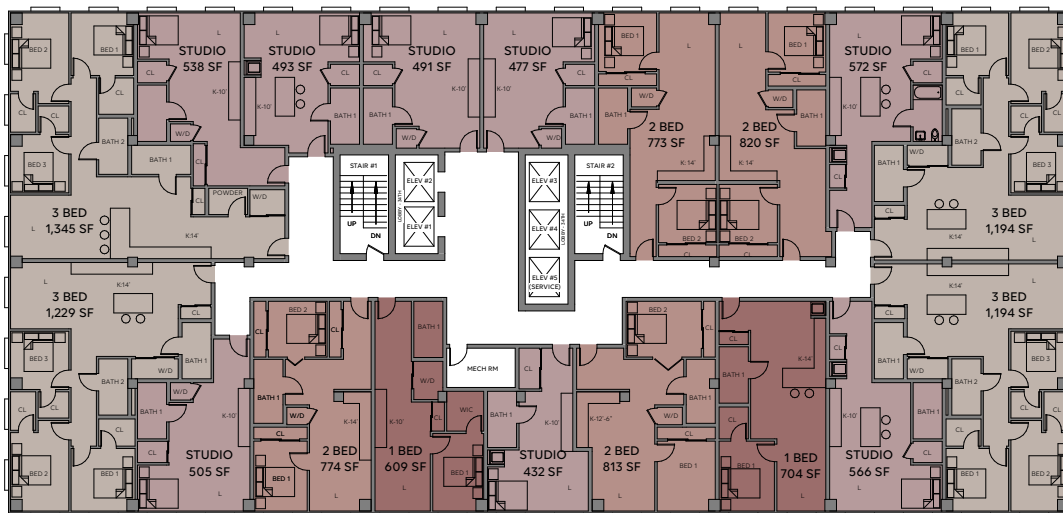


8th Floor - Existing



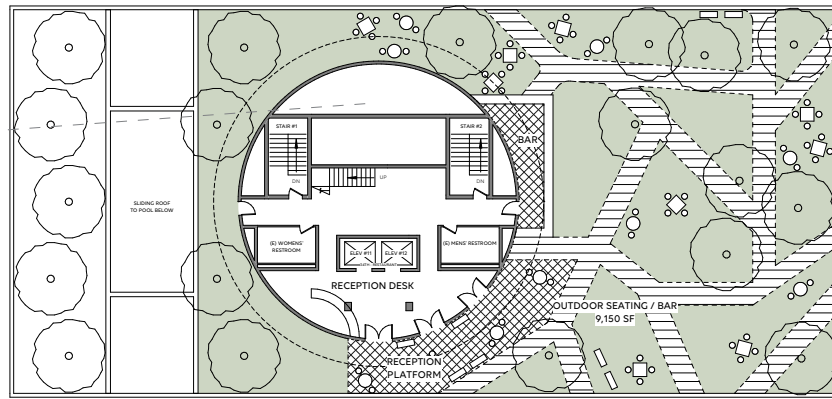
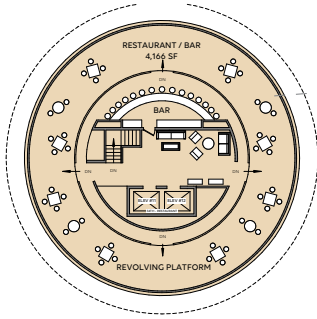
7th Floor - New Construction

The roof of the new parking structure will be dedicated to the residential tenants, landscaped with full grown trees to provide a sanctuary like space. Connected to the podium roof that provides a diverse amenity spaces: pool to the west, wellness and work space to the south, and patios to the east. The 8th floor tower is fully dedicated to indoor residential amenities.



Typical Tower Residential Floor Plan

Each floor plate is laid out to provide 16 or 18 new residential units, ranging from studios to 3 bedroom apartments, all with expansive views of the downtown skyline, taking advantage of the added light and visibility offered by the updated and enlarged glazing system around the tower.



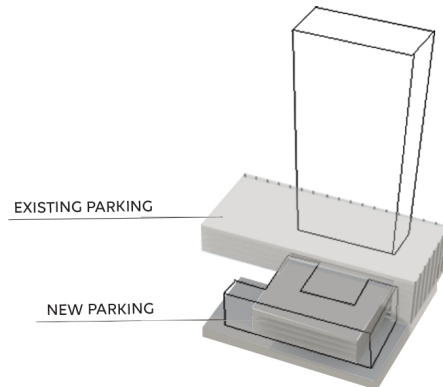
**38th Floor - Roof Deck**

Taking full advantage of the surrounding view, the upper roof will be dedicated to the restaurant and bar with new paving and landscape work.

We are proposing to rehabilitate the sliding glass roof to the west, and reintroduce the 36th floor pool below as part of the proposed club and public event space.



PEDESTRIAN ACCESS  
VEHICULAR ACCESS



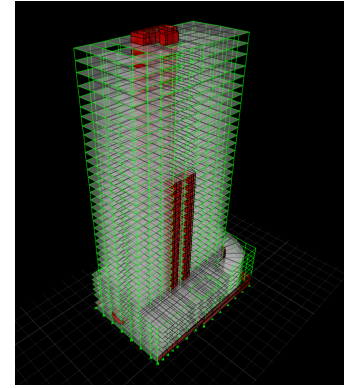


# Design Principles

The five core design principles of the Design Review Board will be exemplified in the following manner:

## 1. Promote Excellence in Design

Through a combination of building restoration and introduction of new high quality building materials, the project aims to be a positive addition to the neighborhood context. In addition, a project scale congruent with neighboring buildings and urban design features that enhance the overall urban fabric will be highlighted.



## 2. Embrace Creativity

The proposed project aims to provide a series of innovative solutions to many of the challenges faced with urban design. As an example, the wrapping of the public parking structure with a single loaded residential block, supports the urban fabric and human scale of the neighborhood and hides the vehicle infrastructure within the core of the property while providing a great public parking amenity to the neighborhood.

## 3. Design with Authenticity, Durability, & Sustainability

**Authenticity** - Is supported whenever building reuse is considered. As adaptive reuse specialists, we understand the value that users place on authentic experiences and we know that these experiences are best supported within existing and historic buildings and neighborhoods.

When we provide a connection to the History of a place, authentic experiences are given a context to thrive. In addition, we always look to uncover potential wherever we can within an existing building. Every unique design feature will be considered and highlighted.



We are proposing a sensitive alteration of the existing tower. As a historically designated building, we understand we must enhance and support the character defining features of the building, while simultaneously modernizing the building envelope.

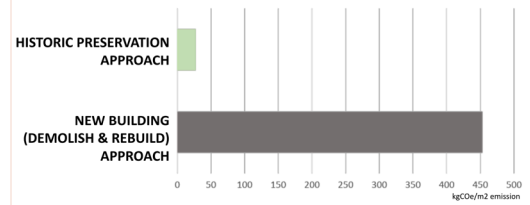
The existing tower facade includes a combination of precast concrete wall panels, precast concrete louvers and punched aluminum windows. The character defining feature of the building is the vertically oriented precast concrete wall panels. The existing horizontal louvers create a secondary 'ladder' pattern on the building and have the negative effect of blocking views and constricting daylight into interior spaces.

We propose to maintain and enhance the vertical components of the building while simultaneously upgrading the building envelope and building daylighting. Due to advancements in energy performance associated with modern glazing units, our initial analysis suggests we may remove 1/2 of the existing horizontal louvers while improving the building performance, both structurally, increase energy performance, and still maintain building performance targets.

**Durability** - A preliminary seismic assessment of the existing tower has been conducted by our experienced engineering team and initial findings are positive. Our engineering team is considering a series of interventions to retrofit the building per modern standards, seismic upgrades, and life safety. These upgrades have been priced and included in our project budget.

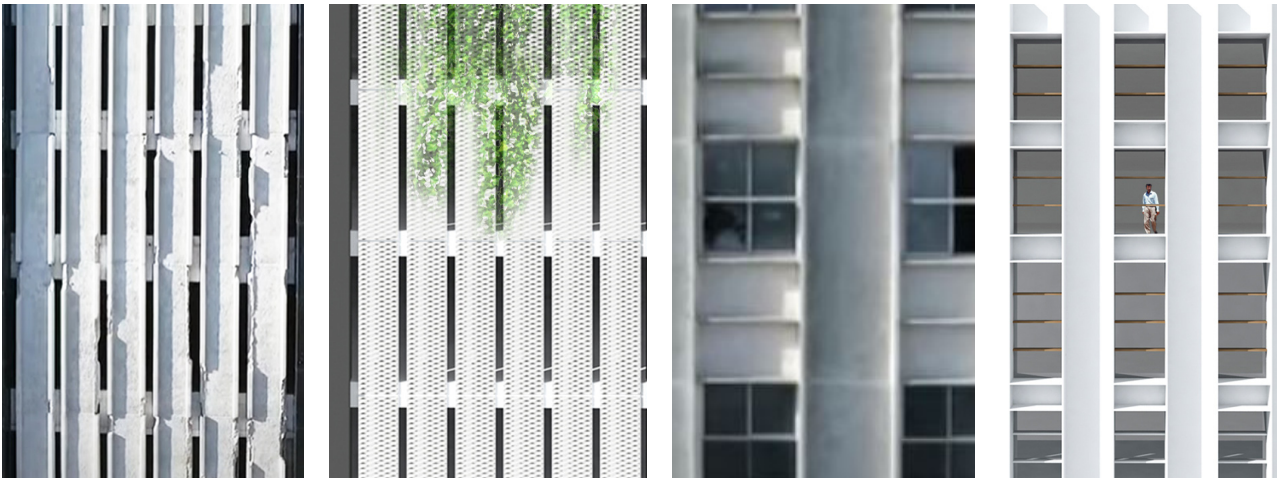
\*See appendix for full assessment document.

**Sustainability** - Our approach in developing this building will align with the Memphis **Climate Action Plan\*** which targets green building implementation in 2025. We also target to exceed Memphis Climate Action Plan goals in energy that requires 10% reduction in buildings and 30% in low-income housing. By reusing the existing building, the embodied carbon saved during the



EQUAL TO REDUCE





Existing

Proposed

Existing

Proposed

construction process will likely exceed the targeted carbon reduction compared to building a brand-new building. Understanding the Memphis master plan goal to be carbon free in 2050, we will develop the project with this decarbonization goal in our target and align it with our project budget. In our estimate, our approach will reduce 46% energy usage compared to the existing building with similar usage and 39% reduction in carbon emissions per year. \*See Appendix for full plan.

## 4. Design to Fit the Context

We are proposing a new construction housing element to align with the tower base podium. This will create a cohesive massing element for the entire site with breaks in massing to accommodate key circulation elements. The new construction features are primarily designed in the international style, complementary to the existing historic tower. Unlike the existing tower, highlighted by the use of precast concrete, the new building will feature a series of lighter vertical shading fins and a warm color palette to offset the tower aesthetic.

## 5. Enhance the Public Realm & Build a Great Pedestrian Experience

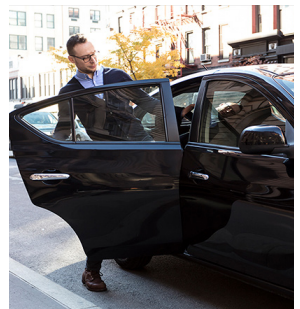
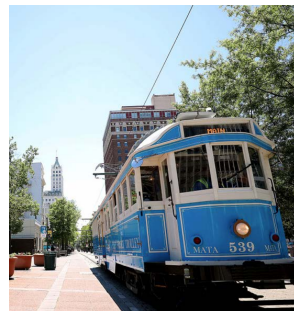
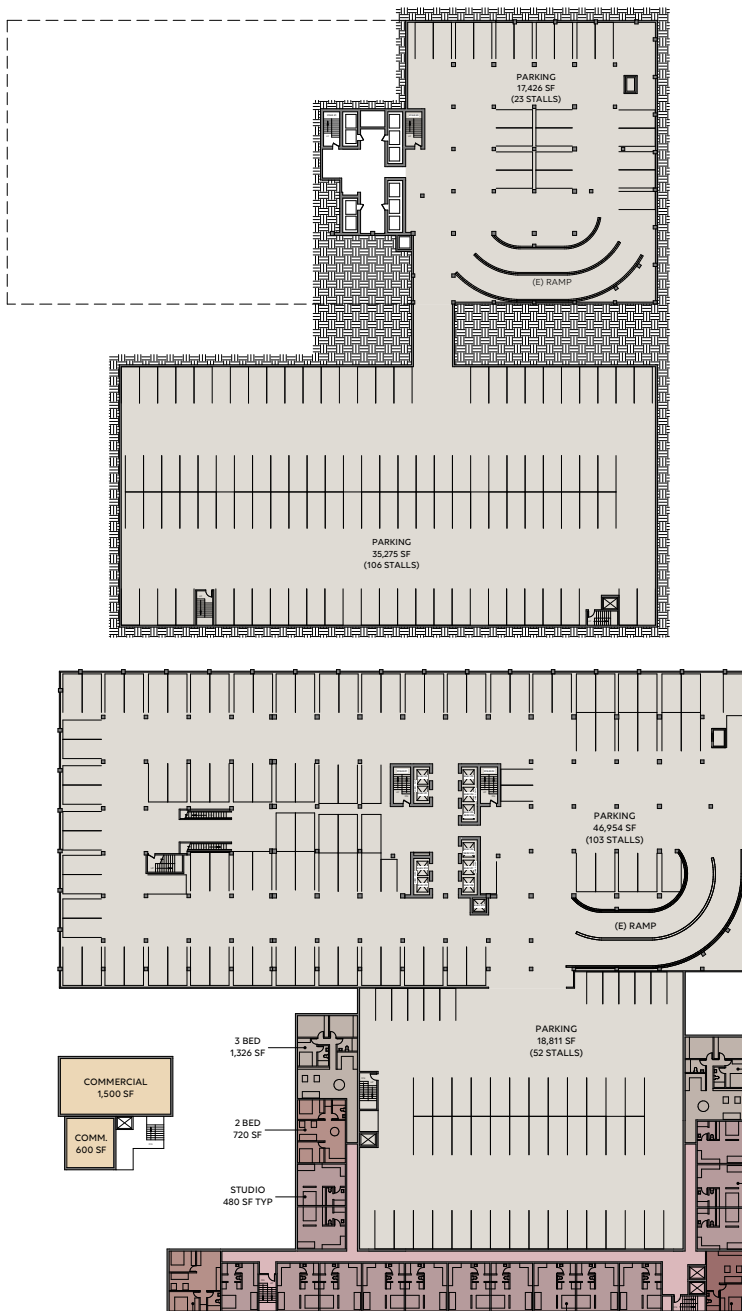
As mentioned, we are proposing a plaza element to complement the public realm. In addition, our proposal will activate 2nd street with townhomes on the ground floor and residential above. This housing addition will provide presence and connection to the sidewalk experience.



# Public Parking & Diverse Mobility

Our team fully comprehends the importance of public parking and diverse mobility options in a dense urban environment. As such, our development will feature a complete renovation of the 490 existing Parking stalls in tandem with the addition of 348 new parking stalls for a total of 838 stalls, a significant portion of which will be dedicated as public parking.

- In addition to parking a diverse array of urban mobility options will also be provided and supported by the development:
- New influx of urban dwellers to support existing pedestrian & public transit networks
- New public plaza to support existing Main St pedestrian street
- Dedicated parking locations for personal mobility scooters and bike sharing integrated into the streetscape
- Dedicated ride share curbside drop-off locations at all primary building entries
- New commercial uses immediately adjacent to existing trolley line-
- New walk-up townhouse units at Jefferson Avenue and North 2nd Street designed to promote pedestrian access to residential units
- Active uses integrated into all site frontages to enhance the public realm and increase pedestrian walkability



# Project Timeline

Our estimated Project Timeline is shown below. No phasing is required or anticipated for this project.

Phase	Start	End	Cal. Days	Notes
RFP Submittal Due	Aug 31, 2021	Sep 1, 2021	1	
Selection Committee Review	Sep 1, 2021	Oct 1, 2021	30	
Finalist Interviews & Development Agreement Negotiations	Oct 1, 2021	Dec 31, 2021	91	
Official engagement of third parties (A&E, GC, PM etc.)	Nov 1, 2021	Dec 31, 2021	60	
Pre-Design, Engineering and Pre-Con Mobilization	Jan 4, 2022	Jan 25, 2022	21	
Schematic Design	Jan 25, 2022	Mar 1, 2022	35 days	
Owner Review	Mar 1, 2022	Mar 11, 2022	10 days	
CM/GC Budget	Mar 1, 2022	Mar 15, 2022	14 days	
Design Development	Mar 15, 2022	May 14, 2022	60 days	
Owner Review	May 14, 2022	May 24, 2022	10 days	
CM/GC Pricing	May 14, 2022	May 28, 2022	14 days	
Construction Documents	May 28, 2022	Aug 11, 2022	75 days	
Owner Review	Aug 11, 2022	Aug 25, 2022	14 days	
Final Bidding & Negotiation	Aug 11, 2022	Sep 8, 2022	28 days	
Permit Issued	Aug 1, 2022	Sep 30, 2022	60 days	Subject to City of Memphis and/or Shelby County review periods.
Notice to Proceed		Oct 1, 2022		
Construction Administration	Oct 1, 2022	Apr 3, 2024	550 days	
Substantial Completion		Apr 3, 2024		

\*No phasing is required or anticipated for this project

# Financial Benefits to the City of Memphis

The introduction of new housing units, both within the existing tower as well as newly constructed units wrapping the proposed parking structure will densify the underutilized real estate parcel and offer hundreds of newly available public parking spots.

The project will introduce hundreds of new residents to this portion of Memphis. These residents will be provided with community serving amenities such as a grocery store, retail, restaurants and additional public parking. These amenities will support not only the new residents, but the entire area as a whole with new residents, new people to work, shop, dine, and play in Downtown. This will assist the rebirth of the neighborhood and in turn the increase property values and incremental tax revenues of the City. Moreover, the site will generate significant sales tax and serve as a new employment basis, with hundreds of new jobs across the project's 120,000 square feet of new commercial, event, retail, restaurant, and grocery outlets.

Through the Accelerate Memphis Fund, we are planning on utilizing the \$10,000,000 of allocated proceeds towards the redevelopment of 100 N Main. The funds will be used to improve the public experience, while minimizing public costs, by being allocated towards public areas and site improvements such as the new public Plaza, sidewalks, lighting, and landscaping as well as towards the newly built onsite public parking. By combining this new density in tandem with open space amenities, we aim to achieve 'appropriate densification' for the site, while reducing public expenditure on infrastructure.

## Our Past and Present Financial Partners



# Financials

## Budget Summary

Our team of professionals has carefully studied the due-diligence materials provided with the RFP and performed additional preliminary independent reports and analysis of the site. Our due diligence to date encumbered careful studies of the historic as-builts drawings, updated seismic analysis report including 3D modeling of the existing podium and tower, energy performance analysis, preliminary investigation of the deteriorated existing condition of the façade with the assistance of a specialty forensic engineering drone and more. Our estimated project budget is shown below.

100 North Main

### Development Budget

August 27, 2021

Overall Project Cost						
Description					Extension	Total
1.00	Overall Project Budget				224,298,394	224,298,394
<b>2.00</b>	<b>Development Budget Total</b>				<b>\$ 224,298,394</b>	<b>\$ 224,298,394</b>

Purchase Price, Tenant Improvements and Programmatic Soft Costs						
Description		% Soft Costs	Unit Cost	Extension		Total
1.00	Purchase Price				5,000,000	5,000,000
2.00	Architecture & Engineering				6,500,000	6,500,000
3.00	Carry costs during construction				1,000,000	1,000,000
4.00	Commercial TI				2,021,130	2,021,130
5.00	Club, Restaurant and Event Space TI				3,855,000	3,855,000
6.00	Commercial Leasing Commissions				1,000,000	1,000,000
7.00	Interest Reserves, Origination and Closing Costs				6,197,308	6,197,308
8.00	HEHFB PILOT Fee				2,728,969	2,728,969
<b>8.00</b>	<b>Program Budget Total</b>				<b>\$ 28,302,407</b>	<b>\$ 28,302,407</b>

Programmatic Construction Costs - Summary						
Description		% SF	GSF	Unit Cost	Extension	Total
1.00	Existing Structure & Shell				64,351,580	64,351,580
2.00	Existing Residential Upfit (8 Amenity, 9 - 23 Floor, & 24 - 33 Floor)	42.6%	440,690	\$ 136.13	59,993,150	59,993,150
3.00	Existing Commercial Upfit	10.6%	109,275	\$ 61.44	6,713,750	6,713,750
4.00	Existing Commercial Low Rise Upfit - Jefferson & Main	0.9%	9,200	\$ 75.00	690,000	690,000
5.00	Existing Parking (Repair / Upgrades)	23.3%	241,025	\$ 19.03	4,585,750	4,585,750
6.00	New Shell & Structure				6,707,563	6,707,563
7.00	New Residential Upfit	9.1%	94,000	\$ 135.00	12,690,000	12,690,000
8.00	New Commercial Upfit	0.6%	6,000	\$ 50.00	300,000	300,000
9.00	New Parking Deck	12.9%	133,250	\$ 93.05	12,399,500	12,399,500
10.00	Site				2,000,000	2,000,000
11.00	Project Construction Contingency (15%)				25,564,694	25,564,694
<b>12.00</b>	<b>Program Budget Total</b>		<b>1,033,440</b>	<b>\$ 189.65</b>	<b>\$ 195,995,986</b>	<b>\$ 195,995,986</b>

\*Programmatic Construction Budget prepared with the professional assistance of Robins & Morton General Contractors

# Financials

ROBINS & MORTON								
100 North Main								
Programmatic Construction Costs - By Space								
	Description	Qty	Unit SF	Net SF	GSF	Unit Cost	Extension	Total
<b>1.00</b>	<b>Existing Structure &amp; Shell</b>							<b>\$ 64,351,580</b>
1.01	Abatement Allowance	1	559,165			\$ 10.00	\$ 5,591,650	
1.02	Building HVAC - Chiller System	1	1			\$ 15,000,000	\$ 15,000,000	
1.03	Building Plumbing Service - 5' Out to 1' AFF	1	1			\$ 2,500,000	\$ 2,500,000	
1.04	Building Fire Protection Service & Pump	1	1			\$ 1,500,000	\$ 1,500,000	
1.05	Building Electrical Service & Generator	1	1			\$ 2,500,000	\$ 2,500,000	
1.06	Skin Restoration (Parking)	1	32,000			\$ 75.00	\$ 2,400,000	
1.07	Skin Restoration (Tower) Pressure wash existing precast	1	181,000			\$ 3.50	\$ 633,500	
1.08	New Roof w/Pavers	1	15,750			\$ 65.00	\$ 1,023,750	
1.09	Tower Windows	1	81,640			\$ 170.00	\$ 13,878,800	
1.10	Ground Level Windows	1	3,754			\$ 65.00	\$ 244,010	
1.11	Restaurant Windows	1	1,500			\$ 75.00	\$ 112,500	
1.12	Elevator Modifications / Modernizations	1	309			\$ 32,000	\$ 9,888,000	
1.13	Escalators	2	3			\$ 100,000	\$ 600,000	
1.14	Building Signage	1	1			\$ 250,000	\$ 250,000	
1.15	ADA /Life Safety Modification Allowance	1	559,165			\$ 8.00	\$ 4,473,320	
1.16	Tower Crane	1	1			\$ 1,000,000	\$ 1,000,000	
1.17	Structural Retrofit and reinforcement	1	1			\$ 2,756,050	\$ 2,756,050	
<b>2.00</b>	<b>Existing Residential Upfit (8 Amenity, 9 - 23 Floor, &amp; 24 - 33 Floor)</b>							<b>\$ 59,993,150</b>
2.01	Residential Amenity Level w/Pool (8th Floor)	1	46,950	46,950	46,950	\$ 135.00	\$ 6,338,250	
2.02	Pool on 8th Floor Deck	1	1			\$ 500,000	\$ 500,000	
2.03	Residential Totals (9-23)	15	12,782	191,730	191,730	\$ 135.00	\$ 25,883,550	
2.04	Studio (9-23)	90					\$ -	
2.05	1 Bed (9-23)	45					\$ -	
2.06	2 Bed (9-23)	45					\$ -	
2.07	3 Bed (9-23)	60					\$ -	
2.08	Circulation (9-23)	15	1,299	19,485	19,485	\$ 135.00	\$ 2,630,475	
2.09	Common / Mechanical (9-23)	15	1,669	25,035	25,035	\$ 135.00	\$ 3,379,725	
2.10	Residential Totals (24-33)	10	13,680	136,800	136,800	\$ 135.00	\$ 18,468,000	
2.11	Studio (24-33)	80					\$ -	
2.12	1 Bed (24-33)	40					\$ -	
2.13	2 Bed (24-33)	20					\$ -	
2.14	3 Bed (24-33)	40					\$ -	
2.15	Circulation (24-33)	10	888	8,880	8,880	\$ 135.00	\$ 1,198,800	
2.16	Common / Mechanical (24-33)	10	1,181	11,810	11,810	\$ 135.00	\$ 1,594,350	
<b>3.00</b>	<b>Existing Commercial Upfit</b>							<b>\$ 6,713,750</b>
3.01	Lower Lobby - Grocery Store Shell	1	30,000	30,000	30,000	\$ 75.00	\$ 2,250,000	
3.02	Upper Lobby	1	17,400	17,400	17,400	\$ 50.00	\$ 870,000	
3.03	Upper Lobby - Main Lobby / Residential Entrance	1	5,000	5,000	5,000	\$ 150.00	\$ 750,000	
3.04	3rd Floor	1	5,475	5,475	5,475	\$ 50.00	\$ 273,750	
3.05	34th Floor	1	15,750	15,750	15,750	\$ 50.00	\$ 787,500	
3.06	35th Floor	1	15,750	15,750	15,750	\$ 50.00	\$ 787,500	
3.07	36th Floor	1	15,750	15,750	15,750	\$ 50.00	\$ 787,500	
3.08	38th Floor	1	4,150	4,150	4,150	\$ 50.00	\$ 207,500	
<b>4.00</b>	<b>Existing Commercial Low Rise Upfit - Jefferson &amp; Main</b>							<b>\$ 690,000</b>
4.01	Upper Lobby	1	3,050	3,050	3,050	\$ 75.00	\$ 228,750	
4.02	3rd Floor	1	3,050	3,050	3,050	\$ 75.00	\$ 228,750	
4.03	4th Floor	1	1,850	1,850	1,850	\$ 75.00	\$ 138,750	
4.04	5th Floor	1	1,250	1,250	1,250	\$ 75.00	\$ 93,750	




# Financials

<b>5.00</b>	<b>Existing Parking (Repair / Upgrades)</b>							<b>\$</b>	<b>4,585,750</b>
5.01	Basement	1	17,400	17,400	17,400	\$	15.00	\$	261,000
5.02	Lower Lobby	1	12,050	12,050	12,050	\$	15.00	\$	180,750
5.03	Upper Lobby	1	11,725	11,725	11,725	\$	15.00	\$	175,875
5.04	3rd Floor	1	12,050	12,050	12,050	\$	15.00	\$	180,750
5.05	4th Floor	1	46,950	46,950	46,950	\$	15.00	\$	704,250
5.06	5th Floor	1	46,950	46,950	46,950	\$	15.00	\$	704,250
5.07	6th Floor	1	46,950	46,950	46,950	\$	15.00	\$	704,250
5.08	7th Floor	1	46,950	46,950	46,950	\$	15.00	\$	704,250
5.09	MEP / Sprinkler Upgrades	1	194,075			\$	5.00	\$	970,375
<b>6.00</b>	<b>New Shell &amp; Structure</b>							<b>\$</b>	<b>6,707,563</b>
6.01	Skin Reconfiguration for Retail 1500 ( 4 Floors)	1	7,050			\$	75.00	\$	528,750
6.02	Skin Reconfiguration for Retail 600 ( 3 Floors)	1	2,800			\$	75.00	\$	210,000
6.03	Skin Reconfiguration for Retail 1200 (2 Floors)	1	3,500			\$	75.00	\$	262,500
6.04	Demolition / Abatement of back half of Retail	1	10,000			\$	30.00	\$	300,000
6.05	Demolition / Abatement of Existing Retail to remain	1	3,300			\$	20.00	\$	66,000
6.06	New Upper Lobby Retail 6,000 (1 Floor)	1	6,000			\$	130.00	\$	780,000
6.07	Residential Skin & Structure (1st & 2nd)	2	7,188			\$	75.00	\$	1,078,125
6.08	Residential Skin & Structure (3rd-6th)	4	12,813			\$	55.00	\$	2,818,750
6.09	Residential Skin & Structure (7th)	1	12,063			\$	55.00	\$	663,438
<b>7.00</b>	<b>New Residential Upfit</b>							<b>\$</b>	<b>12,690,000</b>
7.01	Lower Lobby	1	7,500	7,500	7,500	\$	135.00	\$	1,012,500
7.02	Upper Lobby	1	7,500	7,500	7,500	\$	135.00	\$	1,012,500
7.03	3rd Floor	1	14,250	14,250	14,250	\$	135.00	\$	1,923,750
7.04	4th Floor	1	14,250	14,250	14,250	\$	135.00	\$	1,923,750
7.05	5th Floor	1	14,250	14,250	14,250	\$	135.00	\$	1,923,750
7.06	6th Floor	1	14,250	14,250	14,250	\$	135.00	\$	1,923,750
7.07	7th Floor	1	22,000	22,000	22,000	\$	135.00	\$	2,970,000
<b>8.00</b>	<b>New Commercial Upfit</b>							<b>\$</b>	<b>300,000</b>
8.01	New Upper Lobby Retail 6,000 (1 Floor)	1	6,000	6,000	6,000	\$	50.00	\$	300,000
<b>9.00</b>	<b>New Parking Deck</b>							<b>\$</b>	<b>12,399,500</b>
9.01	Basement	1	35,000	35,000	35,000	\$	110.00	\$	3,850,000
9.02	Lower Lobby			-	-	\$	70.00	\$	-
9.03	Upper Lobby	1	19,650	19,650	19,650	\$	70.00	\$	1,375,500
9.04	3rd Floor	1	19,650	19,650	19,650	\$	70.00	\$	1,375,500
9.05	4th Floor	1	19,650	19,650	19,650	\$	70.00	\$	1,375,500
9.06	5th Floor	1	19,650	19,650	19,650	\$	70.00	\$	1,375,500
9.07	6th Floor	1	19,650	19,650	19,650	\$	70.00	\$	1,375,500
9.08	Shoring	1	16,720			\$	100.00	\$	1,672,000
<b>10.00</b>	<b>Site</b>							<b>\$</b>	<b>2,000,000</b>
10.01	Site Allowance - Sidewalks, Landscaping, Fencing and Plaza Area	1	1			\$	2,000,000	\$	2,000,000
<b>11.00</b>	<b>Project Contingency</b>							<b>\$</b>	<b>25,564,694</b>
11.01	Project Construction Contingency & Escalation	1	15%			\$	25,564,694	\$	25,564,694
<b>11.00</b>	<b>Program Budget Total</b>			<b>1,033,440</b>	<b>1,033,440</b>	<b>\$</b>	<b>189.65</b>	<b>\$</b>	<b>195,995,986</b>

# Financials

## Proforma, Sources & Uses

Our project proforma and sources & uses are shown below. Further breakdown of our assumptions can be provided upon request.

Purchase Price		100 N Main - Development Proforma Summary		CAP (at Stabilization)				
PP	\$ 5,000,000			CAP (at Stabilization) <b>6.55%</b>				
Total	\$ 5,000,000							
Capitalization		Debt Structure						
Equity	\$ 21,862,597	Start (YR)	1					
Debt	\$ 80,286,600	End (YR)	40					
LIHTC/HTC	\$ 112,149,197	Loan Type	HUD Loan					
Accelerate Memphis Fund	\$ 10,000,000	Amount	\$ 80,286,600					
Total	\$ 224,298,394	Finance Costs	\$ 2,197,308					
		Debt Service during Construction	\$ 4,000,000					
Proposed Areas		Total SF						
Residential	505,825	996,271						
Retail / Commercial	67,371	Parking Spaces 838						
Club, Restaurant and Event Space	51,400	Costs \$PSF						
Parking	371,675	Total Cost \$PGSF \$ 225.14						
Total SF	996,271							
Parking Spaces	838							
INCOME PROJECTIONS - (at full stabilization - Year 5)								
Gross Income Per Use	Unit Count	Gross SF	Net SF	Lease Type	\$PSF (Yr)	Occupancy (%)	Rent (Mo)	Rent (Yr.)
Residential Income	542	505,825	404,852			95%	434,401	5,212,810
Residential - Other Income (1%)							4,344	52,128
Retail / Commercial		67,371	67,371	NNN	32.50	93%	169,691	2,036,288
Club, Restaurant and Event Space		51,400	51,400	NNN	32.50	93%	129,464	1,553,565
Office				FSG		0%	0	
Parking Spaces	838			Per Stall / Annum	900.00	100%	62,850	754,200
<b>Effective Gross Income</b>							<b>800,749</b>	<b>9,608,991</b>
Fixed Expenses								
Taxes							48,625	583,498
Management							24,022	288,270
Insurance							14,679	176,150
Utilities							33,875	406,500
Variable Expenses								
Payroll							45,167	542,000
Admin							18,067	216,800
Contract Services							<b>22,583</b>	271,000
R&M							22,583	271,000
<b>Total Operating Expenses</b>							<b>229,601</b>	<b>2,755,218</b>
Replacement Reserves							13,550	162,600
<b>NOI</b>							<b>557,598</b>	<b>6,691,173</b>

\*Residential rents are underwritten at an average of 60% of AMI

Sources		Uses	
Equity	21,862,597	Purchase Price	5,000,000.00
Debt	80,286,600	Hard Costs	170,431,292.50
LIHTC/HTC	112,149,197	TI & LC	6,876,130.00
Accelerate Memphis Fund	10,000,000	Soft Costs - A&E and Carry	7,500,000.00
		Debt Service during construction	4,000,000.00
		Origination, Finance costs	2,197,308.30
		Contingency (15%)	25,564,693.88
		HEHFB's PILOT Closing Fee	2,728,969.39
<b>Total</b>	<b>224,298,394.06</b>	<b>Total</b>	<b>224,298,394.06</b>

# Financials



**To:** A to be formed SPE controlled by Tom Intrator  
**From:** Bill O'Brien  
**Date:** August 27, 2021  
**Re:** Proposed 536-unit LIHTC development  
 100 N Main St.  
 Memphis

Arbor Commercial Funding, LLC ("Arbor") has reviewed the request for financing, and based on a limited review, has interest in providing financing at the following terms:

FHA Section 221(d)(4) Conditional Loan Terms	
Loan Amount	\$80,286,600
Loan Term	Up to 40 Years (Limited to 75% of Remaining Economic Useful Life of Property as determined by Arbor and HUD)
Amortization (act/360)	Up to 40 Years (Will match Loan Term)
Note Rate	2.93%
Prepayment	1 year lockout followed by 9% of the outstanding principal balance in Year 2, declining 1% per year thereafter. No prepayment penalty after 10 years.
Arbor Commitment Fee	1.0%
Application/Legal Deposit	\$50,000
Recourse	Non-Recourse
Borrowing Entity	Single Asset and Single Purpose Entity
Minimum DSCR	1.30x
Maximum LTV/LTC	80%
HUD Mortgage Insurance	0.75% of the Loan Amount payable at Closing and 0.25% of the Loan Amount calculated annually and included with the debt service constant calculation.
HUD Exam Fee	0.30% of the Loan Amount payable at submission of application for Firm Commitment to HUD.
HUD Inspection Fee	The HUD inspection fee is \$5 per thousand of the mortgage amount for new construction and \$5 per thousand of improvement costs for substantial rehabilitation.
Estimated Replacement Reserves	Estimated to be \$250/unit per annum funded at Closing (final amount will be determined based upon the PCNA report)
Comments	<p><sup>1</sup> Prior to initiating processing and underwriting, Arbor will discuss the Project with the applicable HUD office. The proposed terms herein are subject to HUD's endorsement of the feasibility of the Project based on its current assessment of property operations, economic conditions and the supply and demand factors in the Project's market.</p> <p><sup>1</sup> The Proposed Loan assumes that demand from non-military households is sufficient to sustain occupancy in both the subject property and the market as a whole. This must be confirmed by the appraisal.</p> <p><sup>1</sup> The Proposed Loan assumes HUD approval of commercial income and space</p> <p><sup>1</sup> The Proposed Loan assumes project will qualify for Green MIP</p> <p><sup>1</sup> Arbor's underwriting is subject to the appraiser's confirmation of Borrower's estimated rents, other income, vacancy, and expenses appropriate for the market.</p> <p><sup>1</sup> Arbor's credit and financial analysis of the Borrower is subject to its review of the proposed Borrower structure. Generally, individuals or entities holding controlling interests and/or ownership interests of 25% or greater in the Borrower are considered Principals and must be underwritten for HUD approval.</p> <p><sup>1</sup> The estimated Interest Rate reflects the current applicable U.S. Treasury yield and current market conditions for the spread. Both the Treasury yield and spread are subject to movement based on market conditions and/or FHA program changes. The Interest Rate will fluctuate until Rate Lock.</p>

**DISCLAIMER**

All properties are subject to satisfactory Arbor due diligence underwriting including: satisfactory appraisal and Phase I (documenting no environmental risks), satisfactory credit review of the borrowing entity and Key Principals, and satisfactory review of the property's market and submarket. Please note this letter of interest serves to outline the terms of the proposed financing of the referenced transaction. If the proposed terms are acceptable, Arbor would begin processing a formal application letter, based on the above terms, subject to receipt of any additional property, market, and borrower information deemed necessary to complete the preliminary loan analysis.



August 26, 2021

To Whom It May Concern,

This letter is in reference to the proposed acquisition and development of 100 North Main Street, Memphis, TN 38103 by an entity to be controlled by Tom Intrator.

Arbor Realty Trust has worked with Tom Intrator for several years closing our first transaction together in 2013. Since then, we have closed on both acquisitions as well as refinancing transactions across multiple platforms including Fannie Mae, Freddie Mac, HUD, CMBS and Bridge. Such transactions have totaled in excess of \$200mm which have since been repaid in full.

Sincerely,

A handwritten signature in black ink that reads "Noah Passage". The signature is written in a cursive, flowing style.

Noah Passage  
Agency Production Associate

**ARBOR REALTY TRUST, INC.**

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# 18 MAIN

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