



DESIGN REVIEW BOARD APPLICATION

**Administered by:
Design Review Board**

Property Address*: 440 Monroe Avenue Memphis, TN 38103

Applicant Name & Mailing Address: Six Land Company, LLC - 215 Union St. STE 400 Jonesboro, AR 72401

Applicant Phone Number: 720-498-4651 Applicant Fax Number: N/A

Property Owner's Name & Mailing Address: Andrew Berner - 215 Union St STE 400 Jonesboro, AR 72401

Property Owner's Phone Number: 870-476-0410

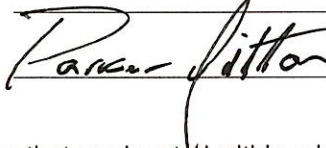
The proposed work consists of the following (check all that apply):

- Sign Renovation
New Building Other Exterior Alteration

Project Description: New 4 story multifamily complex that will have ground floor parking and 105 units between floors 2-4. Units will be approx 400 sq ft and come furnished with utilities and WIFI paid.

Status of Project: In review

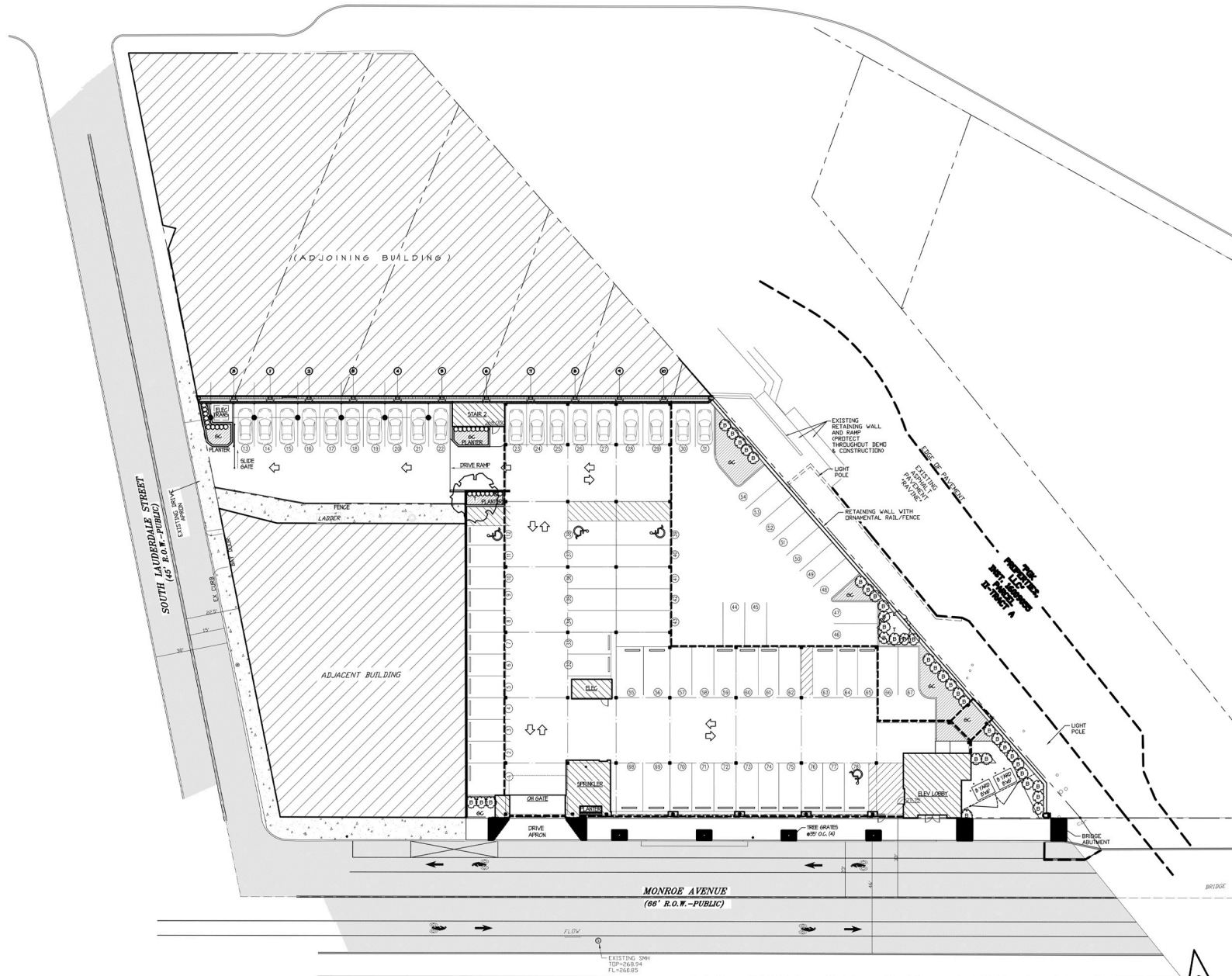
A complete application must be submitted to the Development Department no later than three weeks before a regularly scheduled meeting of the Design Review Board. Please submit the application with any necessary attachments to designreview@downtownmemphis.com. Questions can also be e-mailed to designreview@downtownmemphis.com, or you can reach Planning & Development staff at (901) 575 - 0540.

Owner/Applicant Signature: 

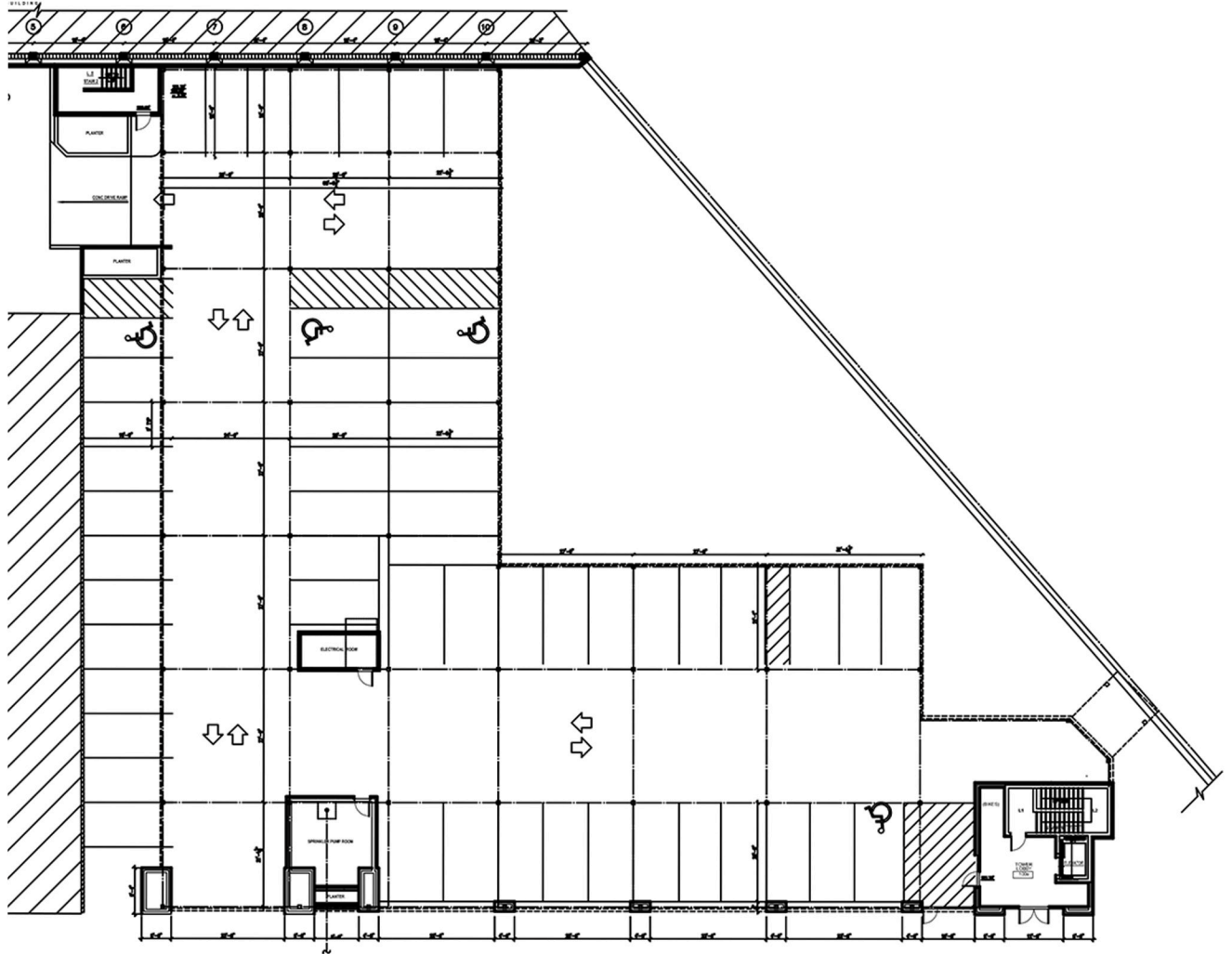
Date: 9/8/22

*Applications for properties that are located within a Landmarks Historic District may require additional approval from the Landmarks Commission. Please contact the Shelby County Division of Planning & Development at (901) 576-6601 for more information.

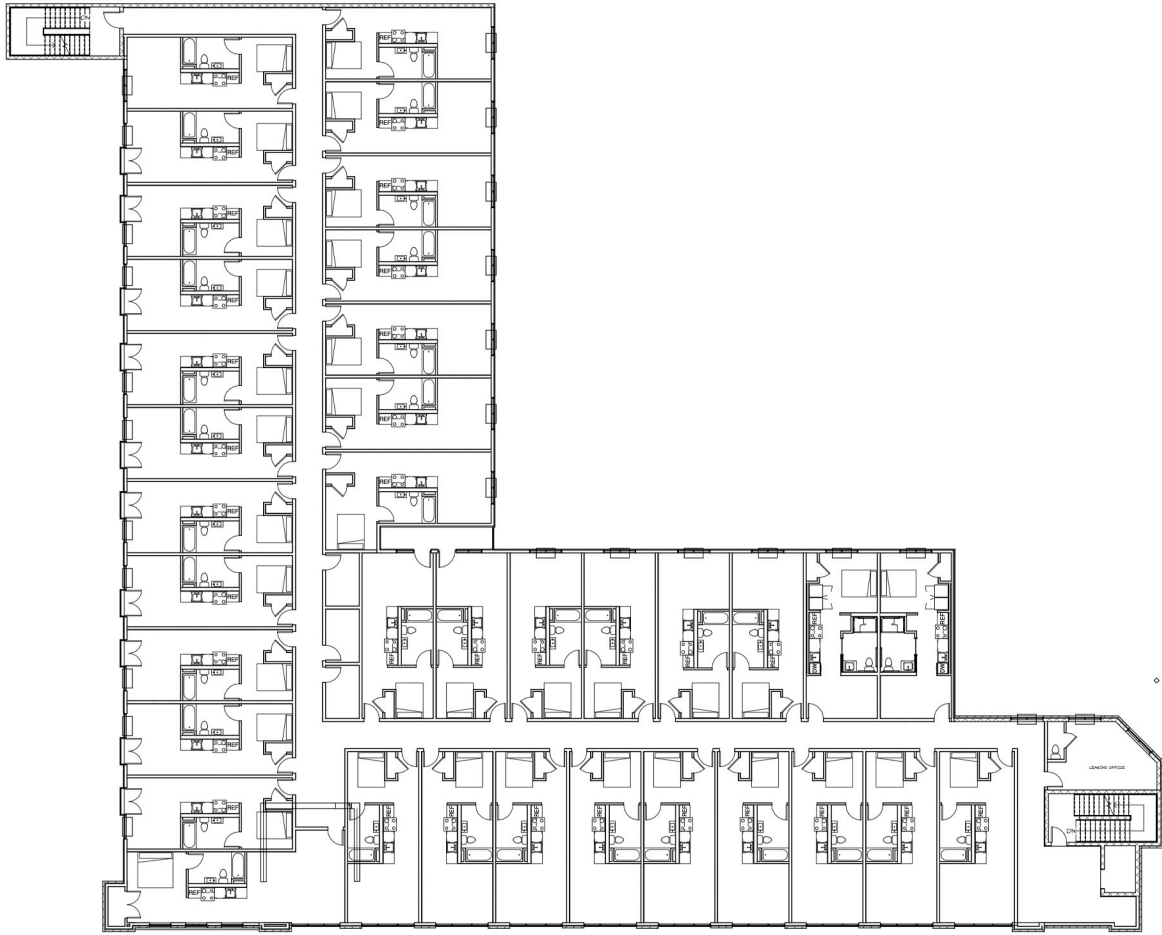
UNIVERSITY LOFTS



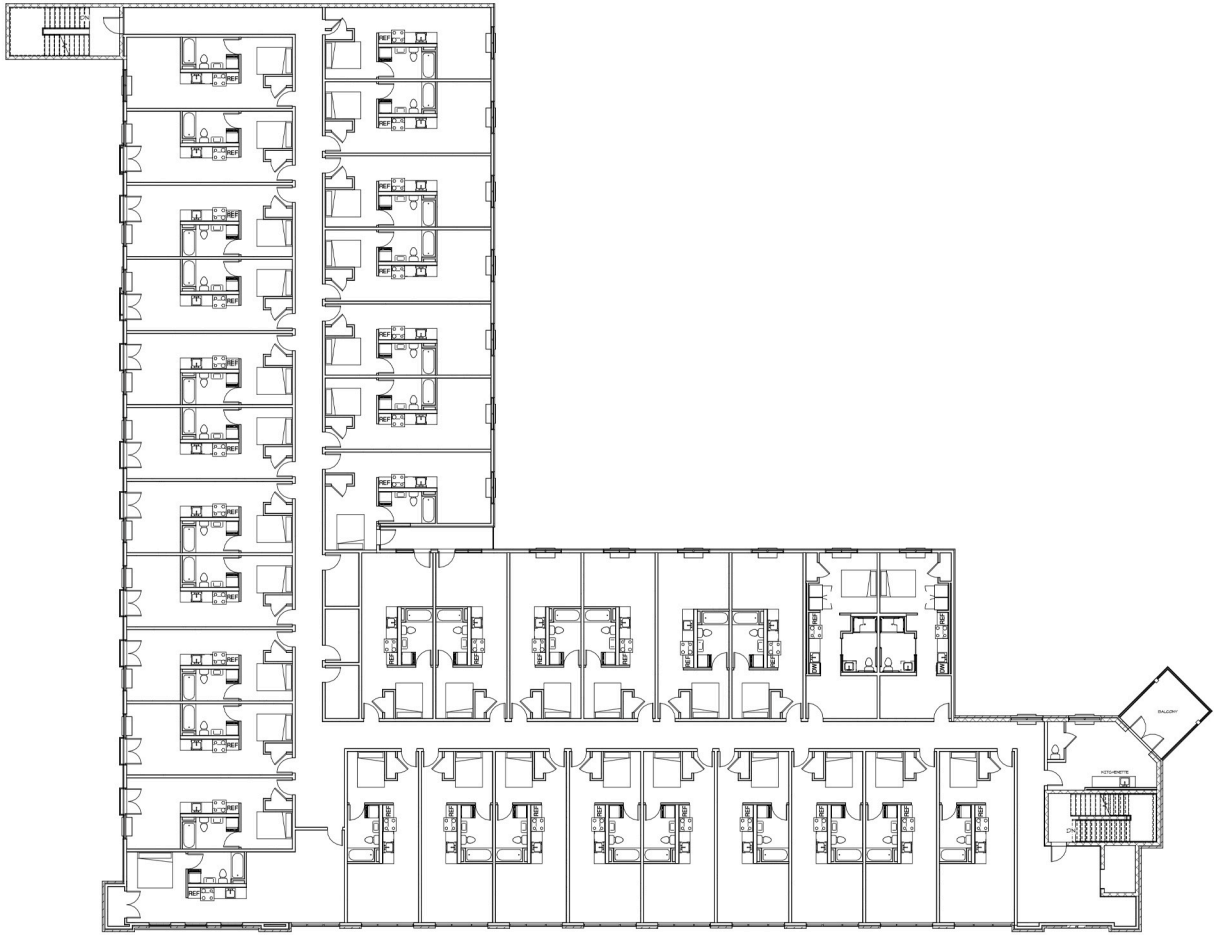
SITE PLAN 



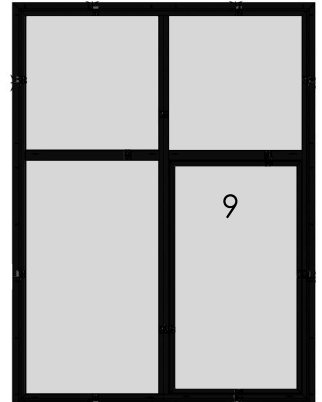
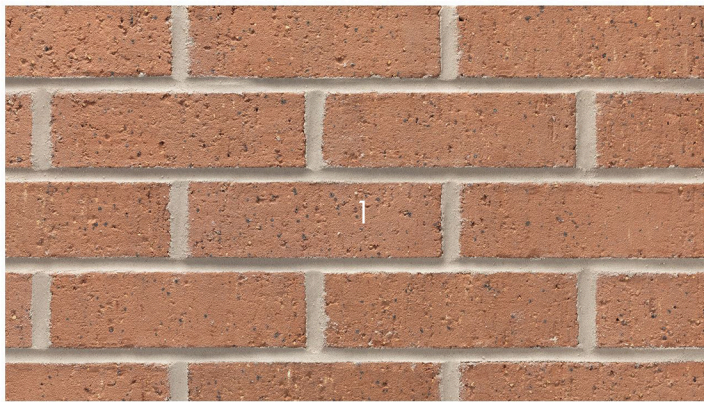
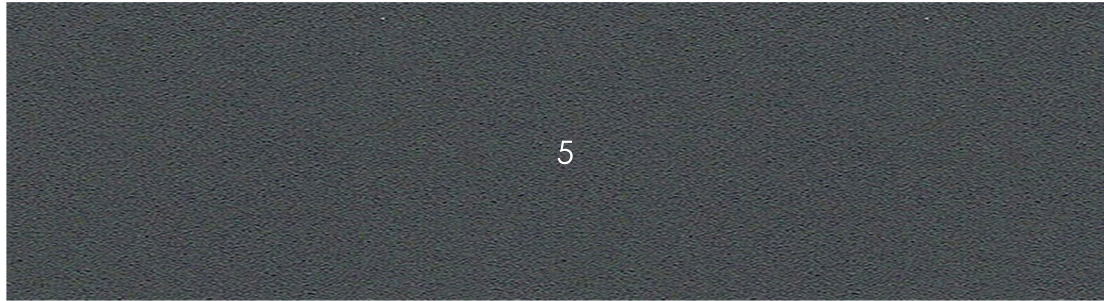
LEVEL 1 FLOOR PLAN 



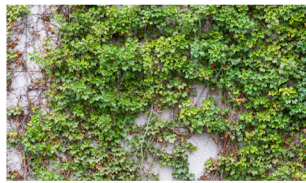
LEVEL 2 FLOOR PLAN 



LEVELS 3-4 FLOOR PLAN 



- 1 MASONRY VENEER: ACME DTP244 ACADEMY - HERITAGE
- 2 PRECAST CONCRETE CAP
- 3 VINYL CASEMENT WINDOW - BLACK
- 4 PREFINISHED STOREFRONT SYSTEM - BLACK
- 5 EIFS - DRYVIT (OR SIM BRAND): GRANITE GRAY
- 6 PREFINISHED METAL CANOPY: BLACK
- 7 BRICK RELIEF
- 8 ALUMINUM CASEMENT WINDOW (PEERLESS): BLACK
- 9 FIBER CEMENT SIDING (VERTICAL): COPPER PENNY
- 10 STAINLESS STEEL TRELLIS SYSTEM
- 11 CONCRETE & STEEL ENGINEERED RETAINING WALL
- 12 COMPOSITE DECK FENCE SYSTEM (TREX OR SIM): SELECT SADDLE



- 1 MASONRY VENEER: ACME DTP244 ACADEMY - HERITAGE
- 2 PRECAST CONCRETE CAP
- 3 VINYL CASEMENT WINDOW - BLACK
- 4 PREFINISHED STOREFRONT SYSTEM - BLACK
- 5 EIFS - DRYVIT (OR SIM BRAND): GRANITE GRAY
- 6 PREFINISHED METAL CANOPY: BLACK
- 7 BRICK RELIEF
- 8 ALUMINUM CASEMENT WINDOW (PEERLESS): BLACK
- 9 FIBER CEMENT SIDING (VERTICAL): COPPER PENNY
- 10 STAINLESS STEEL TRELLIS SYSTEM
- 11 CONCRETE & STEEL ENGINEERED RETAINING WALL
- 12 COMPOSITE DECK FENCE SYSTEM (TREX OR SIM): SELECT SADDLE



SOUTH FACADE: MONROE AVE

PROPOSED MATERIALS

- 1 MASONRY VENEER: ACME DTP244 ACADEMY - HERITAGE
- 2 PRECAST CONCRETE CAP
- 3 VINYL CASEMENT WINDOW - BLACK
- 4 PREFINISHED STOREFRONT SYSTEM - BLACK
- 5 EIFS - DRYVIT (OR SIM BRAND): GRANITE GRAY
- 6 PREFINISHED METAL CANOPY: BLACK
- 7 BRICK RELIEF
- 8 ALUMINUM CASEMENT WINDOW (PEERLESS): BLACK
- 9 FIBER CEMENT SIDING (VERTICAL): COPPER PENNY
- 10 STAINLESS STEEL TRELLIS SYSTEM
- 11 CONCRETE & STEEL ENGINEERED RETAINING WALL
- 12 COMPOSITE DECK FENCE SYSTEM (TREX OR SIM): SELECT SADDLE
- 13 CEMENTITIOUS MATERIAL PAINTED



SOUTH FACADE: MONROE AVE

PROPOSED MATERIALS

- 1 MASONRY VENEER: ACME DTP244 ACADEMY - HERITAGE
- 2 PRECAST CONCRETE CAP
- 3 VINYL CASEMENT WINDOW - BLACK
- 4 PREFINISHED STOREFRONT SYSTEM - BLACK
- 5 EIFS - DRYVIT (OR SIM BRAND): GRANITE GRAY
- 6 PREFINISHED BRASS METAL SIDING: BLACK
- 7 PREFINISHED METAL CANOPY: BLACK
- 8 BRICK RELIEF
- 9 ALUMINUM CASEMENT WINDOW (PEERLESS): BLACK
- 10 FIBER CEMENT SIDING (VERTICAL): COPPER PENNY
- 11 STAINLESS STEEL TRELLIS SYSTEM
- 12 CONCRETE & STEEL ENGINEERED RETAINING WALL
- 13 COMPOSITE DECK FENCE SYSTEM (TREX OR SIM): SELECT SADDLE

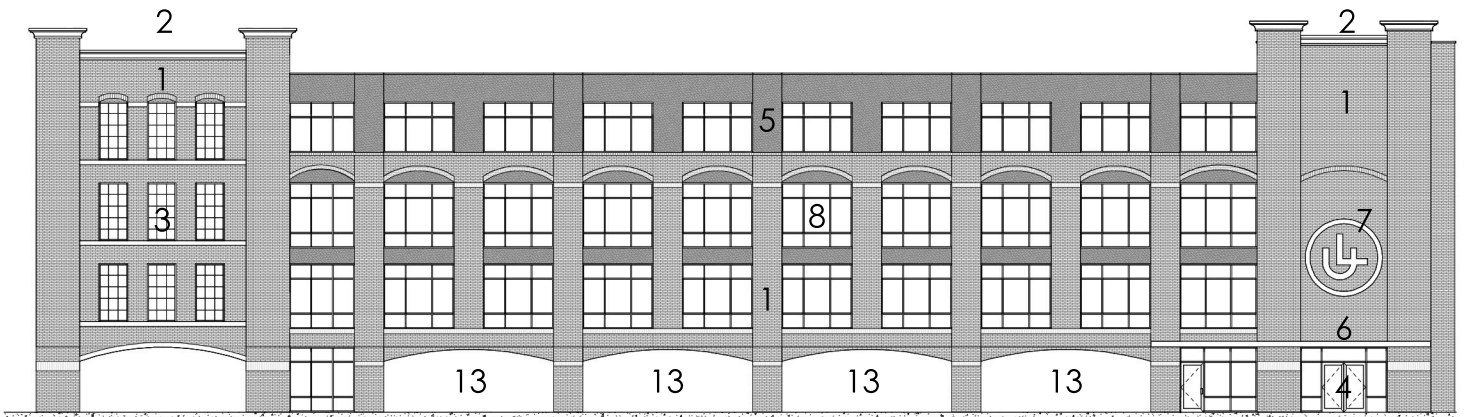


NORTH AND EAST FACADES: FROM THE RAVINE

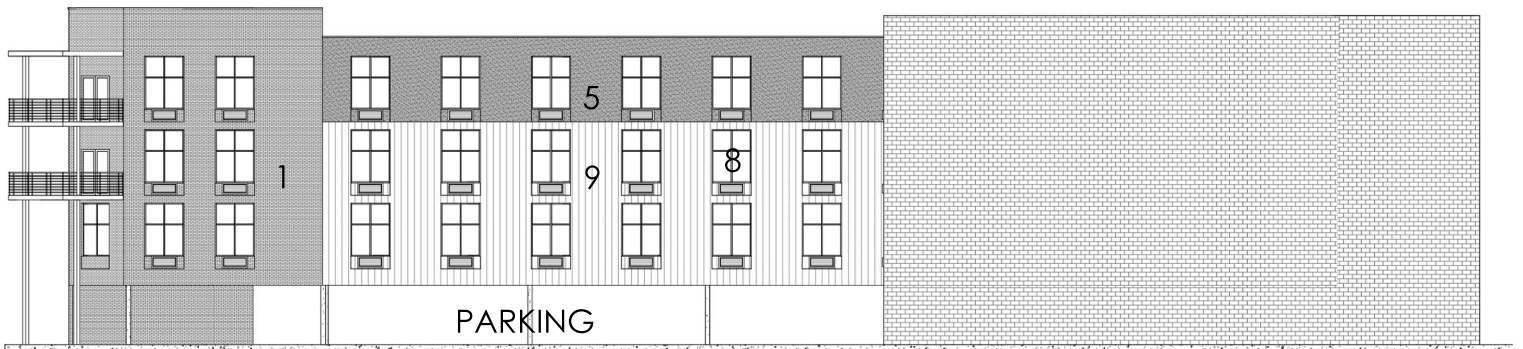
PROPOSED MATERIALS

- 1 MASONRY VENEER: ACME DTP244 ACADEMY - HERITAGE
- 2 PRECAST CONCRETE CAP
- 3 VINYL CASEMENT WINDOW - BLACK
- 4 PREFINISHED STOREFRONT SYSTEM - BLACK
- 5 EIFS - DRYVIT (OR SIM BRAND): GRANITE GRAY
- 6 PREFINISHED BRAKE METAL SIDING: BLACK
- 7 PREFINISHED METAL CANOPY: BLACK
- 8 BRICK RELIEF
- 9 ALUMINUM CASEMENT WINDOW (PEERLESS): BLACK
- 10 FIBER CEMENT SIDING (VERTICAL): COPPER PENNY
- 11 STAINLESS STEEL TRELLIS SYSTEM
- 12 CONCRETE & STEEL ENGINEERED RETAINING WALL
- 13 COMPOSITE DECK FENCE SYSTEM (TREX OR SIM): SELECT SADDLE

UNIVERSITY LOFTS



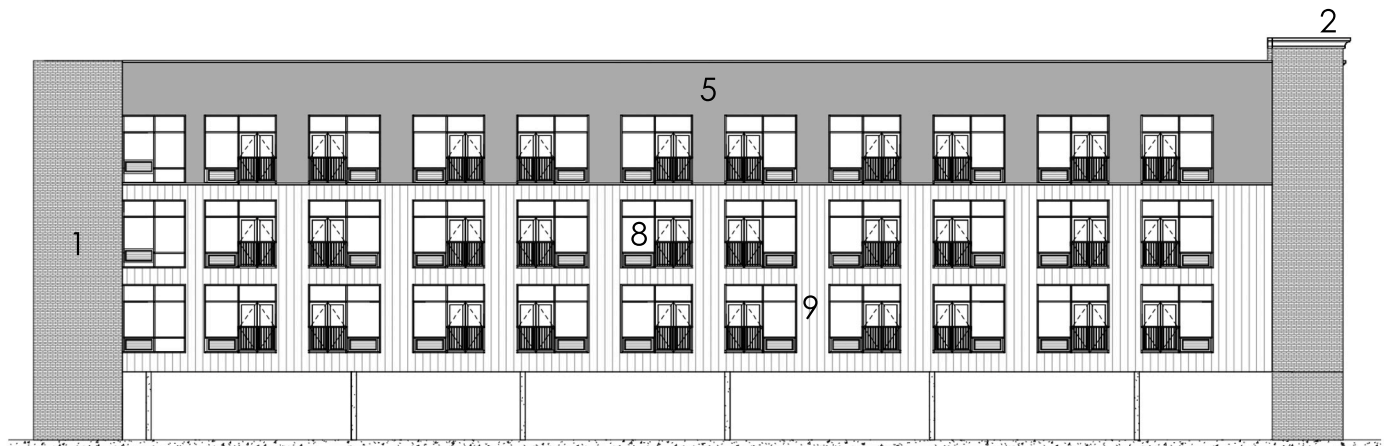
SOUTH ELEVATION



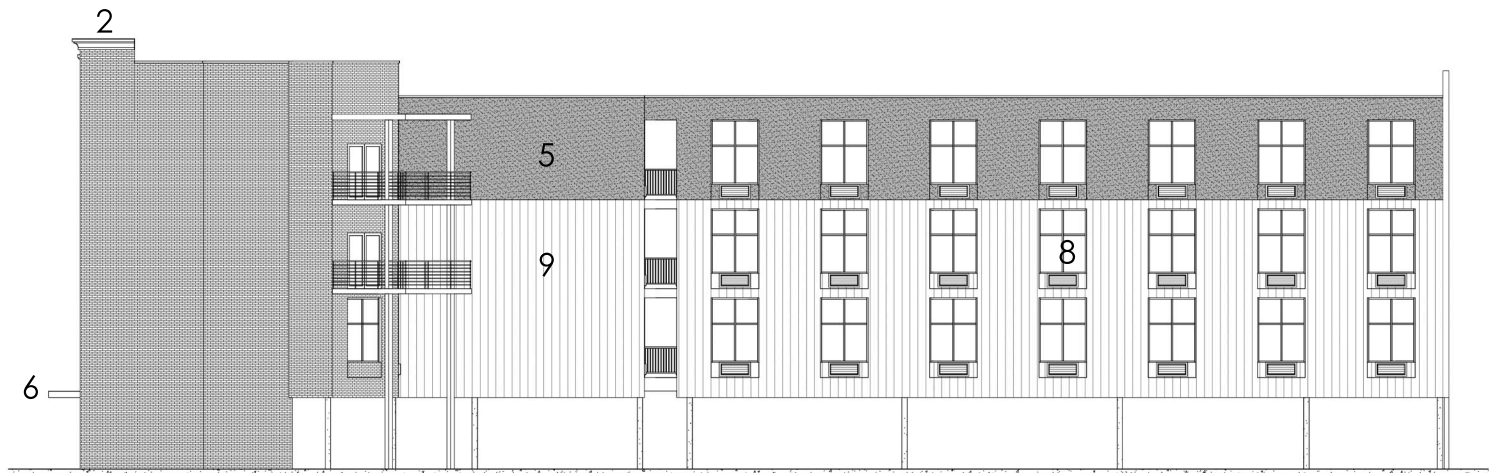
NORTH ELEVATION

- 1 MASONRY VENEER: ACME DTP244 ACADEMY - HERITAGE
- 2 PRECAST CONCRETE CAP
- 3 VINYL CASEMENT WINDOW - BLACK
- 4 PREFINISHED STOREFRONT SYSTEM - BLACK
- 5 EIFS - DRYVIT (OR SIM BRAND): GRANITE GRAY
- 6 PREFINISHED METAL CANOPY: BLACK
- 7 BRICK RELIEF
- 8 ALUMINUM CASEMENT WINDOW (PEERLESS): BLACK
- 9 FIBER CEMENT SIDING (VERTICAL): COPPER PENNY
- 10 STAINLESS STEEL TRELLIS SYSTEM
- 11 CONCRETE & STEEL ENGINEERED RETAINING WALL
- 12 COMPOSITE DECK FENCE SYSTEM (TREX OR SIM): SELECT SADDLE
- 13 CEMENTITIOUS MATERIAL PAINTED

UNIVERSITY LOFTS



WEST ELEVATION



EAST ELEVATION

- 1 MASONRY VENEER: ACME DTP244 ACADEMY - HERITAGE
- 2 PRECAST CONCRETE CAP
- 3 VINYL CASEMENT WINDOW - BLACK
- 4 PREFINISHED STOREFRONT SYSTEM - BLACK
- 5 EIFS - DRYVIT (OR SIM BRAND): GRANITE GRAY
- 6 PREFINISHED METAL CANOPY: BLACK
- 7 BRICK RELIEF
- 8 ALUMINUM CASEMENT WINDOW (PEERLESS): BLACK
- 9 FIBER CEMENT SIDING (VERTICAL): COPPER PENNY
- 10 STAINLESS STEEL TRELLIS SYSTEM
- 11 CONCRETE & STEEL ENGINEERED RETAINING WALL
- 12 COMPOSITE DECK FENCE SYSTEM (TREX OR SIM): SELECT SADDLE

UNIVERSITY  LOFTS



IEWS FROM MONROE AVE

UNIVERSITY  LOFTS



IEWS FROM MONROE AVE

UNIVERSITY LOFTS



VIEWS FROM THE RAVINE

UNIVERSITY LOFTS



SOURCES OF INSPITATION

BRICK VENEER

LARGE WINDOW OPENINGS

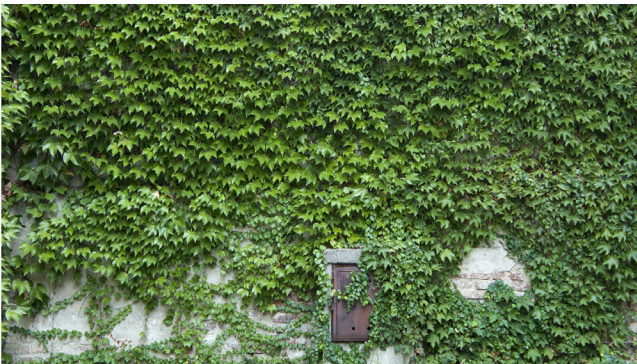
ARCHES

EIFS AND FIBER CEMENT SIDING

METAL CANOPY

EXTERIOR ART

GREEN WALL



UNIVERSITY LOFTS

University Lofts is 105-unit microloft development in the Edge District, currently experiencing a revitalization. The building will have ground level parking on site with a podium construction style that supports three levels of living units above. Total square feet is just over 58,000 square feet.

Some of the design features include using a brick veneer to portray a timeless quality and give a strong street presence, large window openings for natural light penetration, and the use of complementary materials on the “non-street” facades to add a contemporary feel to the project.

The Hernando Desoto bridge provided inspiration for graceful arches and bookends that resemble bridge pylons. The street-level parking lot is screened from view with solid material which acts as a display canvas for artists. The displayed art will enhance the pedestrian interaction with the building by providing an opportunity to view local artists' talent.

The intent is to place a building that looks as if it belongs in this neighborhood that invites a younger generation to give new life to an older part of the city.



SW 6349



Pennywise

Interior / Exterior

Location Number: 125-C6



COORDINATING COLORS

SIMILAR COLORS

DETAILS

[View All Orange Paint Colors →](#)

R:162 G:88 B:58 Hex Value:#a2583a LRV:15

Color Collections: Enriched Earth

A-100®

Exterior Latex Gloss

A08-Series


**SHERWIN
WILLIAMS®**

CHARACTERISTICS

A-100 Exterior Latex is a quality exterior finish. This product is recommended for use on aluminum, vinyl, and wood siding, clapboard, shakes, shingles, plywood, masonry, and metal down to a surface and air temperature of 35°F.

Color: Most Colors

Coverage: 350-400 sq. ft. per gallon
@ 4 mils wet; 1.5 mils dry

Drying Time, @ 50% RH:

	@ 35-45°F	@ 45°F +
Touch:	2 hours	2 hours
Recoat:	24-48 hours	4 hours

Drying and recoat times are temperature, humidity, and film thickness dependent

Finish: 35-45 units @ 60°

Tinting with CCE only:

Base:	oz. per gallon	Strength:
Extra White	0-6	SherColor
Deep Base	4-12	SherColor
Ultradeep Base	10-12	SherColor

Extra White A08W00251

(may vary by color)

VOC (less exempt solvents):
less than 50 grams per litre; 0.42 lbs. per gallon

As per 40 CFR 59.406

Volume Solids:	36 ± 2%
Weight Solids:	45 ± 2%
Weight per Gallon:	9.71 lbs
Flash Point:	N/A
Vehicle Type:	100% Acrylic
Shelf Life:	36 months unopened

Mildew Resistant

This coating contains agents which inhibit the growth of mildew on the surface of this coating film.

COMPLIANCE

As of 08/21/2020, Complies with:

OTC	Yes
OTC Phase II	Yes
SCAQMD	Yes
CARB	Yes
CARB SCM 2007	Yes
Canada	Yes
LEED® v4 & v4.1 Emissions	N/A
LEED® v4 & v4.1 VOC	Yes
EPD-NSF® Certified	N/A
MIR-Manufacturer Inventory	N/A
MPI®	Yes

APPLICATION

When the air temperature is at 35°F, substrates may be colder; prior to painting, check to be sure the air, surface, and material temperature are above 35°F and at least 5°F above the dew point. Avoid using if rain or snow is expected within 2-3 hours.

Do not apply at air or surface temperatures below 35°F or when air or surface temperatures may drop below 35°F within 48 hours.

No reduction necessary.

Brush: Use a nylon-polyester brush.

Roller: Use a high quality 3/8-3/4 inch nap synthetic roller cover.

For specific brushes and rollers, please refer to our Brush and Roller Guide.

Spray—Airless 2000 p.s.i.
Pressure .019-.021 inch
Tip

APPLICATION TIPS

Make sure product is completely agitated (mechanically or manually) before use.

SPECIFICATIONS

Standard latex primers cannot be used below 50°F. See specific primer label for that product's application conditions.

Aluminum & Aluminum Siding¹, Galvanized Steel¹

2 coats A-100 Exterior Latex

Concrete Block, CMU, Split face Block

1 coat Loxon Acrylic Block Surfacer

2 coats A-100 Exterior Latex

Brick, Stucco, Cement, Concrete

1 coat Loxon Concrete and Masonry Primer³ or

Loxon Conditioner²

2 coats A-100 Exterior Latex

Cement Composition Siding/Panels

1 coat Loxon Concrete and Masonry Primer³ or

Loxon Conditioner²

2 coats A-100 Exterior Latex

Plywood

1 coat Exterior Latex Primer

2 coats A-100 Exterior Latex

***Vinyl Siding**

2 coats A-100 Exterior Latex

Wood, (Cedar, Redwood)⁴

1 coat Exterior Oil-Based Wood Primer²

2 coats A-100 Exterior Latex

¹ On large expanses of metal siding, the air, surface, and material temperatures must be 50°F or higher.

² Not for use at temperatures under 50°F. See specific primer label for that product's application conditions.

³ Not for use at temperatures under 40°F. See specific primer label for that product's application conditions.

⁴ Knots and some woods, such as redwood and cedar, contain a high amount of tannin, a colored wood extract. For best results on these woods, use a coat of Exterior Oil-Based Wood Primer.

Other primers may be appropriate.

When repainting involves a drastic color change, a coat of primer will improve the hiding performance of the topcoat color.

A-100®

Exterior Latex Gloss

SURFACE PREPARATION

WARNING! Removal of old paint by sanding, scraping or other means may generate dust or fumes that contain lead. Exposure to lead dust or fumes may cause brain damage or other adverse health effects, especially in children or pregnant women. Controlling exposure to lead or other hazardous substances requires the use of proper protective equipment, such as a properly fitted respirator (NIOSH approved) and proper containment and cleanup. For more information, call the National Lead Information Center at **1-800-424-LEAD** (in US) or contact your local health authority.

Remove all surface contamination by washing with an appropriate cleaner, rinse thoroughly and allow to dry. Existing peeled or checked paint should be scraped and sanded to a sound surface. Glossy surfaces should be sanded dull. Stains from water, smoke, ink, pencil, grease, etc. should be sealed with the appropriate primer-sealer. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

Aluminum and Galvanized Steel:

Wash to remove any oil, grease, or other surface contamination. All corrosion must be removed with sandpaper, wire brush, or other abrading method.

Cement Composition Siding/Panels:

Remove all dirt, dust, grease, oil, loose particles, laitance, foreign material, and peeling or defective coatings. Allow the surface to dry thoroughly. If the surface is new, test it for pH, if the pH is higher than 9, prime with Loxon Concrete & Masonry Primer.

Caulking:

Gaps between windows, doors, trim, and other through-wall openings can be filled with the appropriate caulk after priming the surface.

Concrete, Masonry, Cement, Block:

All new surfaces must be cured according to the supplier's recommendations—usually about 30 days. Remove all form release and curing agents. Rough surfaces should be filled to provide a smooth surface. If painting cannot wait 30 days, allow the surface to cure 7 days and prime the surface with Loxon Concrete & Masonry Primer/Sealer. Cracks, voids, and other holes should be repaired with an elastomeric patch or sealant. **Concrete masonry units (CMU)** - Surface should be thoroughly clean and dry. Air, material and surface temperatures must be at least 50°F (10°C) before filling. Use Loxon Acrylic Block Surfacer. The filler must be thoroughly dry before topcoating.

Stucco:

Remove any loose stucco, efflorescence, or laitance. Allow new stucco to cure at least 30 days before painting. If painting cannot wait 30 days, allow the surface to dry 7 days and prime with Loxon Concrete & Masonry Primer. Repair cracks, voids, and other holes with an elastomeric patch or sealant.

SURFACE PREPARATION

Mildew:

Prior to attempting to remove mildew, it is always recommended to test any cleaner on a small, inconspicuous area prior to use. Bleach and bleaching type cleaners may damage or discolor existing paint films. Bleach alternative cleaning solutions may be advised.

Mildew may be removed before painting by washing with a solution of 1 part liquid bleach and 3 parts water. Apply the solution and scrub the mildewed area. Allow the solution to remain on the surface for 10 minutes. Rinse thoroughly with water and allow the surface to dry before painting. Wear protective eyewear, waterproof gloves, and protective clothing. Quickly wash off any of the mixture that comes in contact with your skin. Do not add detergents or ammonia to the bleach-water solution.

Previously Painted Surfaces:

If in sound condition, clean the surface of all foreign material. Smooth, hard or glossy coatings and surfaces should be dulled by abrading the surface. Apply a test area, allowing paint to dry one week before testing adhesion. If adhesion is poor, additional abrasion of the surface and/or removal of the previous coating may be necessary. Retest surface for adhesion. If paint is peeling or badly weathered, clean surface to sound substrate and treat as a new surface as above. Recognize that any surface preparation short of total removal of the old coating may compromise the service length of the system.

Steel:

Rust and mill scale must be removed using sandpaper, wire brush, or other abrading method. Bare steel must be primed the same day as cleaned.

***Vinyl or other PVC Building Products:**

Clean the surface thoroughly by scrubbing with warm, soapy water. Rinse thoroughly, if needed prime with appropriate white primer. Do not paint vinyl with any color darker than the original color. Do not paint vinyl with a color having a Light Reflective Value (LRV) of less than 56. Painting with darker colors lower than an LRV of 56 may cause vinyl to warp. Follow all painting guidelines of the vinyl manufacturer when painting. Only paint properly installed vinyl siding. Deviating from the manufacturer's painting guidelines may cause the warranty to be voided.

Wood, Plywood, Composition Board:

Clean the surface thoroughly then sand any exposed wood to a fresh surface. Patch all holes and imperfections with a wood filler or putty and sand smooth. All new and patched areas must be primed. Knots and some woods, such as redwood and cedar, contain a high amount of tannin, a colored wood extract. If applied to these bare woods, it may show some staining. If staining persists, spot prime severe areas with 1 coat of Exterior Oil-Based Wood Primer prior to using.

CAUTIONS

For Exterior use only

Protect from freezing

Non-photochemically reactive

Not for use on floors.

Before using, carefully read **CAUTIONS on label**

ZINC: Use only with adequate ventilation. To avoid overexposure, open windows and doors or use other means to ensure fresh air entry during application and drying. If you experience eye watering, headaches, or dizziness, increase fresh air, or wear respiratory protection (NIOSH approved) or leave the area. Avoid contact with eyes and skin. Wash hands after using. Keep container closed when not in use. Do not transfer contents to other containers for storage. **FIRST AID:** In case of eye contact, flush thoroughly with large amounts of water. Get medical attention if irritation persists. If swallowed, call Poison Control Center, hospital emergency room, or physician immediately. **WARNING:** This product contains chemicals known to the State of California to cause cancer and birth defects or other reproductive harm. **DO NOT TAKE INTERNALLY. KEEP OUT OF THE REACH OF CHILDREN.**

HOTW 03/30/2020 A08W00251 11 34
FRC, SP

CLEANUP INFORMATION

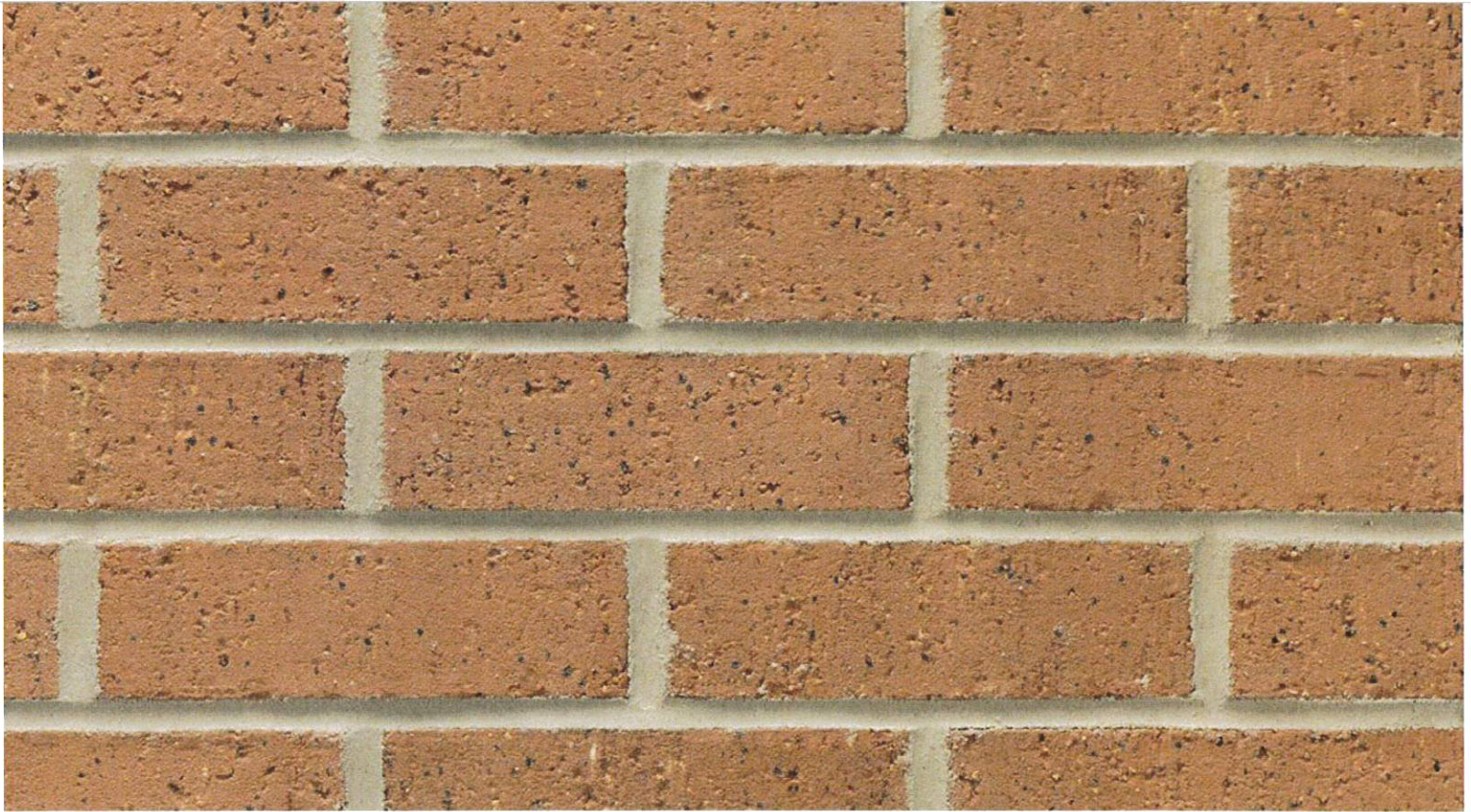
Clean spills, splatters, hands and tools immediately after use with soap and warm water. After cleaning, flush spray equipment with compliant cleanup solvent to prevent rusting of the equipment. Follow manufacturer's safety recommendations when using solvents.



brick.com

Acme Brick. The Best Thing To
Have Around Your House.

[HOMEBUYER](#) ▾ [BUILDER](#) ▾ [ARCHITECT](#) ▾ [PRODUCTS](#) ▾ [BROCHURES](#) ▾ [CAREERS](#) [Q](#)



Blend: DTP244

Size: Modular

Texture: Heritage

Acme Brick - Denton Plant

PART 1 - GENERAL

1.01 RELATED DOCUMENTS

Drawings and general provisions of Contract, including General and Supplementary Conditions and Division 1 Specification sections, apply to work of this section.

1.02 WORK INCLUDED

- A. Brick units.
- B. Reinforcement, anchors, and accessories.

1.03 WORK INSTALLED BUT FURNISHED UNDER OTHER SECTIONS

- A. Section 05500 – Miscellaneous Metals: Loose steel lintels, foundation vents.
- B. Section 07600 – Flashing and Sheet Metal
- C. Section 07670 – Thru-Wall Flashing.

1.04 RELATED WORK

- A. Section 03300 – Cast in Place Concrete.
- B. Section 04100 – Mortar and Grout.
- C. Section 06100 - Rough Carpentry.
- D. Section 07920 - Caulking and Sealant.

1.05 SUBMITTALS

Submit samples of brick to reflect the full range of color, shades and surface texture of brick specified.

1.06 MOCKUP

- A. As soon as the brick and stone samples have been approved, deliver enough brick to the job site to construct a 6'-0" x 4'-0" sample wall panel, incorporating both metal stud backup and CMU backup.
- B. Construct the mockup panel using the brick, mortar, reinforcing, weep holes, tooling, and cleaning as specified.
- C. The approved sample panel shall be standard of workmanship.
- D. As construction proceeds, the first full panel of brickwork between expansion joints shall become the standard of workmanship for issues, such as head joint alignment, that are not apparent on the smaller mockup panel.
- E. Mockup panel shall not be removed until masonry work as required by this section has been completed.

1.07 ENVIRONMENTAL CONDITIONS

- A. Follow hot weather and cold weather requirements in the masonry code and specifications, TMS 402 and TMS 602.

1.08 DELIVERY, STORAGE AND HANDLING OF MATERIALS

Deliver, store, and handle materials to prevent inclusion of foreign materials and damage by water or weather. Store packaged materials in their original packages. Damaged or deteriorated materials shall be removed from the premises.

PART 2 - PRODUCTS

2.01 ACCEPTABLE BRICK MANUFACTURERS

- A. Products specified are manufactured by Acme Brick Company and are listed as a standard of quality. Brick shall match _____.
- B. Substitutions: Under provisions of Section 01600.

2.02 BRICK UNITS

- A. Standard Face Brick: Shall be Brick shall be FBS or HBS and shall be as follows: *(Add or removes sizes to fit project requirements.)*
 - a. Modular in size, 2 1/4 x 3 5/8 x 7 5/8 inches, and conform to the requirements of ASTM C 216 or C 652, Grade SW.
 - b. Kingsize 2 5/8 x 2 5/8 x 9 5/8 inches and conform to the requirements of ASTM C 216 or C 652, Grade SW. Field cut closers as required for half-bond pattern.
 - c. Utility 3 5/8 x 3 5/8 x 11 5/8 inches and conform to the requirements of ASTM C 216 or C 652, Grade SW. Field cut closers as required for half-bond pattern.
 - d. Utility Closer 3 5/8 x 3 5/8 x 7 5/8 inches and conform to the requirements of ASTM C 216 or C 652, Grade SW.
 - e. Norman 3 5/8 x 2 1/4 x 11 5/8 inches and conform to the requirements of ASTM C 216 or C 652, Grade SW. Field cut closers as required for half-bond pattern.
 - f. Estate 3 5/8 x 3 5/8 x 15 5/8 inches and conform to the requirements of ASTM C 216 or C 652, Grade SW. Field cut closers as required for half-bond pattern
 - g. Other sizes as specified and subject to availability
- B. Special shape face bricks shall be as detailed and at locations as indicated on the drawings.
- C. Furnish special uncured face brick in locations where cores would be exposed in finish work.

2.03 ANCHORS AND TIES

- A. Acceptable Manufacturers:
 - 1. Products of Hohmann and Barnard and Heckman Bldg. Products, conforming to specification requirements are acceptable.
 - 2. Substitutions: Under provisions of the General Provisions.
- B. Anchors:
 - 1. Slotted anchors of type DW10 shall be used with steel stud or wood stud backup walls, UNO.

2. Dur-O-Eye or equal anchors welded to joint reinforcing shall be used with masonry backup walls. Missing or damage anchors shall be replaced as necessary with DW19 anchors fastened to wall with corrosion resistant Tapcon screws.
3. Anchors and ties for stone veneer shall be as recommended by the manufacturer.
4. Zinc coating shall comply with ASTM A153-B2.

2.04 ACCESSORIES

- A. Weep Holes: Open head joints every third brick at lintels and other locations.
- B. Compressible Filler: Premolded, flexible cellular neoprene rubber filler strips complying with ASTM D 1056, Grade RE41E1, capable of compression up to 35% of width and thickness indicated.
- C. Mortar Net: Provide continuous Mortar Net along base of air space to catch mortar drippings. High-density polyethylene, 90% open mesh, dovetail shape.
- D. As an alternate to Mortar Net, every third brick may be left out at base of air space and cavity cleaned and inspected to be free of mortar droppings.

PART 3 - EXECUTION

3.01 LAYING AND SETTING BRICK

- A. Pre-wet all brick having initial rate of absorption greater than 30 before laying.
- B. Heat water and sand in cold weather. Do not lay brick in temperature below freezing unless such heating of materials and protection of work is properly provided for.
- C. The exterior surfaces of concrete and concrete masonry backup walls shall be damp-proofed before face brick are laid.
- D. All brickwork shall be laid true to dimensions, plumb, square, and in bond. All courses shall be level with joints of uniform width and height.
- E. Vertical joints in facing bond work shall be spaced so as to line up plumb and true, and all joints shall be as uniform as the type of brick will allow.
- F. Lay facing brick in full mortar bed with shoved head joints. Completely fill joints with mortar. Do not deep furrow bed joints.
- G. Allow space for caulking of joints at frames.
- H. Bond for facing brick shall be running bond or as shown on drawings. Match existing bond patterns unless noted otherwise.
- I. Anchor facing brick to metal studs or masonry backup at 16 inches o.c. vertically and 16 inches o.c. horizontally with adjustable anchors and ties.
- J. Joint thickness shall be such as to provide coursing pattern to match existing brickwork. When the joints have become thumbprint hard, all exposed joints shall be tooled with a sled-jointing tool. The jointer shall be larger than the width of the joints so that a complete contact is made along the edges of the units, compressing and sealing the surface of the joint. Joints shall be pointed as the tool proceeds.
- K. Form weep holes in head joints at face brick over shelf angles and lintels and where shown on the drawings.

Rake out bed joint mortar to clean flashing surface. Weep holes shall be filled with pref formed mesh type vent at bottom of head joints not more than 24 inches o.c.

- L. Keep air space clean of mortar at all times. Where brick extends below grade, fill brick cavity solid to level of flashing and slope mortar slightly to outside under flashing.
- M. When flashing is to be laid on or against masonry, the surface of the masonry shall be smooth and free from projections which might puncture the flashing material.
- N. Where fresh masonry joins masonry that is partially set or totally set, the exposed surface of the set masonry shall be cleaned and lightly wetted so as to obtain the best possible bond with the new work. All loose brick and mortar shall be removed.
- O. Expansion Joints:
 - 1. Vertical: Locate where indicated on drawings. Lay units to form a vertical joint free of mortar and of same width as normal head joint UNO.
 - 2. Horizontal: Locate under shelf angles and other dissimilar materials abutted by brick. Maintain a clear space at least 1/4-inch thick free of mortar. Inspect with trowel before installing backer rod and sealant.
 - 3. Sealant: Shall be in accordance with Section 07920.

3.02 FLASHINGS

Build in, as the work progresses all flashings which enter the masonry using the material and following the instructions of the appropriate section of the specifications.

Extend all flexible flashing 1" past face of wall and trim after tooling joints.

Where metal flashing or drip edge is shown, align drip with face of brick. Edge of flashing or drip edge shall be a simple hem rolled edge and not turned down.

3.03 OPENINGS AND HOLES

- A. Provide all openings and holes in masonry work. Provide all chases and recesses in masonry work of all types as indicated on the drawings and as required for pipes, ducts, and other work of Mechanical and Electrical contractors. Such work shall be accurately located by the contractor requiring the work, but masonry work shall not be constructed without giving other contractors due notices and opportunity to lay out or install such items as may be required for their work.
- B. Where required for installation of work of other contractors, leave openings as indicated on the drawing or as required to receive a later installation.
- C. After work of other contractors is in place, openings shall be neatly filled with masonry of the same type as in the adjoining surfaces.

3.04 SETTING AND BUILDING-IN

- A. Build-in materials occurring in any type of masonry construction that are furnished by other contractors. All built-in work shall be accurately placed, secured, held in position, and located by the contractor requiring the work.
- B. Set and built-in items of miscellaneous iron such as loose lintels and anchors required to complete all parts not connected to building framing.

- C. Set all anchor bolts required for the attachment of work to masonry.
- D. Build-in recesses, flashings, receivers, slots, anchors, sleeves and other work shown on Drawings.

3.05 PROTECTION

- A. At the end of each day's work, cover the tops of walls with canvas or other suitable material weighted down to keep water out of wall.

3.06 CLEANING BRICKWORK

- A. After pointing is done and wall is dry, clean face brick surface with dry brush.
- B. After 3 days clean with water and mild detergent or cleaners recommended by brick manufacturer. Do not use muriatic acid.
 - a. Wet brick surfaces thoroughly before applying cleaning solution.
 - b. Apply cleaning solution with bucket and brush or LOW PRESSURE spray.
 - c. Remove all stains and mortar streaks using stiff fiber bristle brush.
 - d. Rinse THOROUGHLY with water.
 - e. Protect windows, landscaping, and surrounding masonry surfaces from cleaning solution and rinse water.

END OF SECTION



VERSATILE AND ADAPTABLE TO MEET YOUR NEEDS.

The Lumishade canopy is an economical, highly versatile canopy system designed for a wide variety of applications. The roll-formed decking offers a high-load capacity and is delivered in pre-assembled sections to allow for ease of installation. This functional canopy protects from the elements without sacrificing design options and flexibility. The Lumishade canopy will stand the test of time, while keeping you on budget.

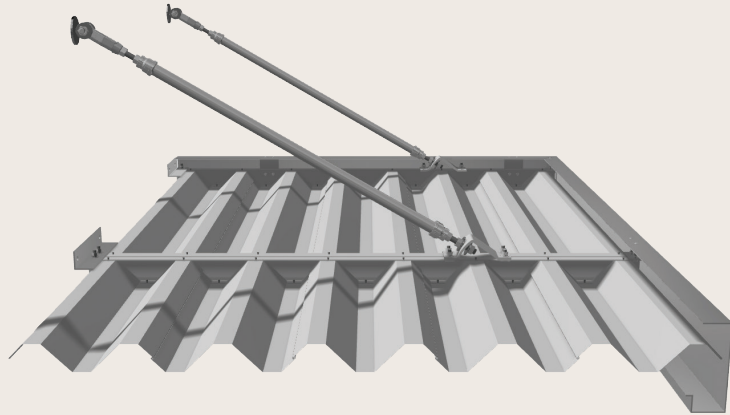
For more details, please visit mapes.com

LUMISHADE

TECHNICAL DATA

All Aluminum (T6 - 6063)
 Fascia .125"
 Decking .040" Roll-formed
 Deflection rating L/180
 Maximum Projection
 10' w/ hanger rod supports
 5' w/ cantilever supports

Note: Engineered stamped calcs available in all 50 states



CANOPY DETAILS

Finishes		Warranty		Application
Mapes Standard Finishes	Clear Anodized, White Baked Enamel, & Bronze Baked Enamel	1 year	Meets AAMA 2603 specifications	Factory applied
2-Coat Kynar*	25 stock colors w/ unlimited custom matching options	10 years	70% Fluoropolymer meets AAMA 2605 specifications	Professionally applied & cured by certified finisher

*Additional lead times and costs associated w/ premium paints & custom color matching

FEATURES

- .040 Roll-formed decking
- Economical
- High-load capacity
- Modular design
- Rust & maintenance free
- Custom details & colors
- Pre-assembled sections

APPLICATIONS

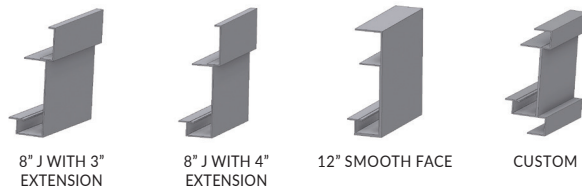
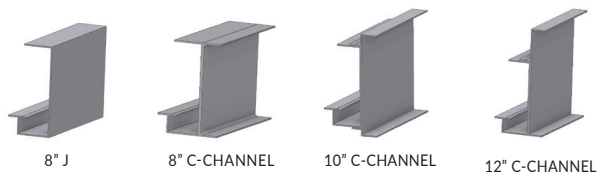
- Door & window covers
- Loading docks
- Parking garages
- Storefronts
- Passive solar
- Shopping centers

DECK OPTIONS

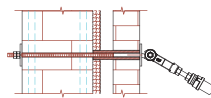


.040 ROLL-FORMED ALUMINUM

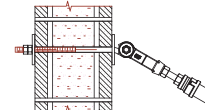
FASCIA OPTIONS



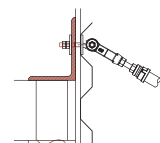
WALL MOUNT DETAILS



BRICK/BLOCK WITH THRU BOLT AND COMPRESSION SLEEVE



CMU WITH THRU BOLT



METAL BUILDING

MAPES ARCHITECTURAL CANOPIES

7748 North 56th Street, Lincoln, NE 68514 Phone: 888-273-1132 Fax: 877-455-6572 mapes.com



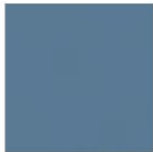
HARTFORD GREEN



CARAMEL



TEAL



MILITARY BLUE



INTERSTATE BLUE



NIGHT HORIZON BLUE



MANSARD BROWN



ANTIQUÉ BRONZE



MAPES BRONZE



EXTRA DARK BRONZE



BLACK

190, 350 AND 500 STANDARD ENTRANCES



Single-Source Packages Generate Versatile First Impressions



Curtis Culwell Center
Garland, Texas
ARCHITECT
HKS, Inc., Dallas, Texas
GLAZING CONTRACTOR
B & B Glass, Inc., Dallas, Texas
PHOTOGRAPHER
© Blake Marvin – HKS

Tough yet attractive, Kawneer's Standard Entrances are designed as a single-source package of door, door frame and hardware that is easily adaptable to custom requirements. Designed to complement new or remodel construction as well as modern or traditional architecture, they are engineered, constructed and tested to make a good first impression while withstanding the rigors of constant use by occupants and visitors.

PERFORMANCE

To resist both lever arm and torsion forces that constantly act on any door, all three entrances feature welded corner construction with Sigma deep penetration and fillet welds plus mechanical fastenings at each corner – a total of 16 welds per door. Each door corner comes with a limited lifetime warranty, good for the life of the door under normal use. It is transferable from building owner to owner and is in addition to the standard two-year warranty covering material and workmanship of each Kawneer door.



1. Thermoplastic elastomer weatherstrip in blade stop of frame jams, header or transom bar.
2. Integral polymeric fin attached to adjustable astragal, creating an air barrier between pairs of doors.
3. Optional surface-applied bottom weatherstrip with flexible blade gasket. Extruded raised lip on threshold to provide continuous contact for bottom weatherstrip.
4. Standard 1/4" beveled glass stops to sheet water and dirt off without leaving residue.
5. Available in all finishes offered by Kawneer.

GENERAL

- Heights vary up to 10'; widths range from approximately 3' to 4'
- Door frame face widths range to a maximum of 4", while depths range to 6"
- Door operation is single- or double-acting with maximum security locks or touch bar panics standard
- Architect's classic 1" round, bent bar push/pull hardware is available in various finishes and sizes
- Infills range from 1/4" to 1"

FOR THE FINISHING TOUCH

Architectural Class I anodized aluminum finishes are available in clear and Permanodic® color choices.

Painted finishes, including fluoropolymer, that meet AAMA 2605 are offered in many standard choices and an unlimited number of specially designed colors.

Solvent-free powder coatings add the "green" element with high performance, durability and scratch resistance that meet the standards of AAMA 2604.

ECONOMY

Kawneer's bulb neoprene weatherstripping forms a positive seal around the door frame and provides a substantial reduction in air infiltration, resulting in improved comfort and economies in heating and cooling costs. The system is wear- and temperature-resistant and replaces conventional weatherproofing. The bottom weatherstrip at the interior contains a flexible blade gasket to meet and contact the threshold, enhancing the air and water infiltration performance characteristics.

190 NARROW STILE ENTRANCE

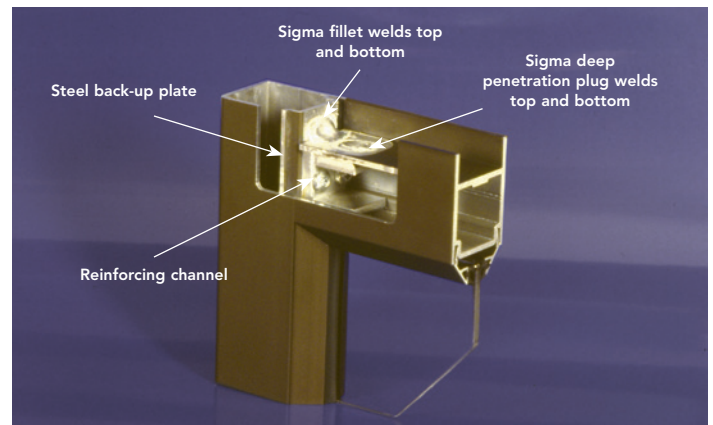
- Is engineered for moderate traffic in applications such as stores, offices and apartment buildings
- Vertical stile measures 2-1/8", top rail 2-1/4" and bottom rail 3-7/8"
- Results in a slim look that meets virtually all construction requirements

350 MEDIUM STILE ENTRANCE

- Provides extra strength for applications such as schools, institutions and other high-traffic applications
- Vertical stiles and top rails measure 3-1/2"
- Bottom rail measures 6-1/2" for extra durability

500 WIDE STILE ENTRANCE

- Creates a monumental visual statement for applications such as banks, libraries and public buildings
- Vertical stiles and top rail measures 5"; bottom rail measures 6-1/2"
- Results in superior strength for buildings experiencing heavy traffic conditions





Kawneer Anodized Finishes

Kawneer gives you a wide variety of anodized finishes with attractive alternatives. The benefit of a durable, anodized finish is married to the beauty of some very dynamic and exciting colors.

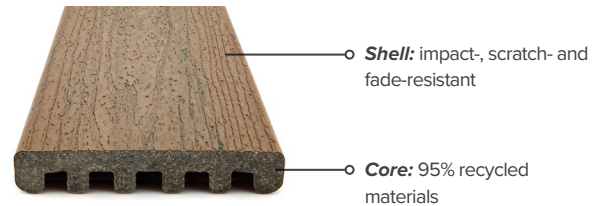
At the start of every design, there's a choice of how you want to finish. Contact your Kawneer sales rep for the information on these and other finishes available from Kawneer.

	KAWNEER FINISH NO.	COLOR	ALUMINUM ASSOCIATION SPECIFICATION	OTHER COMMENTS
	#14	CLEAR	AA-M10C21A41	Architectural Class I (.7 mils minimum)
	#17	CLEAR	AA-M10C21A31	Architectural Class II (.4 mils minimum)
	#18	CHAMPAGNE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
	#26	LIGHT BRONZE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
	#28	MEDIUM BRONZE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
	#40	DARK BRONZE	AA-M10C21A44	Architectural Class I (.7 mils minimum)
	#29	BLACK	AA-M10C21A44	Architectural Class I (.7 mils minimum)



LOW-COST, HIGH-PERFORMANCE DECKING & FASCIA

Trex Enhance® decking and Trex® Fascia are wood thermoplastic composite lumber (WTCL) boards with an integrated shell that covers the boards on the top surface and sides. The integrated shell consists of a proprietary surface formulation that produces a natural, wood-like grain pattern finish. An alternative to naturally durable hardwood lumber, Enhance Decking and Fascia are ICC-ES ESR-1308 certified to be a minimum of 95.4% recycled content of wood fiber and polyethylene by weight.



DECKING

FASCIA



1" Grooved edge

1" Square edge



8" or 12" Widths

FEATURES	DECKING BOARDS		FASCIA BOARDS	
	1" x 6"	8"	12"	
Actual Dimensions - Standard	.94" x 5.5"	.56" x 7.25"	.56" x 11.375"	
Actual Dimensions - Metric	24 mm x 140 mm	14 mm x 184 mm	14 mm x 288 mm	
Available Lengths - Standard	12', 16', 20'	12'	12'	
Available Lengths - Metric	365 cm, 487 cm, 609 cm	365 cm	365 cm	
Grooved Edge	X			
Square Edge	X	X	X	
Weight per Lineal Foot	1.9 lbs	2.0 lbs	3.3 lbs	

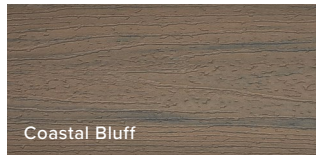
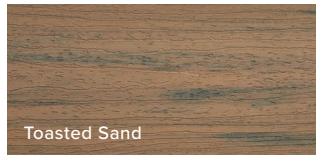
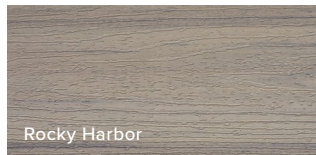
PHYSICAL & MECHANICAL PROPERTIES

TEST	TEST METHOD	VALUE
Flame Spread	ASTM E 84	125
Thermal Expansion	ASTM D 1037	1.9 × 10 ⁻⁵ in/in/°F
Moisture Absorption	ASTM D 1037	< 1%
Screw Head Pull-Through	ASTM D1761	161 lbf/screw*
Fungus Resistance	ASTM D1413	Rating – no decay
Termite Resistance	AWPAE1-72	Rating = 9.6

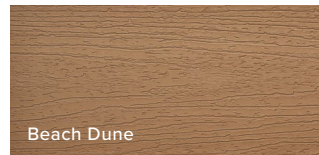
*Fastener used in testing: #8 x 2.5" HEADCOTE Stainless Steel Screw

COLORS

Naturals (multi-tonal)



Basics (monochromatic)



FASTENERS



**Trex Hideaway®
Hidden Fastening System**

Self-gapping, glass-filled nylon fastener with 304 grade stainless steel, sharp point screw for wood framing



Other Approved Fasteners

Color-matched composite deck screw



Color-coordinated fascia screw

Uncoated stainless steel fascia screw

For a full list of approved fasteners, download our Installation Guide at trex.com/literature