



DESIGN REVIEW BOARD APPLICATION

**Administered by:
Design Review Board**

Property Address*: 371 South Main St

Applicant Name & Mailing Address: Steve Carter P.O. Box 172063 Memphis, TN 38187

Applicant Phone Number: 601-383-6851 Applicant Fax Number: n/a

Property Owner's Name & Mailing Address: Miguel Gomez 6052 Memphis Arlington Rd Bartlett, TN 38135

Property Owner's Phone Number: 901-335-7457

The proposed work consists of the following (check all that apply):

- Sign
- Renovation
- New Building
- Other Exterior Alteration

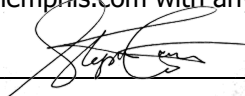
Project Description:

The facility will be fully renovated and tenant ready for commercial use on the first and second floor. An exterior stair will be added so that the upper and lower floors may be lease by multiple tenants if desired. All doors and windows will be replaced with historically appropriate high quality construction; architectural lighting will be added along South Main and Talbot, brick will be cleaned and repaired in the gentlest means possible, and ghost signage preserved; landscaped rear courtyard will include colored and stamped concrete, a new exterior stair, wrought iron fencing, landscape and irrigation; a concrete parking lot will be added, and the Talbot sidewalk will be replaced; an ADA compliant entrance will be added on Talbot street.

Status of Project:

The project was approved for an EIG at the 10/21/20 CCDC Meeting. The designs for the building were approved at the 11/04/20 DRB meeting. **This application is for the exterior lighting component.**

A complete application must be submitted to the Development Department no later than two weeks before a regularly scheduled meeting of the Design Review Board. Please contact Abe Lueders at (901)575-0565 or alueders@downtownmemphis.com with any questions and to submit an application.

Owner/Applicant Signature: 

Date: 10/21/2020

*Applications for properties that are located within a Landmarks Historic District may require additional approval from the Landmarks Commission. Please contact the Shelby County Division of Planning & Development at (901) 576-6601 for more information.



Brett Ragsdale
Deputy Administrator
Land Use and Development Services
Division of Planning and Development
125 N. Main St, Ste. 468
Memphis, TN 38103

RE: 371 South Main, Exterior Lighting

A2H # 19545

Dear Brett,

We appreciate you and Katie meeting with our team to discuss our proposed exterior lighting for 371 South Main Street. As discussed, I'd like to provide a deeper dive into the rationale for the scheme proposed. We have also included more detailed exterior drawings to better visualize the improvements.

Following our meeting with the DMC DRB, we revisited the lighting design, and looked at a number of other options. Ultimately, we have chosen to advocate for our original scheme, but I would like to share our thinking.

Historical Context: The original construction predated electrically illuminated buildings. Even the "modern" addition in the late 1800's probably stood with gas lighting for generations before any electrical lights were added. Actual gas lighting is not a practical option.

We did look at period lighting, but with the awareness that the period of the building and the period of the lighting would not align. Our preference was to either show:

- Contemporary, expressive lighting as a decorative feature element
- Subtle, nuanced lighting that accents the building's architecture, but with fixtures that are not feature elements themselves

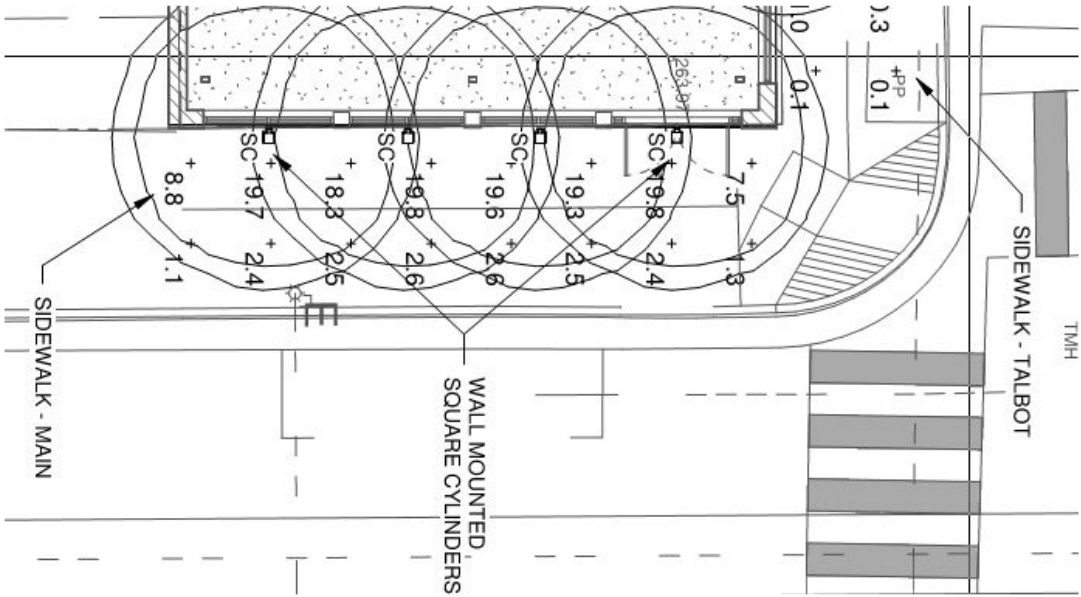
The expressive option was paired with other feature elements such as a canopy, planters, a mural, etc. but these discretionary items proved cost prohibitive. The expressive lighting, without other features, seemed out of place and additive.

Subtle lighting, without an expressive fixture, seemed more appropriate. Our goals are the following.

- Light should be cast in "pools" rather than "washing" the wall. This will create a rhythm that complements the rhythm of the façade. In this case we are centering light pools on the 4 main windows at the ground floor level.

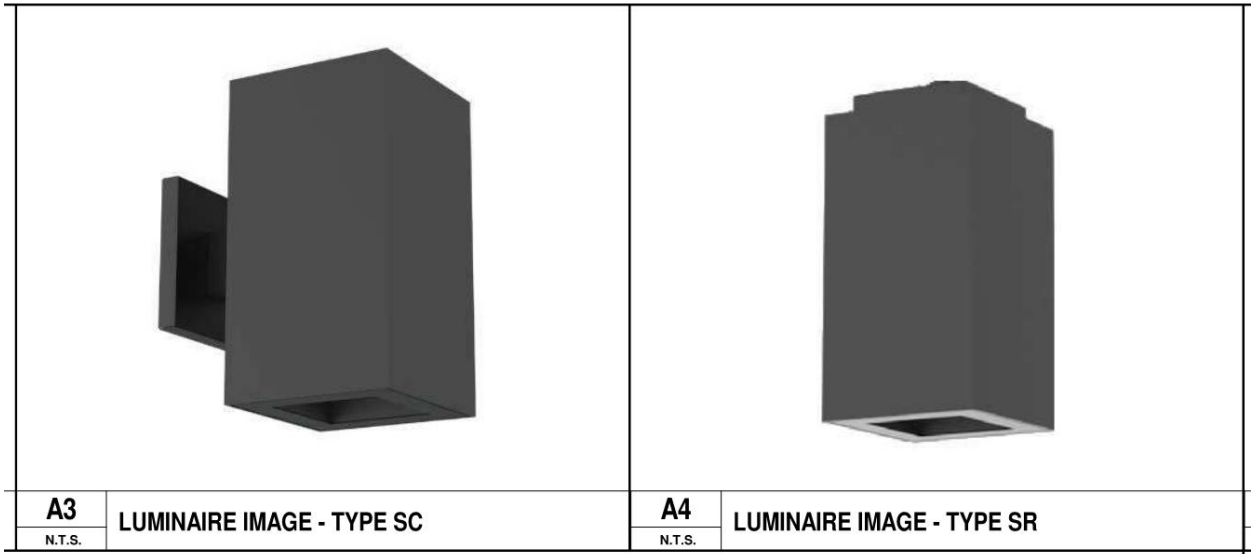
- The fixture itself should not be a feature; rather it should more or less disappear during daylight hours, and let the original façade stand on its own.

This elevation and photometric study below illustrate how this will work:



- Additionally, fixtures on the Talbot façade should match (or compliment) those visible from main street on the north façade. The selected fixture seems appropriate for both facades, whereas a decorative lighting fixture would likely be inappropriate on the Talbot façade.

- Finally, the proposed fixture includes a down-light variant appropriate for the courtyard / rear balcony. Again, they are unobtrusive, and do not seek to draw attention away from the building itself, and present a cohesive lighting package.



Thank you again for the opportunity to better articulate our thoughts on the lighting design. We look forward to further dialogue!

Sincerely,



Brad Schmiedicke AIA
 Senior Architect

CC: Katie Flynn – Downtown Memphis Commission

GOMEZ FAMILY 371 SOUTH MAIN STREET REDEVELOPMENT

A2H ENGINEERS
ARCHITECTS
PLANNERS

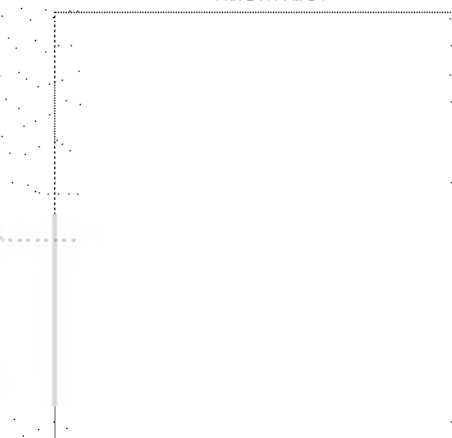


MEMPHIS LANDMARKS
COA SUBMITTAL AND
DMC DRB REBUBMITTAL

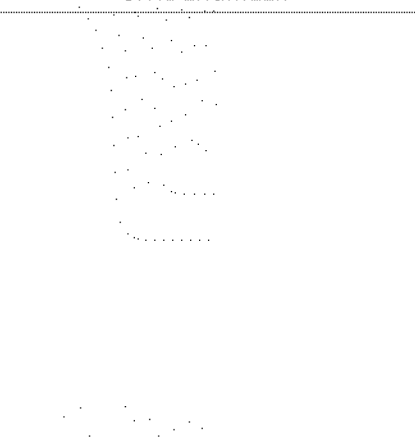
NOVEMBER 18 2020

PROJECT NUMBER 19545

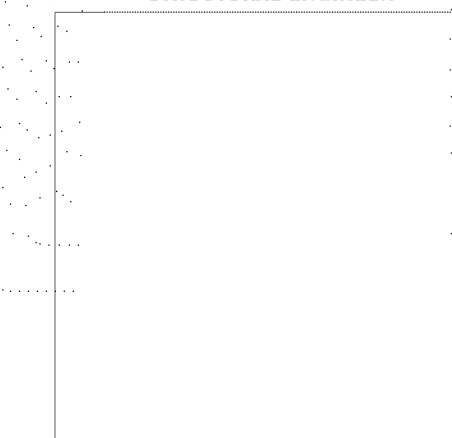
ARCHITECT



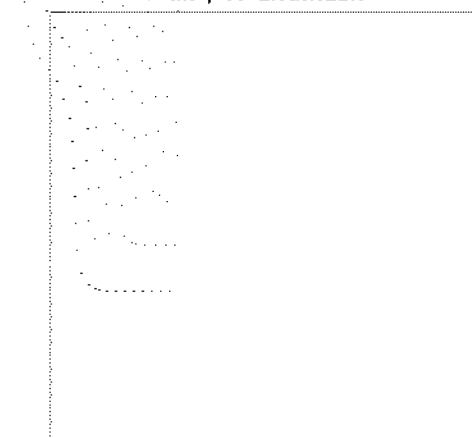
CIVIL ENGINEER



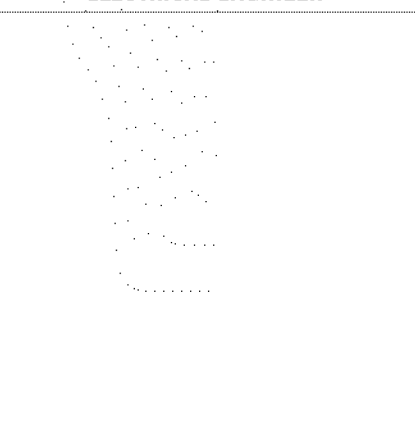
STRUCTURAL ENGINEER



ME / PE ENGINEER



ELECTRICAL ENGINEER



371 SOUTH MAIN STREET, MEMPHIS, TN 38103

A2H, INC.
3009 DAVIES PLANTATION ROAD
LAKELAND, TN 38002
P. 901.372.0404
WWW.A2H.COM

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GOMEZ FAMILY

371 SOUTH MAIN STREET REDEVELOPMENT

371 SOUTH MAIN STREET, MEMPHIS, TN 38103

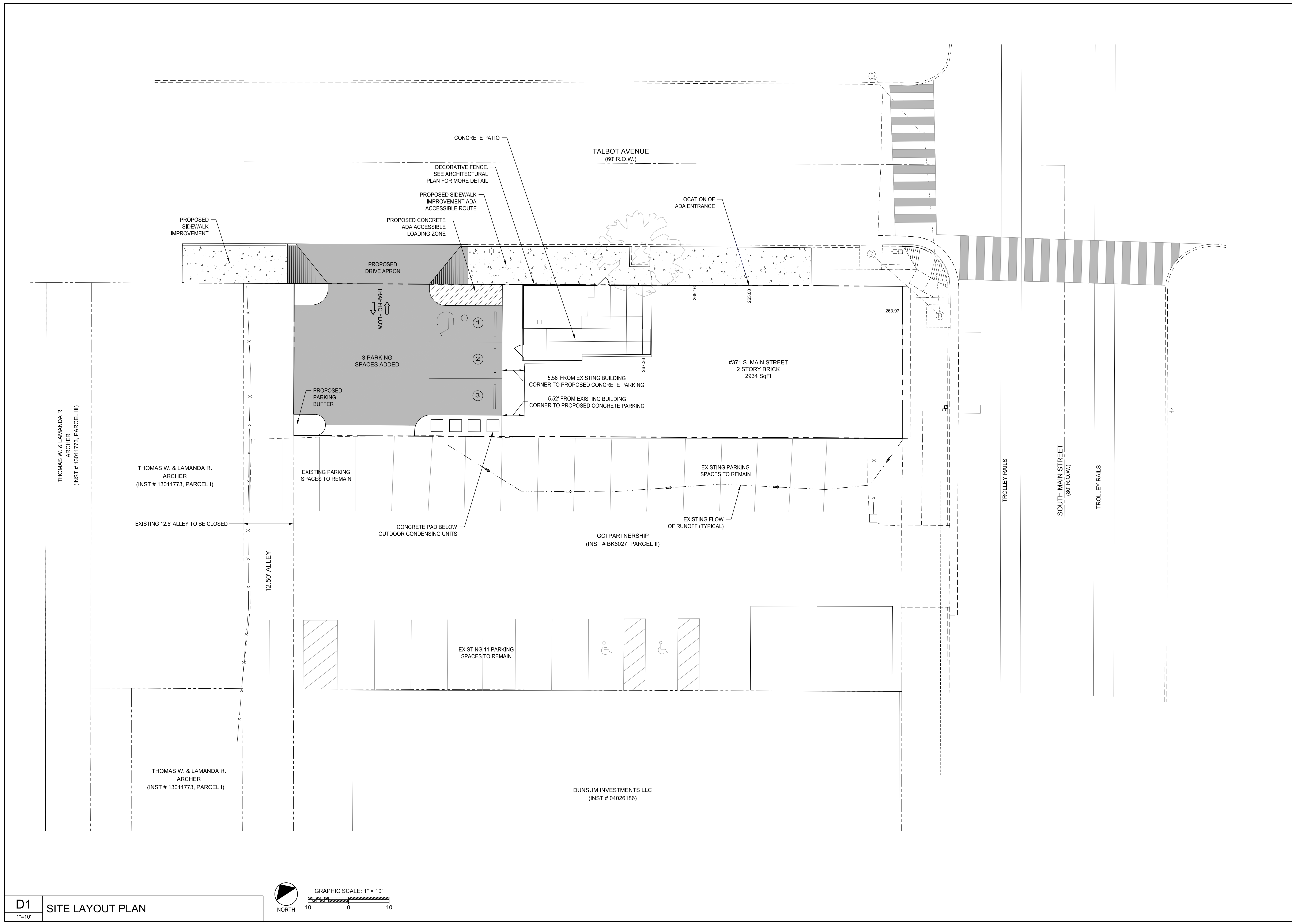
DESIGN DEVELOPMENT
PROGRESS SET

REVISIONS

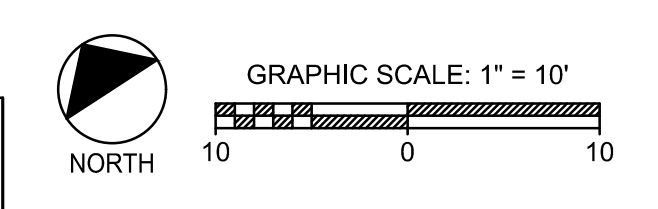
PROJECT NO. 19545	DATE AUGUST 19, 2020
DRAWN SSM	CHECKED BE

SITE LAYOUT PLAN

C2.0



D1
1"=10'
SITE LAYOUT PLAN



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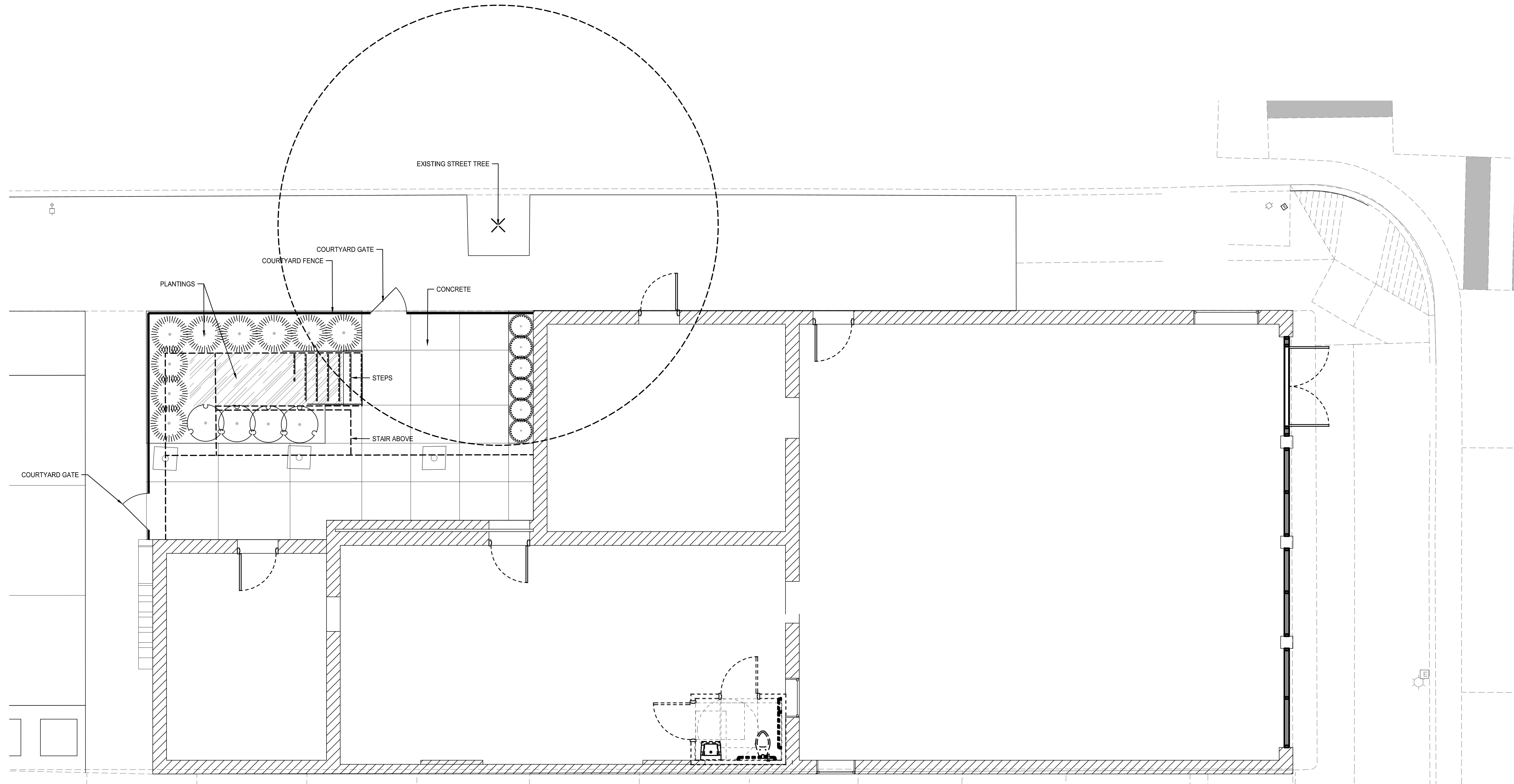


FENCE OPTIONS

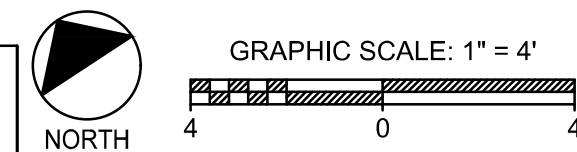


STAMPED CONCRETE BRICK PATTERNS

STAMPED CONCRETE - SLATE PATTERNS



D1 HARDSCAPE PLAN



I:\2019\19545\19545_Landscape\Design\Courtyard\2020\08-23_Courtyard.dwg
 08/23/2020 10:01:31 AM
 0/0 SCALE: 1/4"=1'-0"

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NEW CONCRETE PATIO OVER A BED OF COMPACTED SAND AND REGRADED EARTH. CONCRETE COLORING, STAMPING, AND SCORING.

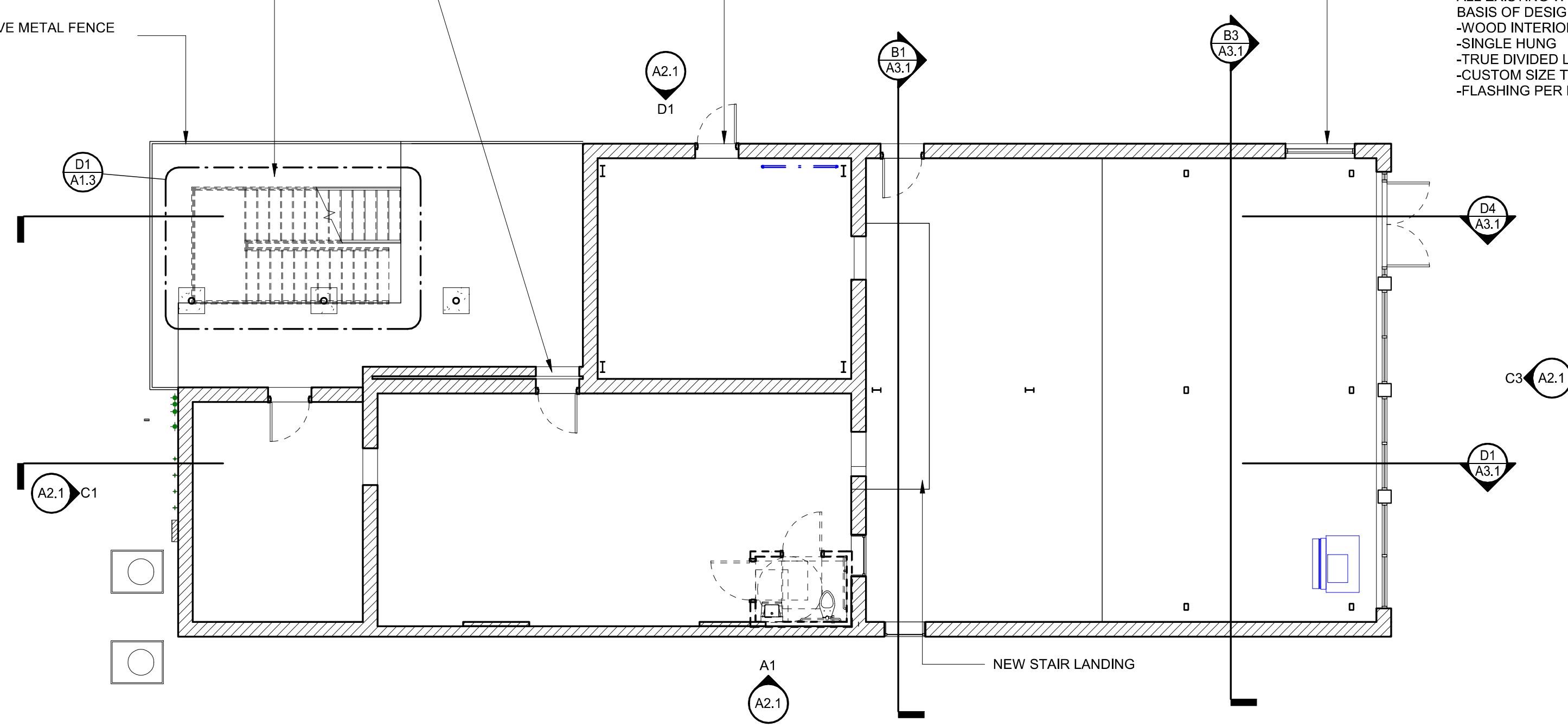
7" DECORATIVE METAL FENCE AND GATE

ALL EXISTING WOOD DOORS TO BE REMOVED & REPLACED - TYP.

EXISTING WOOD INFILL TO BE REMOVED, REPLACE WITH NEW ALUMINUM CURTAIN WALL TO MATCH FRONT ELEVATION

ALL EXISTING WOOD DOORS TO BE REPLACED.
BASIS OF DESIGN -
-COMMERCIAL EXTERIOR ENTRY DOOR
-WOOD INTERIOR, WOOD CORE, ALUMINUM EXTERIOR
-CUSTOM SIZE & PANEL CONFIGURATION TO MATCH EXISTING
-STANDARD COMMERCIAL HARDWARE
-FLASHING PER MANUFACTURER FOR SOLID MULTI-WYTHE MASONRY WALL

ALL EXISTING WOOD WINDOWS TO BE REPLACED.
BASIS OF DESIGN -
-WOOD INTERIOR, WOOD CORE, WOOD EXTERIOR
-SINGLE HUNG
-TRUE DIVIDED LITE, TO MATCH EXISTING CONFIGURATION
-CUSTOM SIZE TO MATCH EXISTING
-FLASHING PER MANUFACTURER FOR SOLID MULTI-WYTHE MASONRY WALL



B1 FLOOR PLAN - DIMENSIONED
1/8" = 1'-0"



SEAL EXISTING CONCRETE DECK

MODIFY EXISTING GUARD RAIL TO ACCOMMODATE NEW STAIR LANDING

ALL EXISTING WOOD DOORS TO BE REMOVED & REPLACED - TYP.

ALL EXISTING WOOD WINDOWS TO BE REMOVED & REPLACED - TYP.

WALL TYPE LEGEND

HEIGHT

r EXTEND TO ROOF DECK ABOVE
f EXTEND TO FLOOR DECK ABOVE
c 1'-0" ABOVE HIGHEST ADJACENT CEILING
h1 10'-8" (HEIGHT AFF)
h2 11'-4" (HEIGHT AFF)
h3 12'-8" (HEIGHT AFF)

CORE INSULATION
(FILL ENTIRE CAVITY U.N.O.)

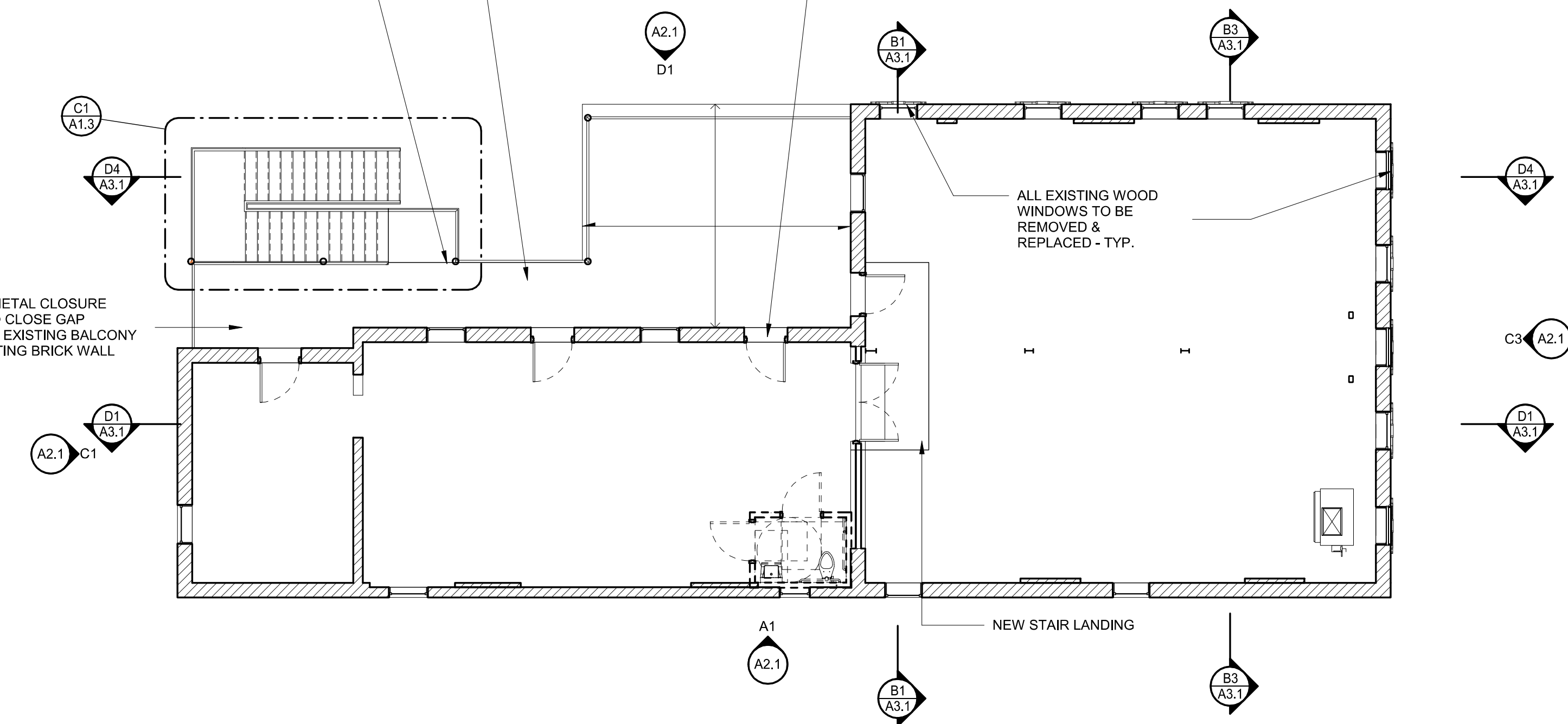
s SOUND ATTENUATING FIBERGLASS BATTS
t THERMAL FIBERGLASS BATTS
f FOAM FILL (UNGROUTED MASONRY CORES)

WALL TYPES NOTES:

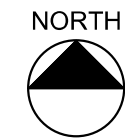
WALL TYPE MARK

WALL TYPE MARK
WALL HEIGHT DESIGNATION
CORE INSULATION

WALL TYPE MARK LEADER IS ORIENTED TO EXTERIOR SIDE OF WALL. INTERIOR WALLS ARE ASSIGNED AN "EXTERIOR FACE" FOR SCHEDULING PURPOSES.



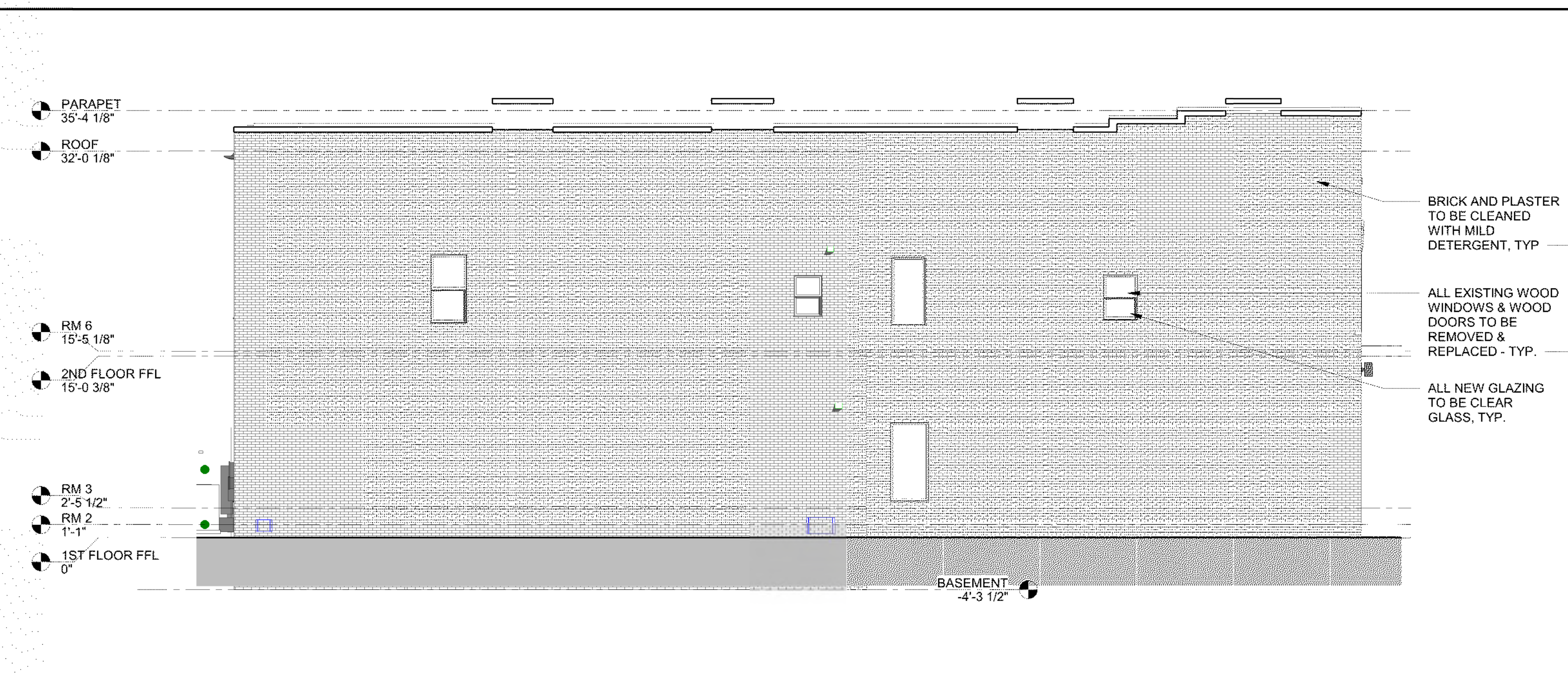
D1 FLOOR PLAN - SECOND FLOOR - DIMENSIONED
1/8" = 1'-0"



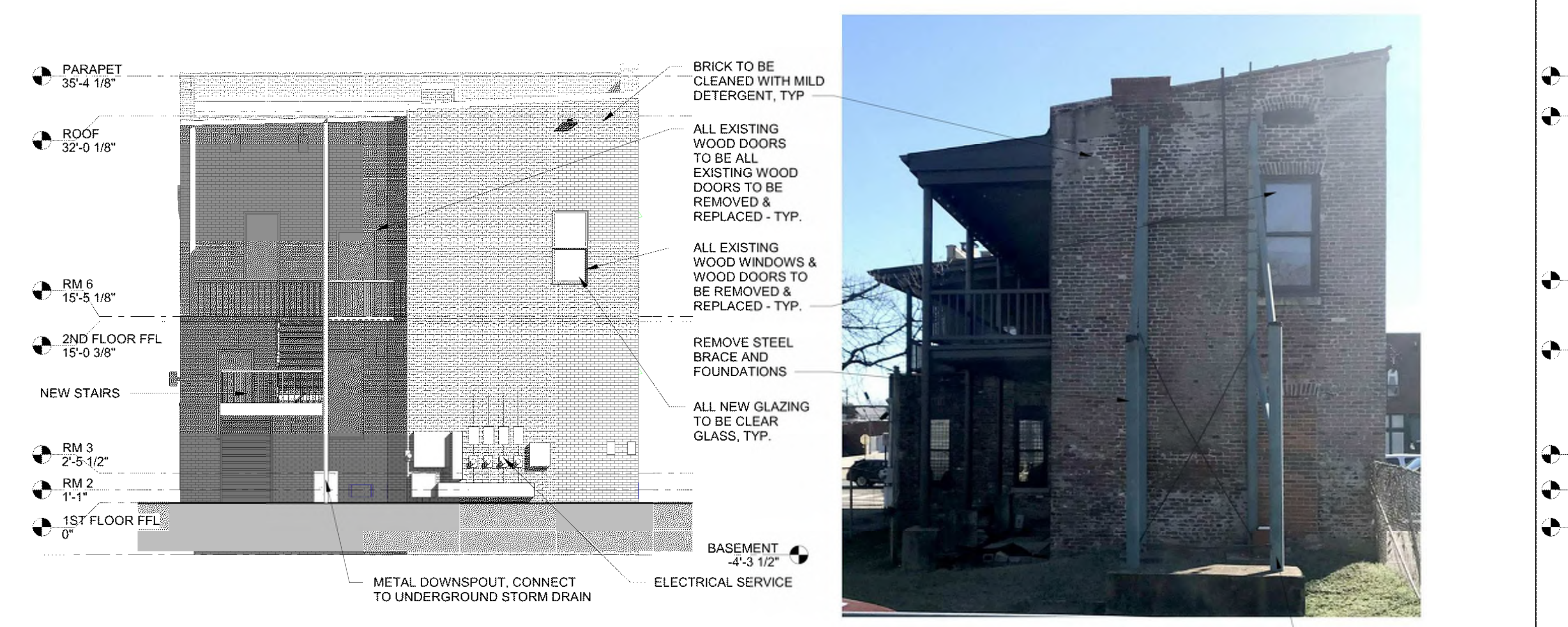
WALL MARK	WALL THICKNESS	WALL CONSTRUCTION				FIRE RATING		NOTES
		EXTERIOR FINISH	EXTERIOR SUBSTRATE	CORE	INTERIOR SUBSTRATE	RATING	UL ASSEMBLY	
P2	4 7/8"	5/8" GYP. BD.	-	3-5/8" MTL. STUDS @ 16" O.C. MAX.	-	5/8" GYP. BD.		

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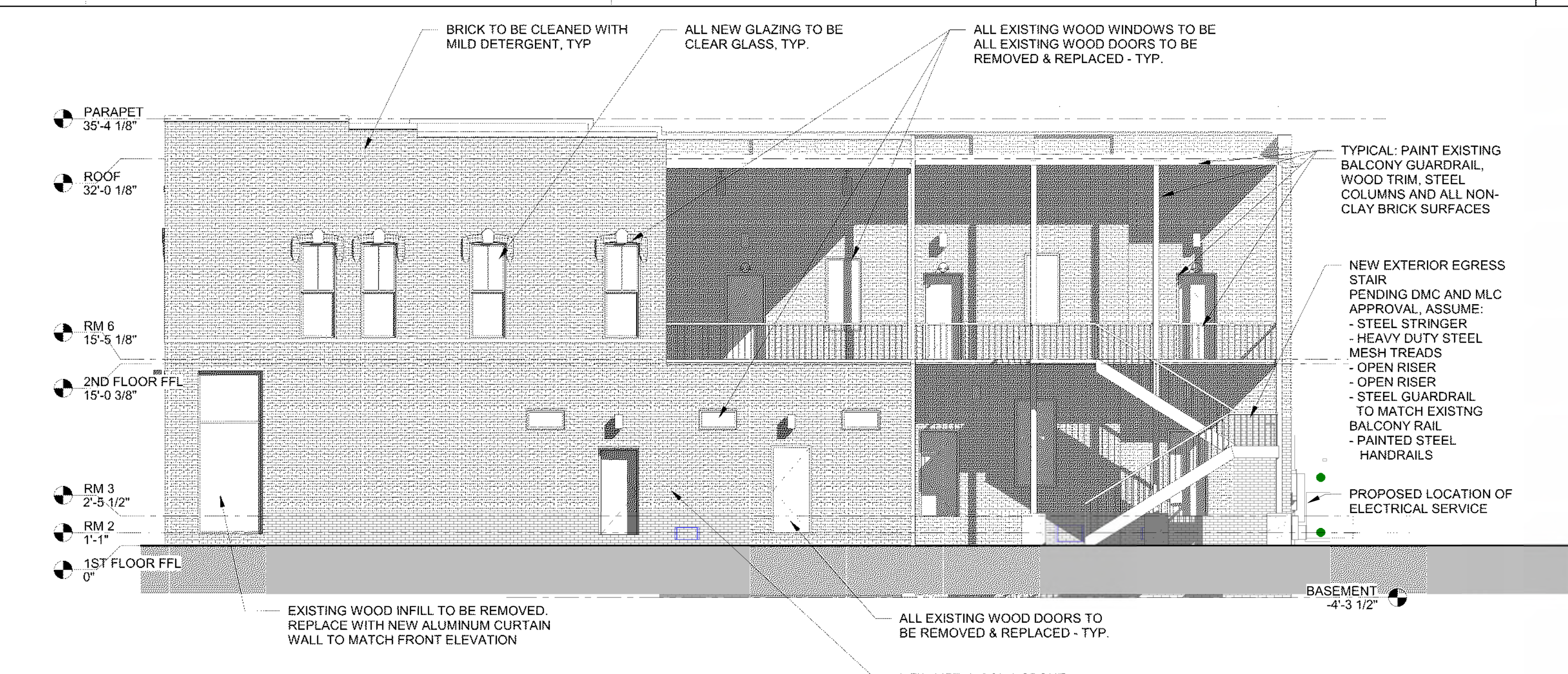
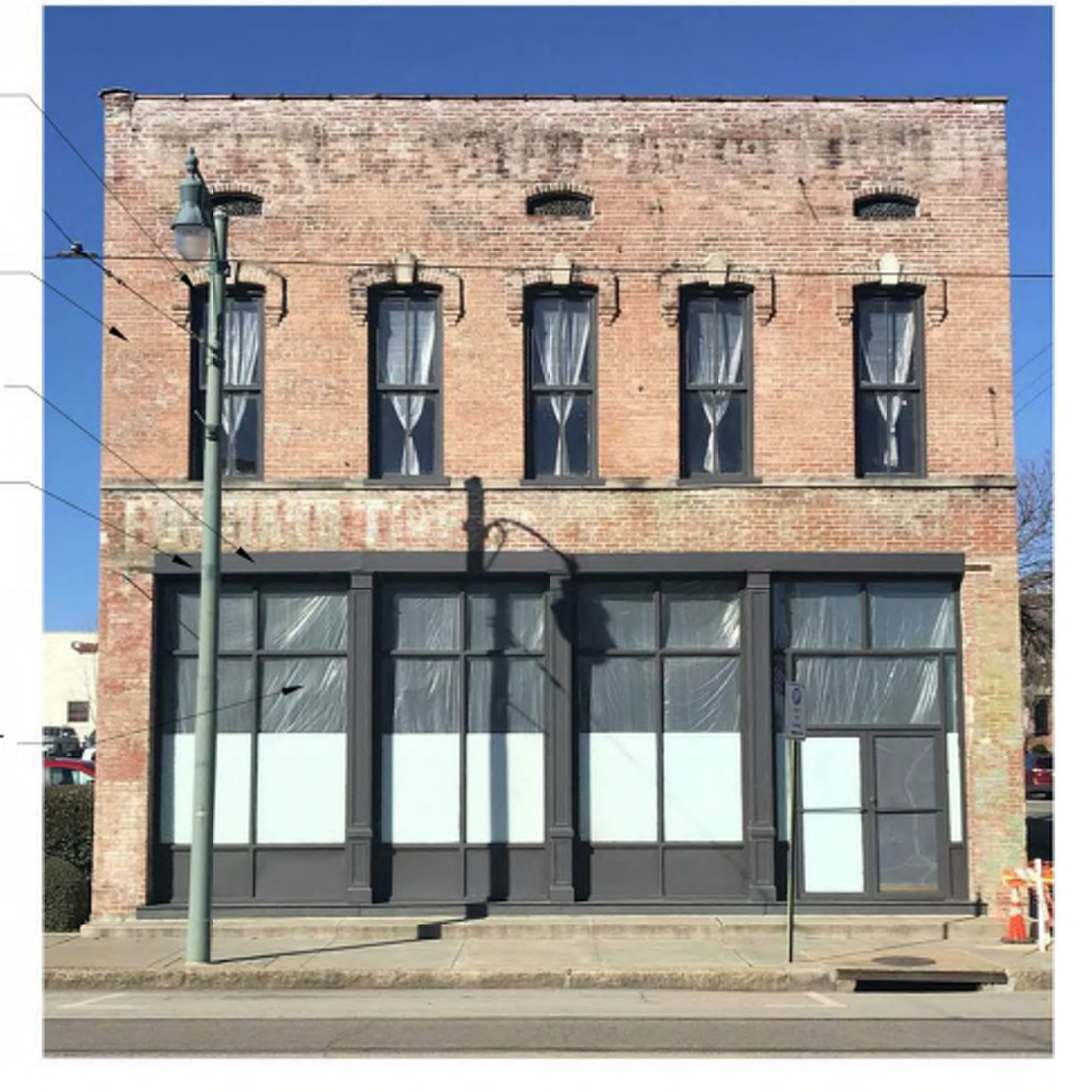
A1 EXTERIOR ELEVATION - SOUTH
1/8" = 1'-0"



C1 EXTERIOR ELEVATION - WEST
1/8" = 1'-0"



C3 EXTERIOR ELEVATION - EAST
1/8" = 1'-0"



D1 EXTERIOR ELEVATION - NORTH
1/8" = 1'-0"



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ALL NEW GLAZING TO BE CLEAR GLASS, TYP.

PLASTER TO BE CLEANED WITH MILD DETERGENT, TYP.

WATER STAINS/ DAMAGES TO BE CLEAN/ REPAIRED, TYP.



SW 6258
Tricorn Black
 Interior / Exterior
 Location Number: 251-C1

A4
 NTS

PROPOSED PAINT COLOR

NOTE: NEW PAINT COLOR ONLY APPLIES TO DOORS, WINDOWS, AND OTHER METAL ITEMS ALREADY PAINTED BLACK. MASONRY BRICK TO REMAIN ORIGINAL COLOR.



REMOVE EXISTING CHAIN LINK FENCE, TYP.

REMOVE AND REPLACE EXISTING SIDEWALK, TYP.

REMOVE STRUCTURAL BRACING AND FOUNDATION.

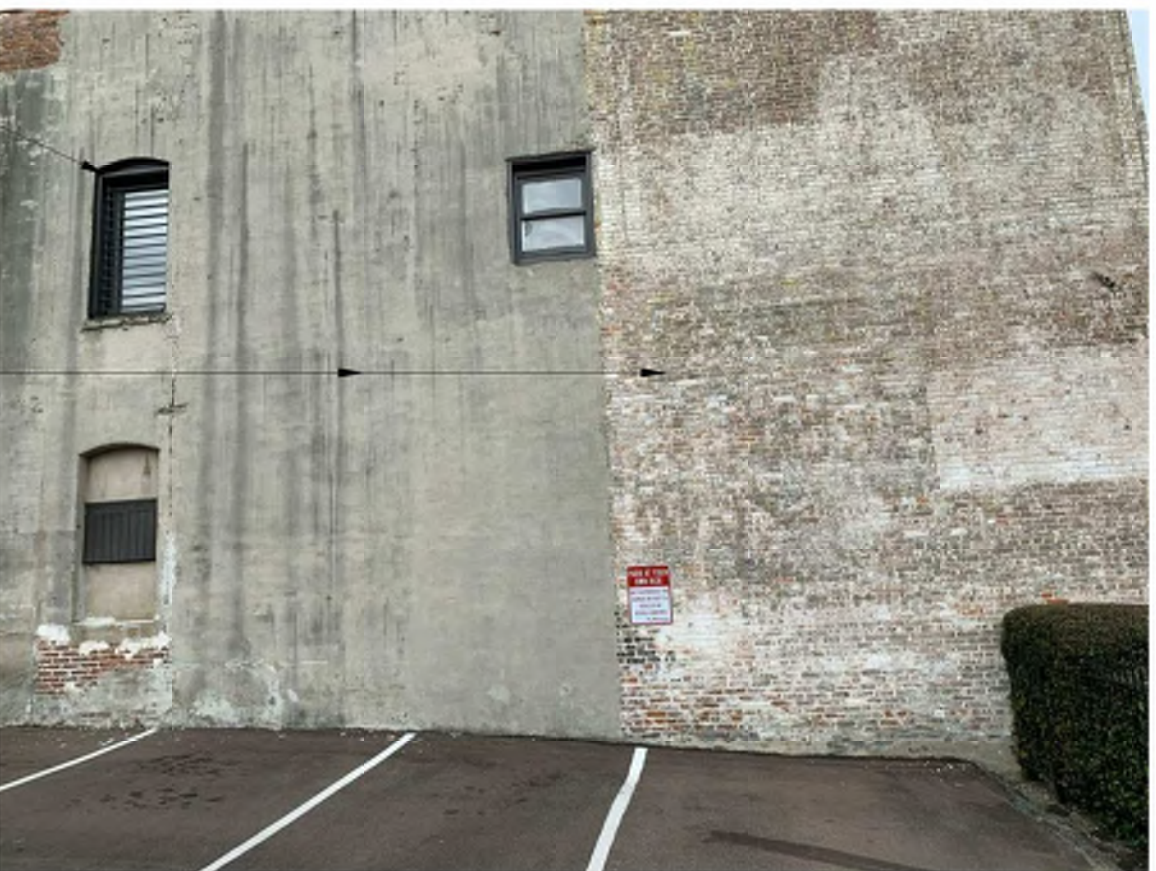
BRICK TO BE CLEANED WITH MILD DETERGENT, TYP.



PAINT DOORS, WINDOWS, AND OTHER METAL ITEMS ALREADY PAINTED BLACK WITH SW 6258, TYP.

BRICK AND PLASTER TO BE CLEANED WITH MILD DETERGENT, TYP.

REMOVE TEMPORARY ELECTRICAL SERVICES, TYP.



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D1 EXTERIOR PERSPECTIVE

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SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	RECESSED LIGHTING FIXTURE. LETTER DENOTES TYPE. SEE FIXTURE SCHEDULE.	§	LIGHT SWITCH - SPST, 20A, 125V.
	EXIT LIGHT - WALL MOUNTED - FACE AND DIRECTIONAL ARROWS AS INDICATED.	§ _{2OS}	LIGHT SWITCH - OCCUPANCY SENSOR - 2 POLE (LIGHTING AND EXHAUST FAN)
	EMERGENCY WALL LIGHT.	§ _D	LIGHT SWITCH - DIMMER.
	OCCUPANCY SENSOR - LOW VOLTAGE, CEILING MOUNTED.	§ ₃	LIGHT SWITCH - THREE WAY.
	DAYLIGHT HARVESTING PHOTOCCELL		LIGHTING CONTROL PANEL.
			FIRE ALARM SYSTEM - FIRE ALARM CONTROL PANEL.
			FIRE ALARM SYSTEM - CEILING MOUNTED SMOKE DETECTOR.
			FIRE ALARM SYSTEM - DUCT MOUNTED SMOKE DETECTOR. (S) INDICATES SUPPLY DUCT. (R) INDICATES RETURN DUCT.
	120/208V 3PH, 4W OR 208V 3PH, 3W PANELBOARD. SEE SINGLE LINE DIAGRAM.		FIRE ALARM SYSTEM - VISUAL INDICATOR. CANDELA AS INDICATED ON PLANS.
	WIRE IN CONDUIT RUN OVERHEAD - CONCEALED IN OR ABOVE CEILING OR EXPOSED ON STRUCTURE.		FIRE ALARM SYSTEM - COMBINATION AUDIBLE & VISUAL INDICATOR. CANDELA AS INDICATED ON PLANS.
	WIRE IN CONDUIT RUN CONCEALED BELOW FLOOR, IN WALL, OR BELOW GRADE.		FIRE ALARM SYSTEM - MANUAL PULL STATION.
	INDICATES GROUNDING CONDUCTOR.		FIRE ALARM SYSTEM - FLOW SWITCH.
	TRANSFORMER - SEE SINGLE LINE DIAGRAM.		FIRE ALARM SYSTEM - TAMPER SWITCH.
	NON-FUSED DISCONNECT SWITCH, SIZE AS INDICATED.		FIRE ALARM SYSTEM - PRESSURE SWITCH.
	FUSED DISCONNECT SWITCH, SIZE AS INDICATED.		CARD READER. MOUNT SINGLE GANG BOX AT 48" AFF. PROVIDE 3/4" C WITH PULLSTRING TO ACCESSIBLE CEILING SPACE.
	JUNCTION BOX.		CEILING MOUNTED INTERCOM SPEAKER.
	HARD CONNECTION TO EQUIPMENT.		DATA OUTLET. RUN 3/4" CONDUIT UP TO ACCESSIBLE CEILING SPACE. PROVIDE PULLSTRING IN EMPTY CONDUIT.
	DUPLEX RECEPTACLE.		COMBINATION OUTLET FOR TELEPHONE/DATA. RUN 3/4" CONDUIT UP TO ACCESSIBLE CEILING SPACE. PROVIDE PULLSTRING IN EMPTY CONDUIT.
	DUPLEX RECEPTACLE, GROUND FAULT CIRCUIT INTERRUPTING TYPE.		
	DUPLEX RECEPTACLE, COUNTERTOP HEIGHT.		
	DUPLEX RECEPTACLE, GROUND FAULT CIRCUIT INTERRUPTING TYPE, COUNTERTOP HEIGHT.		
	QUADPLEX RECEPTACLE.		
	QUADPLEX RECEPTACLE, GROUND FAULT CIRCUIT INTERRUPTING TYPE.		

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	MCB	MAIN CIRCUIT BREAKER
AFG	ABOVE FINISHED GRADE	MTD	MOUNTED
C	COUNTERTOP HEIGHT	NC	NORMALLY CLOSED
CL	CENTERLINE	NIC	NOT IN CONTRACT FOR DIVISION 26
EX	EXISTING	NO	NORMALLY OPEN
IC	INTERRUPTING CAPACITY	OC	ON CENTER
G	GROUND	UG	UNDERGROUND
HID	HIGH INTENSITY DISCHARGE	UOI	UNLESS OTHERWISE INDICATED

ELECTRICAL GENERAL NOTES:

- THE ELECTRICAL CONTRACTOR (E.C.) SHALL PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR A COMPLETE AND FULLY OPERATIONAL ELECTRICAL SYSTEM/INSTALLATION.
- MATERIALS AND INSTALLATION SHALL COMPLY WITH ALL CODES, LAWS, AND ORDINANCES OF FEDERAL, STATE, AND LOCAL GOVERNING BODIES HAVING JURISDICTION.
- ALL MATERIALS AND EQUIPMENT SHALL BE LISTED AND/OR LABELED BY U.L., ETL, CSA, OR ANOTHER RECOGNIZED TESTING LABORATORY.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES, TAXES AND LICENSES NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF ALL ELECTRICAL WORK.
- THE CONTRACTOR SHALL PREPARE AND SUBMIT TO GOVERNMENTAL AGENCIES, UTILITY COMPANIES, AND LOCAL CODE OFFICIALS, SHOP DRAWINGS AND/OR INSTALLATION DETAILS WHICH ARE REQUIRED BY THESE AGENCIES FOR THEIR APPROVAL.
- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, ENGINEER, AND PROJECT MANAGER IN WRITING OF ANY MATERIALS OR APPARATUS BELIEVED TO BE INADEQUATE, UNSUITABLE, IN VIOLATION OF LAWS, ORDINANCES, RULES, OR REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION.
- ALL NEW ELECTRICAL WORK OR MODIFICATIONS TO EXISTING ELECTRICAL DISTRIBUTION PANELS, PANELBOARDS, METERS, ETC. SHALL BE INSTALLED AS INDICATED ON THE ELECTRICAL CONSTRUCTION DOCUMENTS. E.C. SHALL SUBMIT SHOP DRAWINGS OF ALL EQUIPMENT TO BE INSTALLED INDICATING FLOOR PLAN LAYOUT, ELEVATIONS, AND ALL DIMENSIONS FOR APPROVAL OF THE ENGINEER PRIOR TO INSTALLATION. CODE REQUIRED CLEARANCES IN FRONT OF ALL ELECTRICAL EQUIPMENT SHALL BE MAINTAINED AT ALL TIMES.
- THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS, MAKE A SCHEDULED ARRANGEMENT WITH THE PROJECT MANAGER TO VISIT THE SITE, AND THOROUGHLY BECOME FAMILIAR WITH THE BUILDING STANDARDS AND LOCAL CONDITIONS RELATING TO THE WORK. FAILURE TO DO SO WILL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATIONS OF THE CONTRACT.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND WIRING FOR THE PERFORMANCE OF ALL TRADES, FOR THE ENTIRE PERIOD OF CONSTRUCTION AND SHALL REMOVE ALL TEMPORARY WIRING AT THE COMPLETION OF CONSTRUCTION. ALL COSTS FOR ESTABLISHING AND REMOVING TEMPORARY POWER SHALL BE INCLUDED IN BID.
- THE EXISTING POWER, SIGNAL, AND COMMUNICATIONS SYSTEMS ARE TO REMAIN IN SERVICE TO PROVIDE FOR THE OWNER'S EXISTING FUNCTIONS. SHOULD IT BECOME NECESSARY TO SHUT-DOWN ANY SYSTEM OR PORTION OF A SYSTEM, APPROVAL IN WRITING MUST BE OBTAINED FROM THE PROJECT MANAGER AND SHALL BE ONLY FOR THE PERIOD AND TIME AGREED UPON. THE BID IS TO INCLUDE THE COST OF ANY TEMPORARY WIRING AND PREMIUM TIME REQUIRED FOR THE SHUTDOWN.
- ALL MATERIALS AND EQUIPMENT SHALL BE ERRECTED, INSTALLED, TOOLED, CONNECTED, CLEANED, ADJUSTED, TESTED, CONDITIONED, AND PLACED IN SERVICE IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS AND RECOMMENDATIONS.
- ALL CUTTING, DRILLING, AND PATCHING OF MASONRY, DRYWALL, CONCRETE, STEEL, OR IRON WORK BELONGING TO THE BUILDING SHALL BE DONE BY THIS CONTRACTOR IN ORDER THAT WORK MAY BE PROPERLY INSTALLED. UNDER NO CONDITIONS MAY STRUCTURAL WORK BE CUT, EXCEPT AT THE DIRECTION OF THE ARCHITECT/ENGINEER OR THEIR REPRESENTATIVE.
- SHOP DRAWINGS SHALL INCLUDE MANUFACTURER'S NAMES, CATALOG NUMBERS, CUTS, DIAGRAMS, AND OTHER SUCH DESCRIPTIVE DATA AS MAY BE REQUIRED TO IDENTIFY AND REVIEW THE EQUIPMENT. SUBMITTALS SHALL BE IN LOGICAL GROUPS (FOR EXAMPLE ALL LIGHTING FIXTURES), PARTIAL SUBMITTALS WILL NOT BE REVIEWED.
- CONTRACTOR SHALL PROVIDE "AS-BUILT" DOCUMENTATION AND HARD COPY REPRODUCIBLE DRAWINGS AT THE COMPLETION OF THE PROJECT AND SUBMIT TO THE ARCHITECT AND THE ENGINEER. AS-BUILT DRAWINGS SHALL INDICATE EXACT CIRCUIT NUMBERS, LOCATIONS OF ALL DEVICES, CEILING FIXTURES, AND RACEWAY FOR LIGHTING, TELECOMMUNICATIONS AND POWER DISTRIBUTION SYSTEMS AS INSTALLED.
- ALL MATERIAL, EQUIPMENT, WIRING DEVICES, ETC. SHALL BE NEW AND OF COMMERCIAL GRADE UNLESS SPECIFICALLY INDICATED AS EXISTING TO BE REUSED ON DRAWINGS.
- EXCEPT AS NOTED OTHERWISE, ALL WORK REQUIRED FOR THE ELECTRICAL INSTALLATION AS SHOWN ON DRAWINGS SHALL INCLUDE ALL LABOR, INSTALLATION METHODS, EQUIPMENT, AND MATERIALS AND SHALL BE IN STRICT COMPLIANCE WITH ALL BUILDING STANDARDS.
- PROVIDE A COMPLETE METAL RACEWAY SYSTEM, FITTINGS AND ENCLOSURES FOR ALL ELECTRICAL WIRING SYSTEMS TO BE INSTALLED FOR THE PROJECT. SYSTEMS SHALL INCLUDE, BUT NOT BE LIMITED TO POWER, COMMUNICATIONS, SECURITY, AND PAGING.
- MINIMUM CONDUIT SIZE SHALL BE 1/2 INCH FOR GENERAL LIGHTING AND POWER CIRCUITRY UNLESS OTHERWISE INDICATED AND/OR REQUIRED BY CODE.
- FLEXIBLE CONDUIT CONNECTIONS TO RECESSED LIGHTING FIXTURES SHALL BE MADE WITH FLEXIBLE STEEL CONDUIT, 1/2 INCH MINIMUM, INCLUDING AN INSULATED COPPER GREEN EQUIPMENT GROUNDING CONDUCTOR.
- WIRE NUMBER 8 AND SMALLER FOR USE IN INTERIOR DRY LOCATIONS SHALL BE TYPE THWN THERMOPLASTIC 600 VOLT INSULATED COPPER CONDUCTORS, FEEDERS AND POWER WIRING NUMBER 6 AND LARGER SHALL BE TYPE THW 600 VOLT INSULATED COPPER. WIRE WHICH IS INSTALLED IN RACEWAY IN MOIST OR DAMP LOCATIONS SHALL BE THW, 600 VOLT INSULATED COPPER CONDUCTORS. NO WIRE SMALLER THAN NUMBER 12 AWG SHALL BE USED FOR LIGHTING OR POWER.
- BRANCH CIRCUIT HOMERUN WIRING:
 - GENERAL PURPOSE BRANCH CIRCUIT HOMERUNS CONSISTING OF TWO NETWORKS SHALL HAVE PHASE, NEUTRAL AND GROUND CONDUCTORS INCREASED TO NUMBER 10 AWG, THWN AS A MINIMUM. WHERE HOMERUN (ONE OR MORE NETWORKS) EXCEEDS 100 LINEAR FEET, CONDUCTOR SIZE SHALL BE INCREASED ONE TRADE SIZE.
 - ALL BRANCH CIRCUITS, FEEDERS, AND HOMERUNS SHALL BE PROVIDED WITH AN INSULATED COPPER GREEN GROUNDING CONDUCTOR ROUTED IN THE SAME CONDUIT. GROUNDING CONDUCTOR SHALL BE SIZED PER THE REQUIREMENTS OF NEC SECTION 250.
 - HOMERUN LENGTH SHALL BEGIN AT THE CENTRAL POINT OF ALL DISTRIBUTED CIRCUITS TO THE PANELBOARD CIRCUIT BREAKER.

A2H ENGINEERS ARCHITECTS PLANNERS

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GOMEZ FAMILY

371 SOUTH MAIN STREET REDEVELOPMENT

371 SOUTH MAIN STREET, MEMPHIS, TN 38103

PROGRESS SET - PROPOSED EXTERIOR IMPROVEMENTS

REVISIONS

PROJECT NO.	DATE
19545	AUGUST 20, 2020
DRAWN	CHECKED
CBR	MCL

ELECTRICAL LEGEND AND NOTES

E0.0

C1	ELECTRICAL LEGEND
N.T.S.	

LIGHTING FIXTURE SCHEDULE						
TYPE	DESCRIPTION	MANUFACTURER	MODEL	LUMENS / CCT	WATTS	FIXTURE MOUNTING
C	5" LED DOWNLIGHT IN IC HOUSING WITH WOOD JOIST BAR HANGERS	SPECTRUM LIGHTING		4000	30 VA	MOUNT FASTENED BETWEEN FRAMING MEMBERS
E	EMERGENCY LIGHTING UNIT	SURE-LITES	APEL		10 VA	WALL MOUNT 7" AFF
R	REMOTE POWERED EXTERIOR RATED EMERGENCY LIGHTING UNIT	SURE-LITES	APWR2		0 VA	WALL MOUNT 8" AFF
SA	EXTERIOR RATED WALL PACK WITH MOTION SENSOR / PHOTOCCELL	COOPER LIGHTING	GLEON-AF-05-LED-E1-SL4-8030-MS/DIM-L20	30K	166 VA	
SB	ILLUMINATED BOLLARD	LIGMAN LIGHTING USA	UEC-10505 23w W30 02 120/27V	30K	23 VA	
SC	6" SQUARE CYLINDER - WET LOCATION - WALL MOUNT	SPECTRUM LIGHTING	C0611SQXT 20L 30K XW EX WL TPT GL MB	30K	22 VA	
SR	6" SQUARE CYLINDER - WET LOCATION - CEILING MOUNT	SPECTRUM LIGHTING	C0611SQXT 20L 30K WD EX WL TPT SO SM MB	30K	22 VA	CEILING/SURFACE MOUNT
X	COMBINATION EXIT SIG	SURE-LITES	APCG	LED	2 VA	WALL MOUNT 6" ABOVE DOOR FRAME
XH	COMBINATION EXIT SIGN WITH REMOTE CAPACITY	SURE-LITES	APCH7G	LED	4 VA	WALL MOUNT 6" ABOVE DOOR FRAME

NOTE:

MANUFACTURER'S TRADE NAMES OR CATALOG NUMBERS USED IN THIS SCHEDULE DENOTE TYPE, SIZE, QUALITY, AND DESIGN OF EQUIPMENT REQUIRED. THIS CONTRACTOR IS FREE TO OFFER SUBSTITUTIONS FOR CONSIDERATION AS EQUAL; HOWEVER, HE SHALL BE PREPARED TO FURNISH SPECIFIED MATERIALS WHERE SUBSTITUTIONS ARE NOT APPROVED. WHEN SUBSTITUTIONS REQUESTS ARE PROVIDED TO THE ENGINEER FOR APPROVAL, THE CONTRACTOR SHALL PROVIDE PHOTOMETRIC CALCULATIONS, FOR EACH SPACE, TO THE ENGINEER FOR REVIEW. THE CALCULATIONS SHALL BE PERFORMED WITH VISUAL 2016 LIGHTING SOFTWARE. THE ELECTRONIC VISUAL FILE SHALL BE SUBMITTED WITH THE PROPOSED LIGHTING FIXTURE DATA SHEETS.

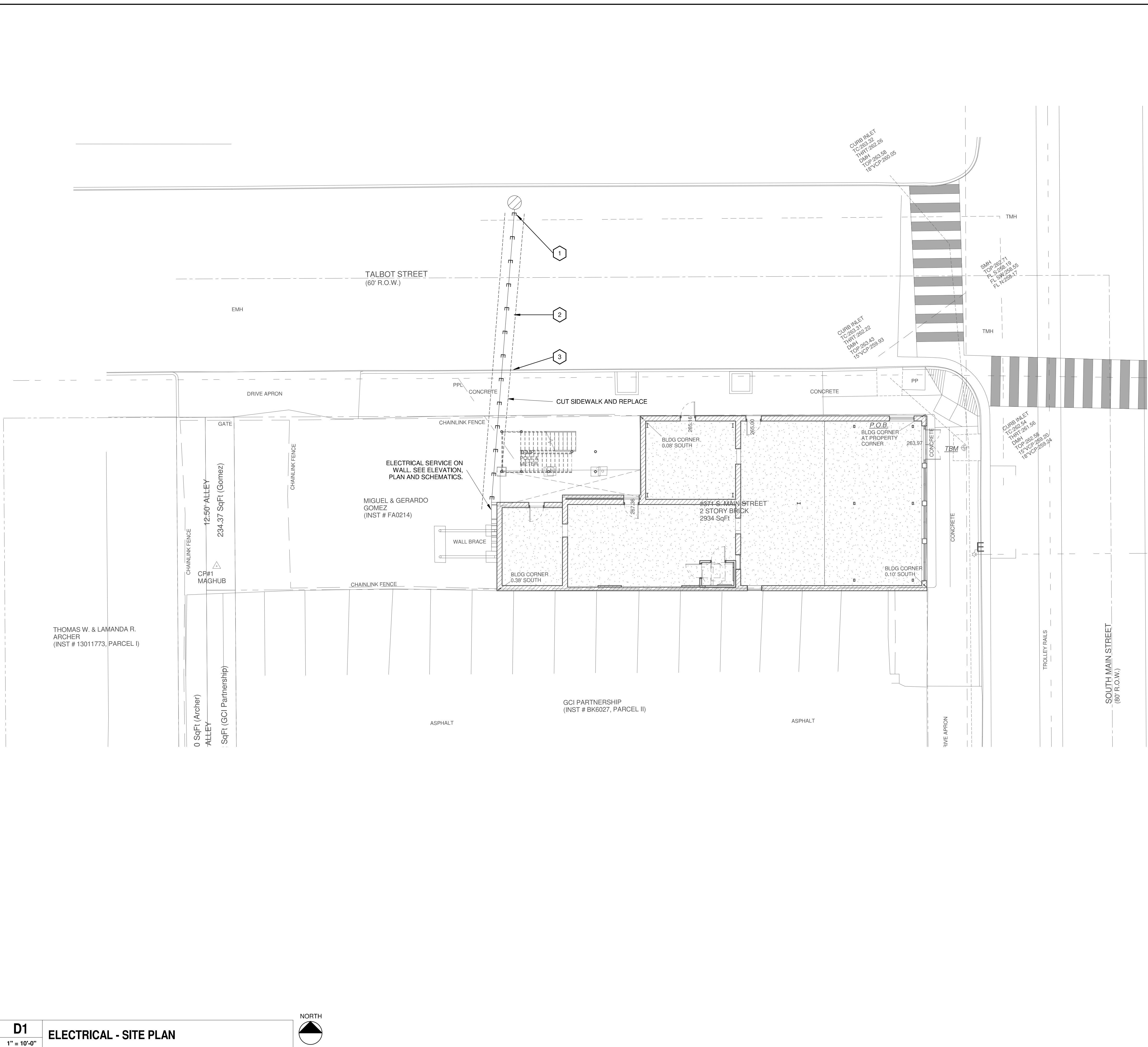
D1	LIGHTING FIXTURE SCHEDULE
N.T.S.	

D4	GENERAL NOTES
N.T.S.	

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GENERAL NOTES

1. PROVIDE ELECTRICAL SERVICE. COORDINATE RESPONSIBILITIES WITH MEMPHIS LIGHT GAS AND WATER.
2. SECURE LOCATION SERVICES PRIOR TO EXCAVATIONS.

KEYED NOTES

1. MANHOLE 1558.
2. EXCAVATE TALBOT STREET AND REPLACE.
3. PRESERVE CURB.

A5
12" = 1'-0"

ELECTRICAL SITE PLAN - NOTES

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PROGRESS SET - PROPOSED EXTERIOR IMPROVEMENTS

REVISIONS

PROJECT NO.	DATE
19545	AUGUST 20, 2020
DRAWN	CHECKED
MCL	MCL

ELECTRICAL - SITE PLAN

E0.1

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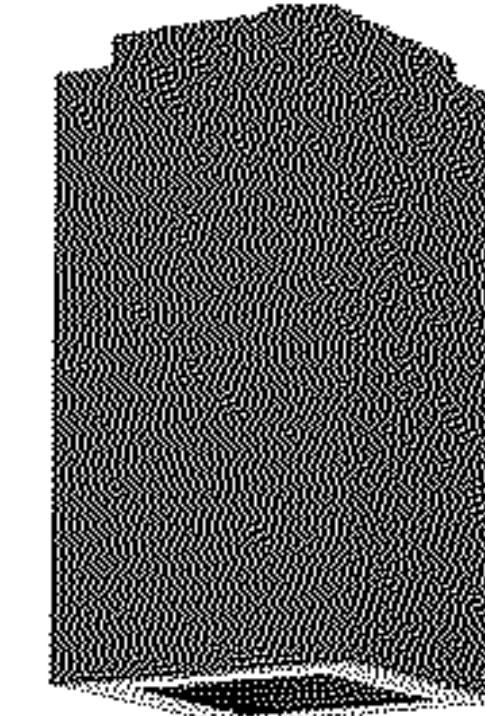
A1
N.T.S. LUMINAIRE IMAGE - TYPE SA



A2
N.T.S. LUMINAIRE IMAGE - TYPE SB



A3
N.T.S. LUMINAIRE IMAGE - TYPE SC

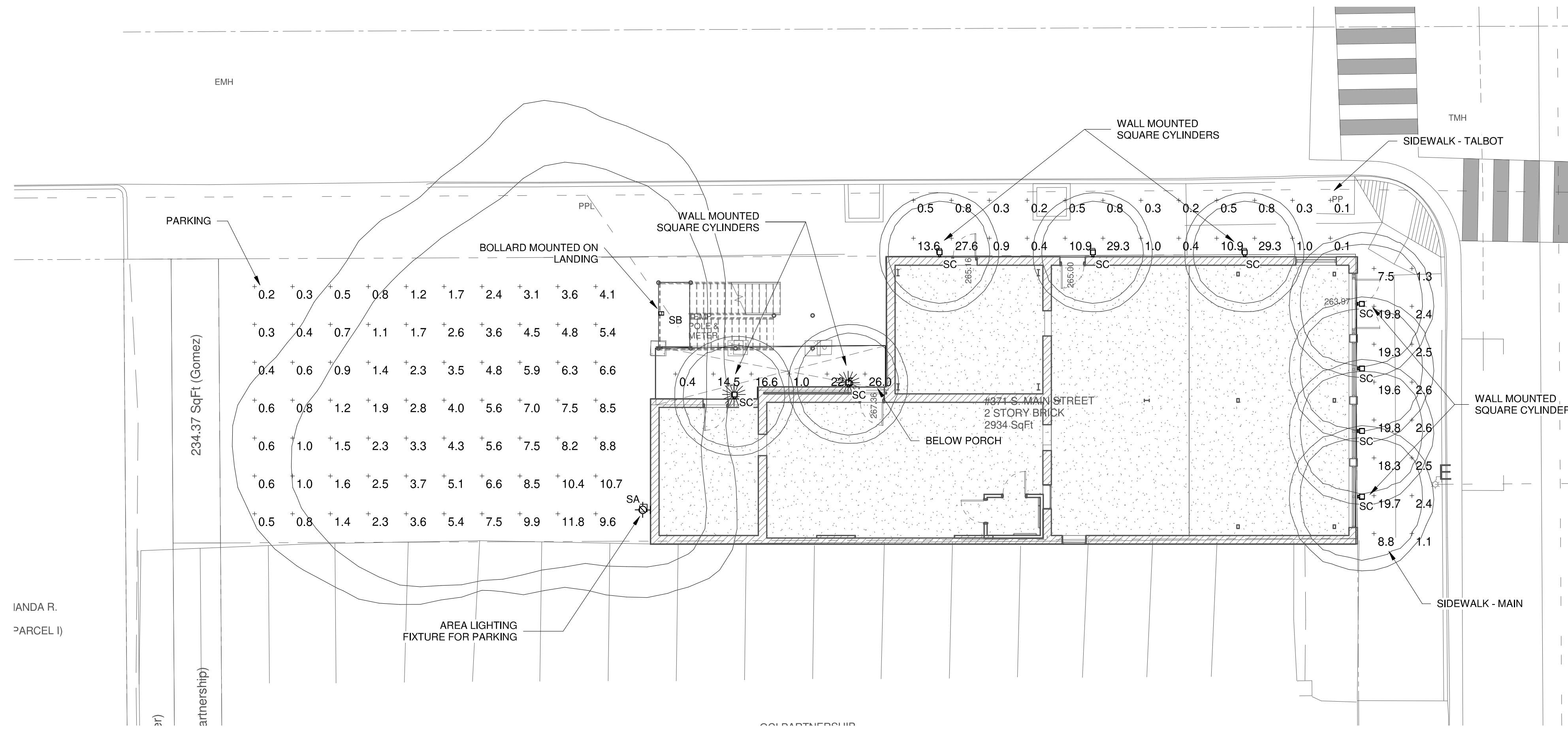


A4
N.T.S. LUMINAIRE IMAGE - TYPE SR

GENERAL NOTES

- EXTERIOR LUMINAIRE LUMEN OUTPUT TO BE ENOUGH TO SEE ABOVE AMBIENT STREET LIGHTING. STREET LIGHTING WILL ADD ADDITIONAL AMBIENT LIGHTING IN THE PARKING AREAS AND ALONG THE SIDEWALK.
- LIGHT COLOR TO BE 3000K - A WARM COLOR SLIGHTLY WHITER THAN INCANDESCENT.
- SMALL EGRESS LIGHTING HEADS WILL BE BY EXTERIOR DOORS BUT ARE NOT SHOWN BY SYMBOL ON THE PLANS.

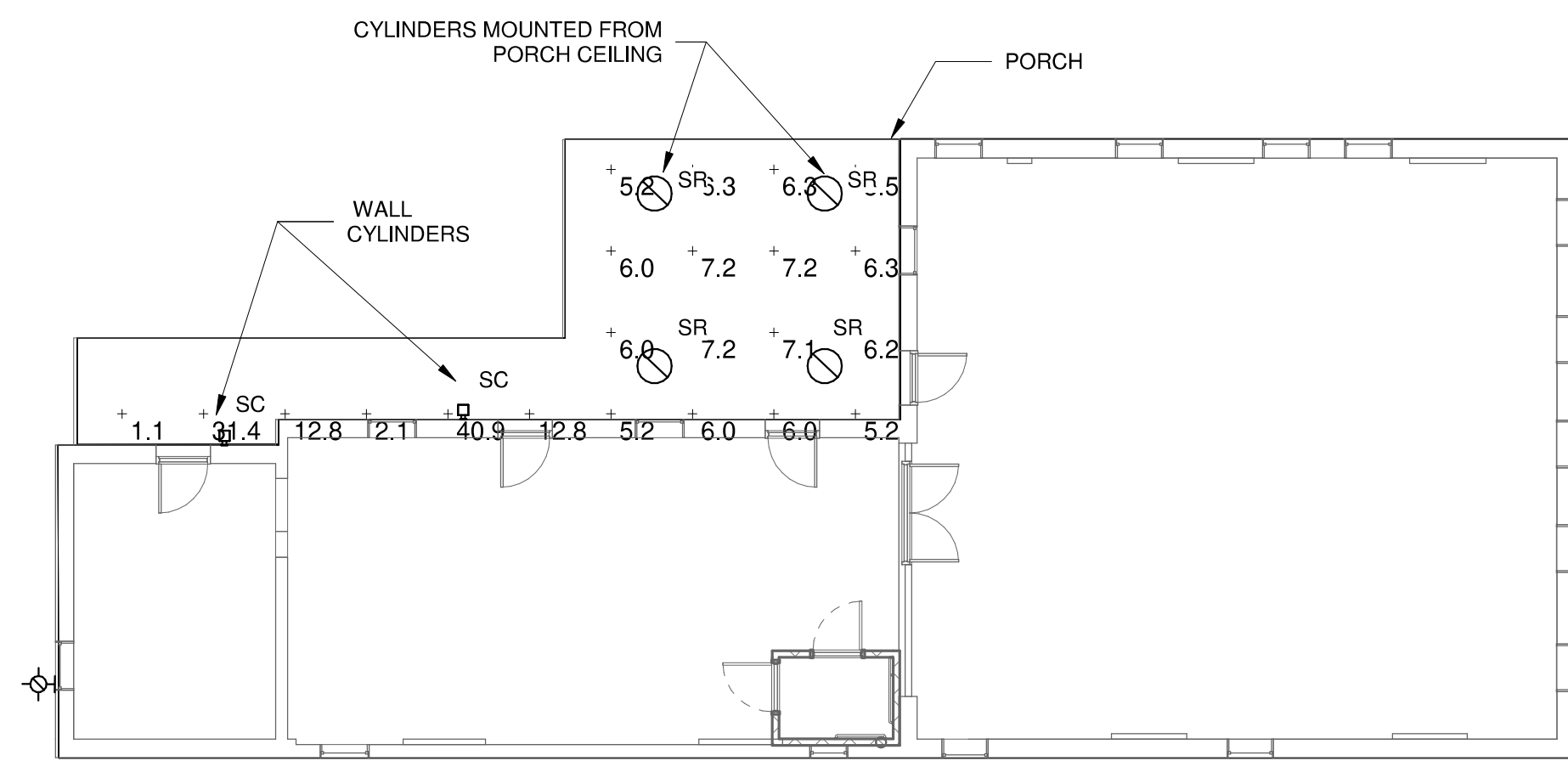
A5
N.T.S. SITE LIGHTING PLAN NOTES



PHOTOMETRIC SCHEDULE					
LOCATION	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVERAGE/MIN
BELOW PORCH	13.5 FC	26.0 FC	0.4 FC	65.0:1	33.8:1
PARKING	3.7 FC	11.8 FC	0.2 FC	59.0:1	18.5:1
PORCH	9.1 FC	40.9 FC	1.1 FC	37.2:1	8.3:1
SIDEWALK - MAIN	8.4 FC	19.8 FC	1.1 FC	18.0:1	8.5:1
SIDEWALK - TALBOT	5.4 FC	29.3 FC	0.1 FC	293.0:1	54.0:1

C1
1" = 10'-0" SITE LIGHTING PLAN

C5
N.T.S. PHOTOMETRIC SCHEDULE



D1
1" = 10'-0" SITE LIGHTING SECOND FLOOR PLAN

EXTERIOR LUMINAIRE SCHEDULE						
TYPE	DESCRIPTION	MANUFACTURER	MODEL NUMBER	CCT	INPUT WATTS	MOUNTING
SA	EXTERIOR RATED WALL PACK WITH MOTION SENSOR / PHOTOCELL	COOPER LIGHTING	GLEON-AF-05-LED-E1-SL4-8030-MS-DIM-L20	30K	166 VA	WALL MOUNT 16' AFG
SB	ILLUMINATED BOLLARD	LIGMAN LIGHTING USA	UEC-10505 23w W30 02 120/277V	30K	23 VA	MOUNT TO STAIR LANDING
SC	6" SQUARE CYLINDER - WET LOCATION - WALL MOUNT	SPECTRUM LIGHTING	C0611SQXT 20L 30K XW EX WL TPT GL MB	30K	22 VA	WALL MOUNT 7' AFF
SR	6" SQUARE CYLINDER - WET LOCATION - CEILING MOUNT	SPECTRUM LIGHTING	C0611SQXT 20L 30K WD EX WL TPT SO SM MB	30K	22 VA	SURFACE MOUNT

D3
N.T.S. EXTERIOR LUMINAIRE SCHEDULE

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