



DESIGN REVIEW BOARD APPLICATION

**Administered by:
Design Review Board**

Property Address*: 644 Madison Ave. Memphis, TN 38103

Applicant Name & Mailing Address: cnct development - 631 Madison Ave. Memphis, TN 38103

Applicant Phone Number: 901.355.9062 Applicant Fax Number: _____

Property Owner's Name & Mailing Address: John Halford, Pat Magruder, Anntonia Magruder, Austin Magruder
676 Marshall Ave. Suite 101 Memphis, TN 38103

Property Owner's Phone Number: 901.355.9062

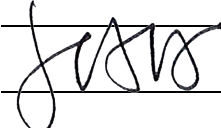
The proposed work consists of the following (check all that apply):

- Sign Renovation
New Building Other Exterior Alteration

Project Description: Renovation of building shell and new site work at
644 Madison Ave. and adjacent lot.

Status of Project: In Review

A complete application must be submitted to the Development Department no later than two weeks before a regularly scheduled meeting of the Design Review Board. Please submit the application with any necessary attachments to designreview@downtownmemphis.com. Questions can also be e-mailed to designreview@downtownmemphis.com, or you can reach Planning & Development staff at (901) 575 - 0540.

Owner/Applicant Signature: 

Date: 12/15/2021

*Applications for properties that are located within a Landmarks Historic District may require additional approval from the Landmarks Commission. Please contact the Shelby County Division of Planning & Development at (901) 576-6601 for more information.



drawings and rendering in collaboration with PKM Architects.

644 Madison Ave. Memphis, TN | December 10, 2021



Project Location

- 1 644 Madison (Project Location)
- 2 Inkwell
- 3 Sun Studios
- 4 Orleans Station Development
- 5 The Rise Apartments
- 6 Edge Alley
- 7 High Cotton Brewing Company
- 8 The Ravine Development
- 9 UTHSC Campus
- 10 Sabor Calibre
- 11 Southwest Tennessee Community College
- 12 Slim & Husky's
- 13 Chef Tams



|2

Existing Conditions



|3

Existing Conditions



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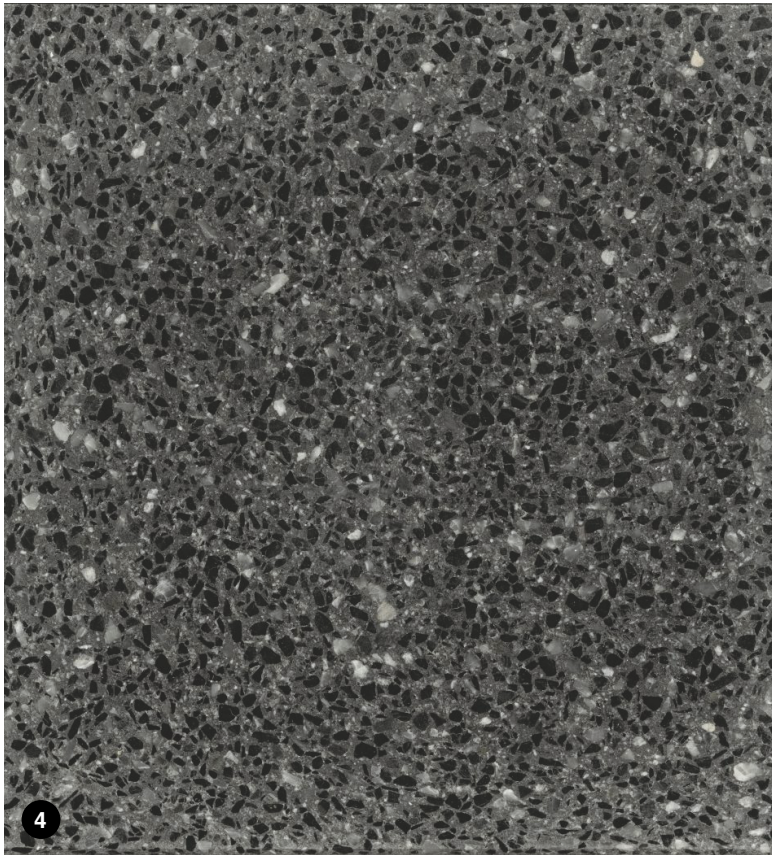
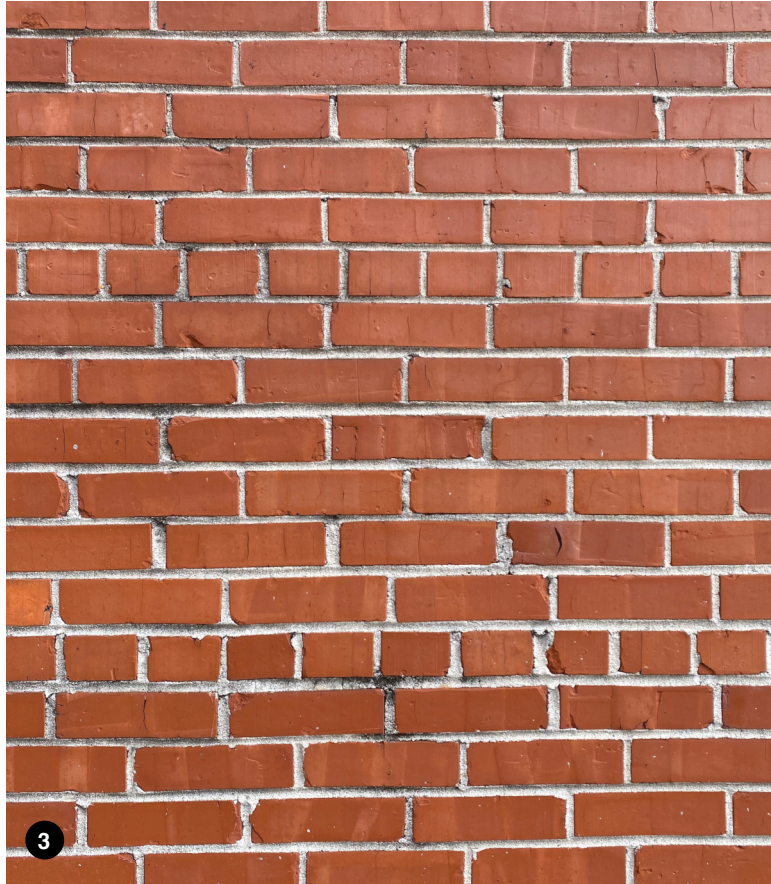
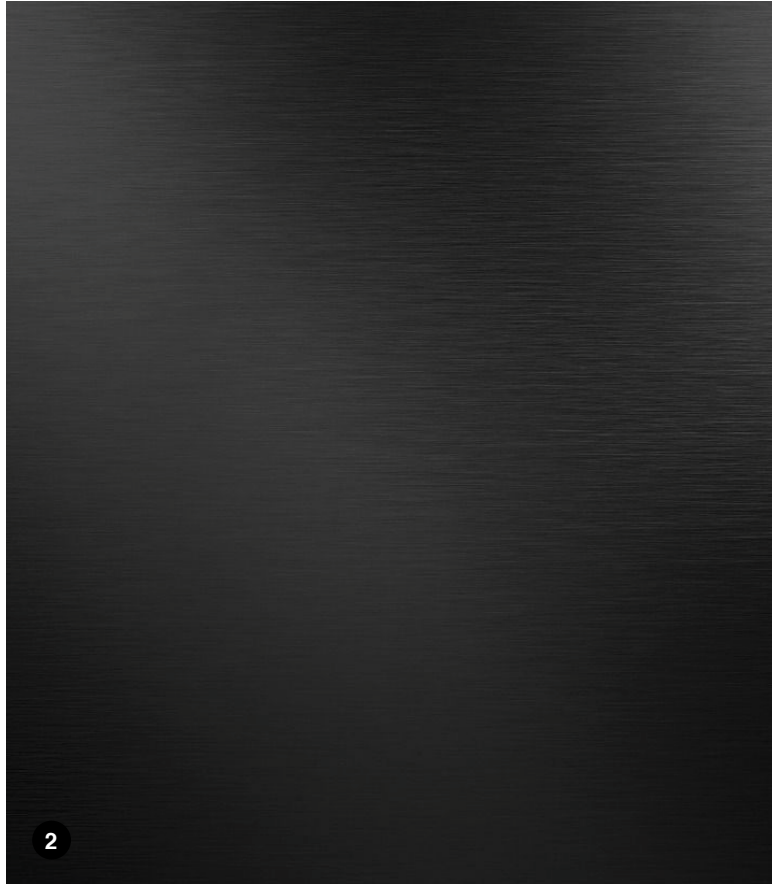
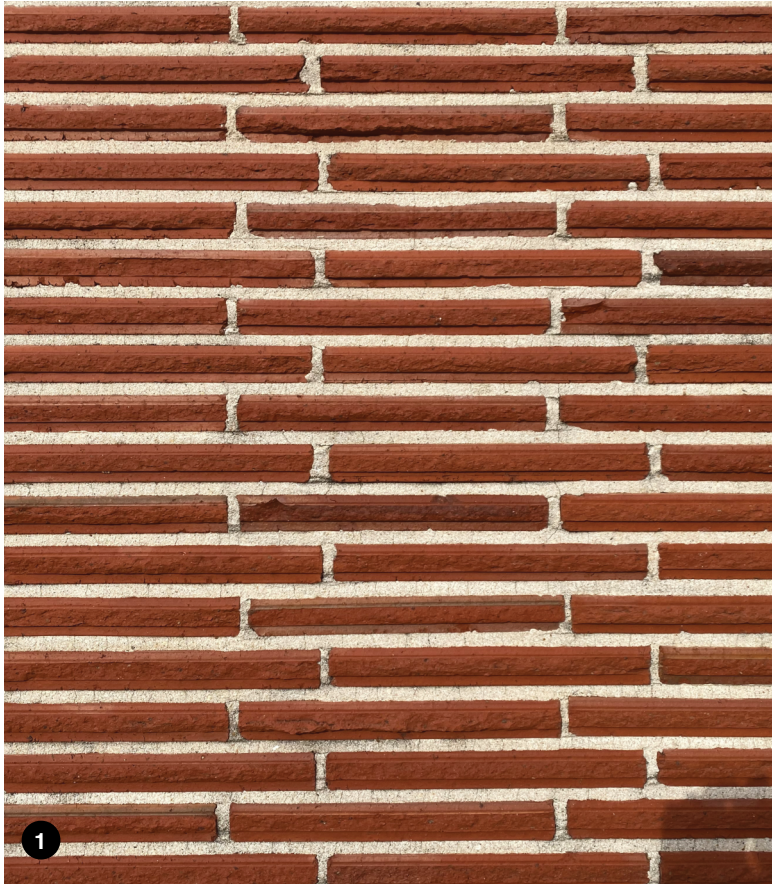
Exterior Precedents



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Materials

- 1 Existing brick (South face)
- 2 Black aluminum cladding
- 3 Existing brick (West and North face)
- 4 Washed concrete with black aggregate
- 5 Hand troweled concrete
- 6 Wood slat fence and landscape improvements



Existing Conditions



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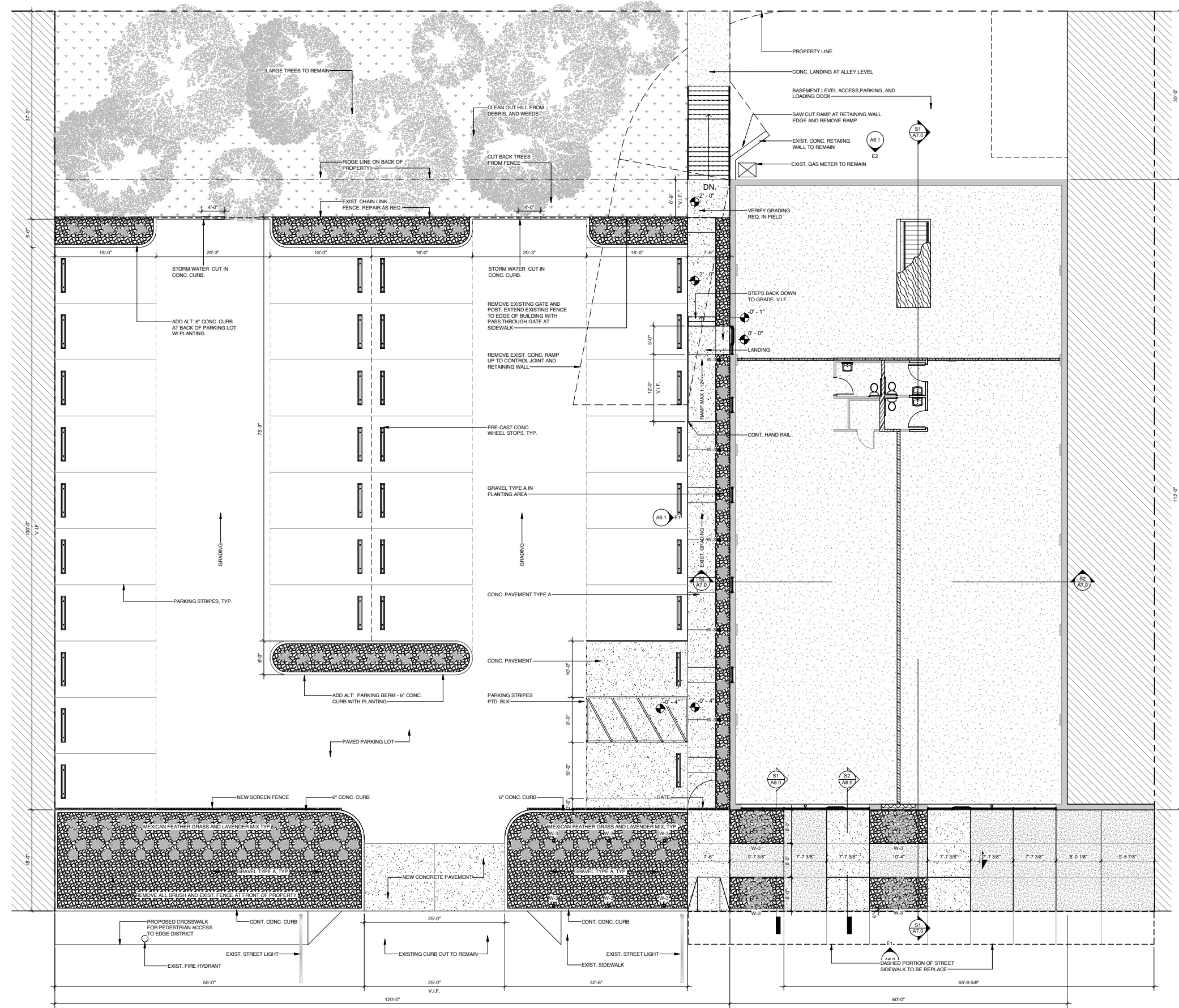


Proposed

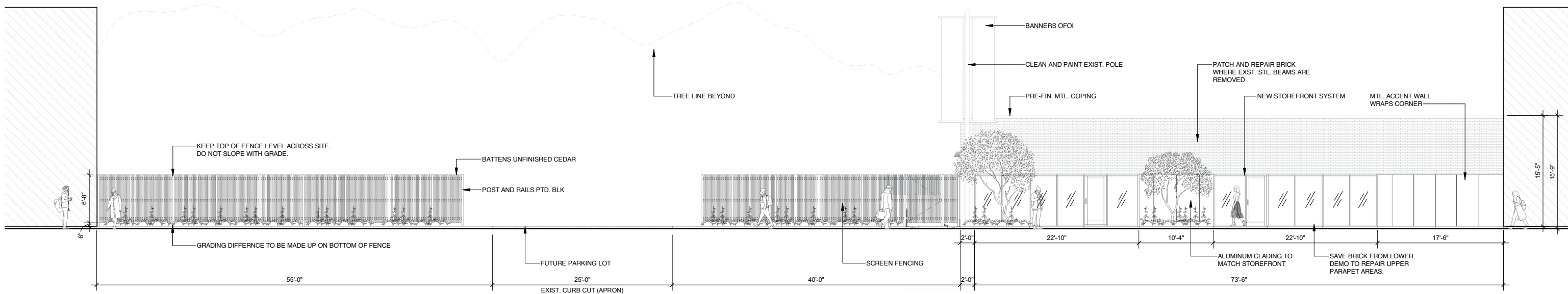
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Site Plan

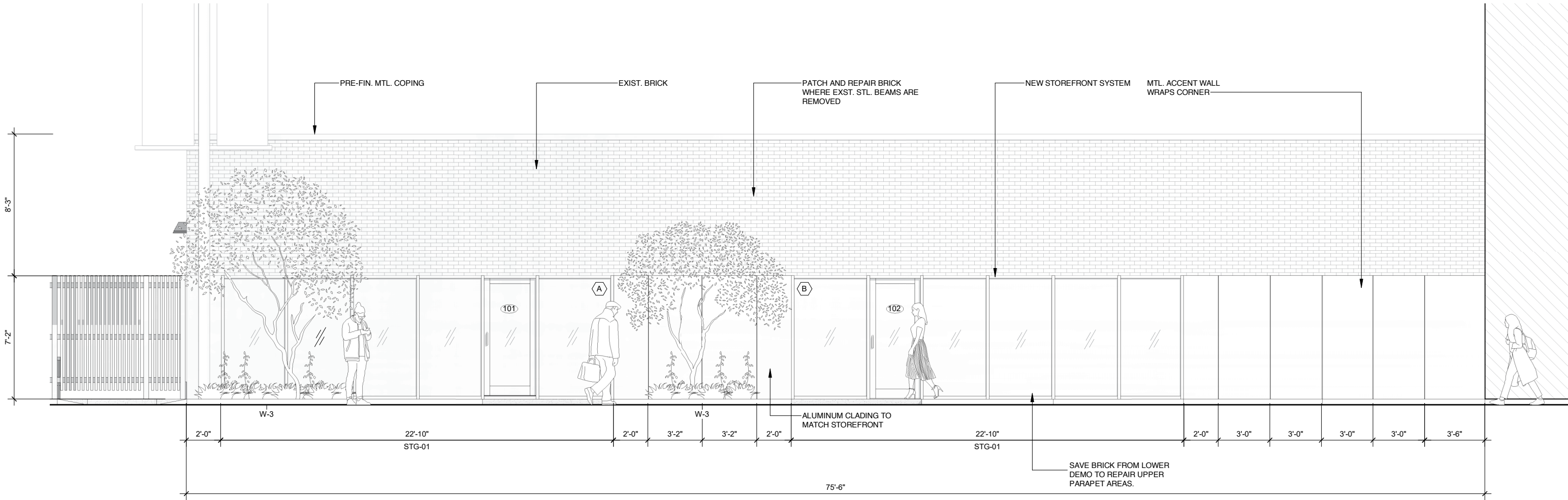


South Elevation

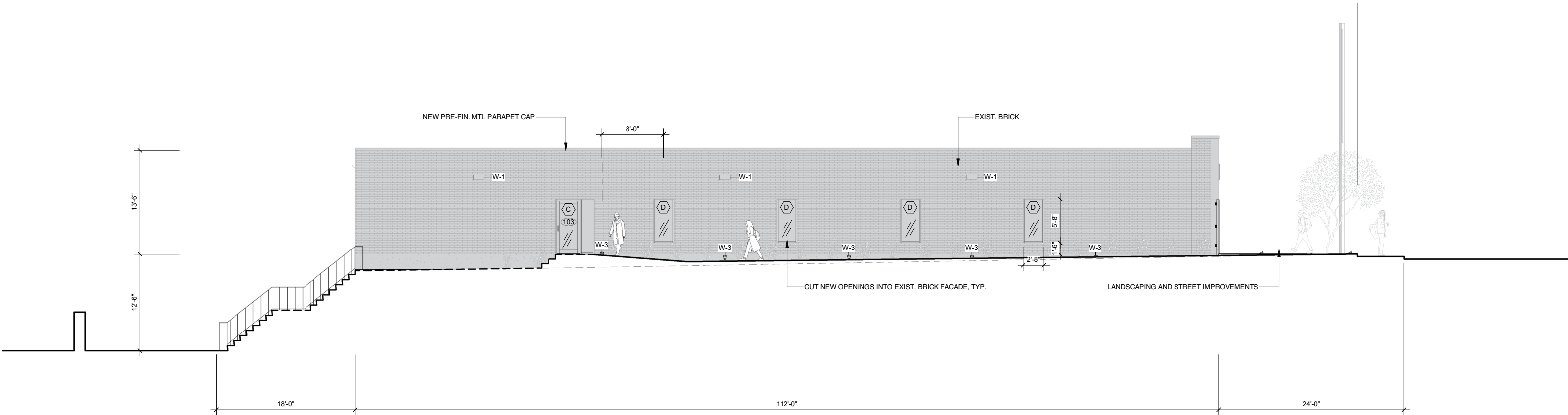


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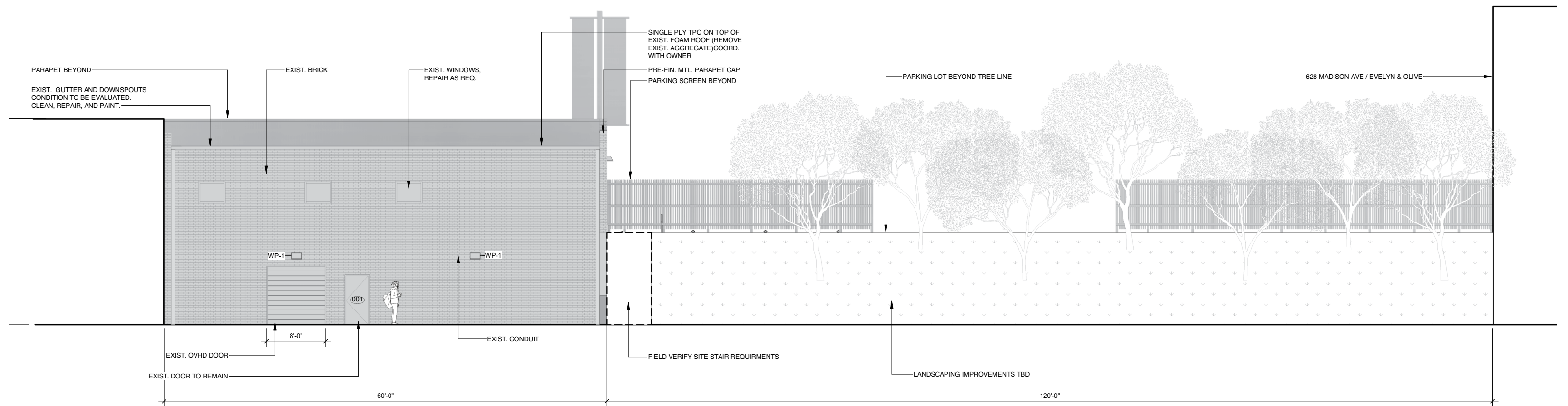
South Elevation Enlarged



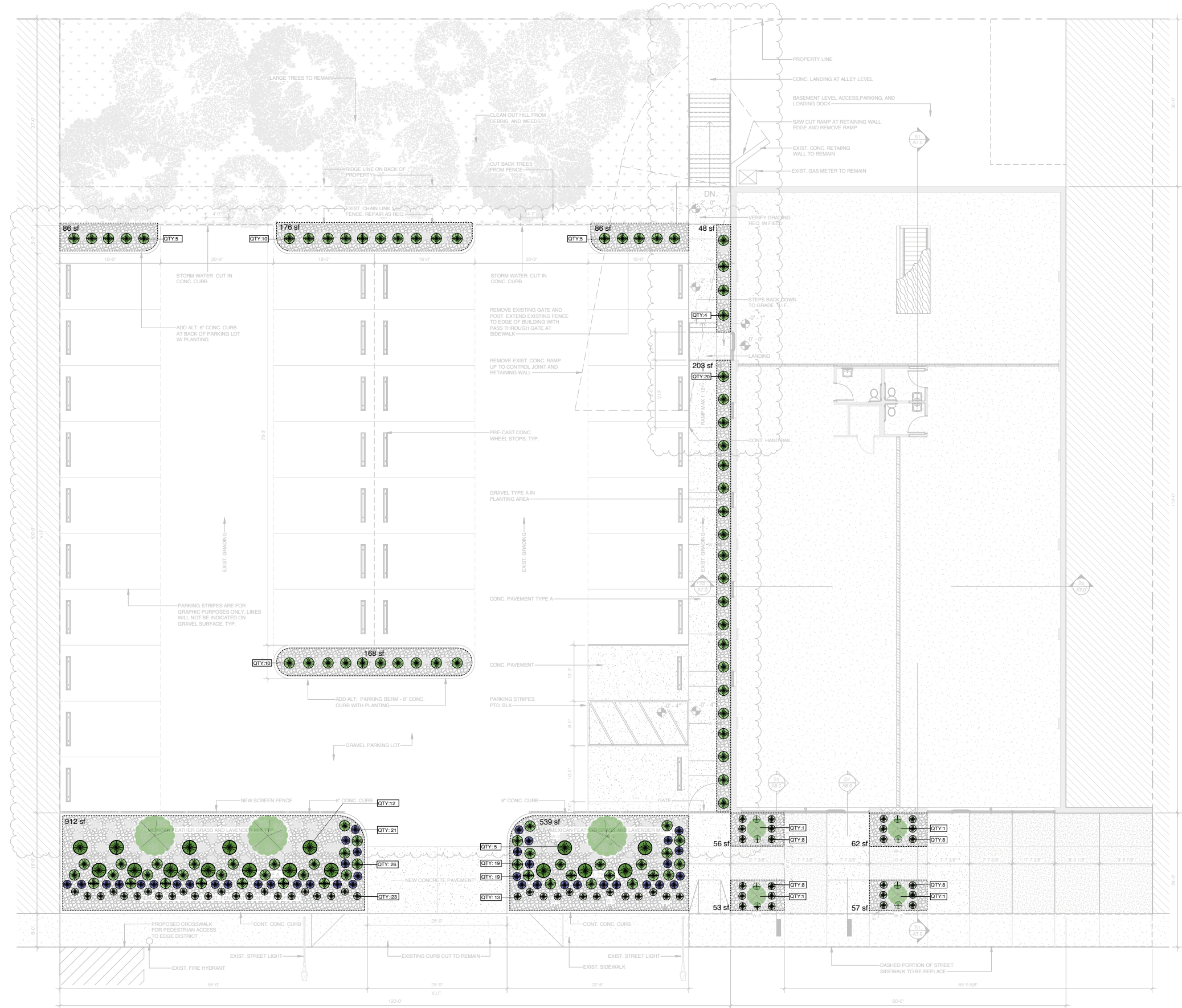
West Elevation

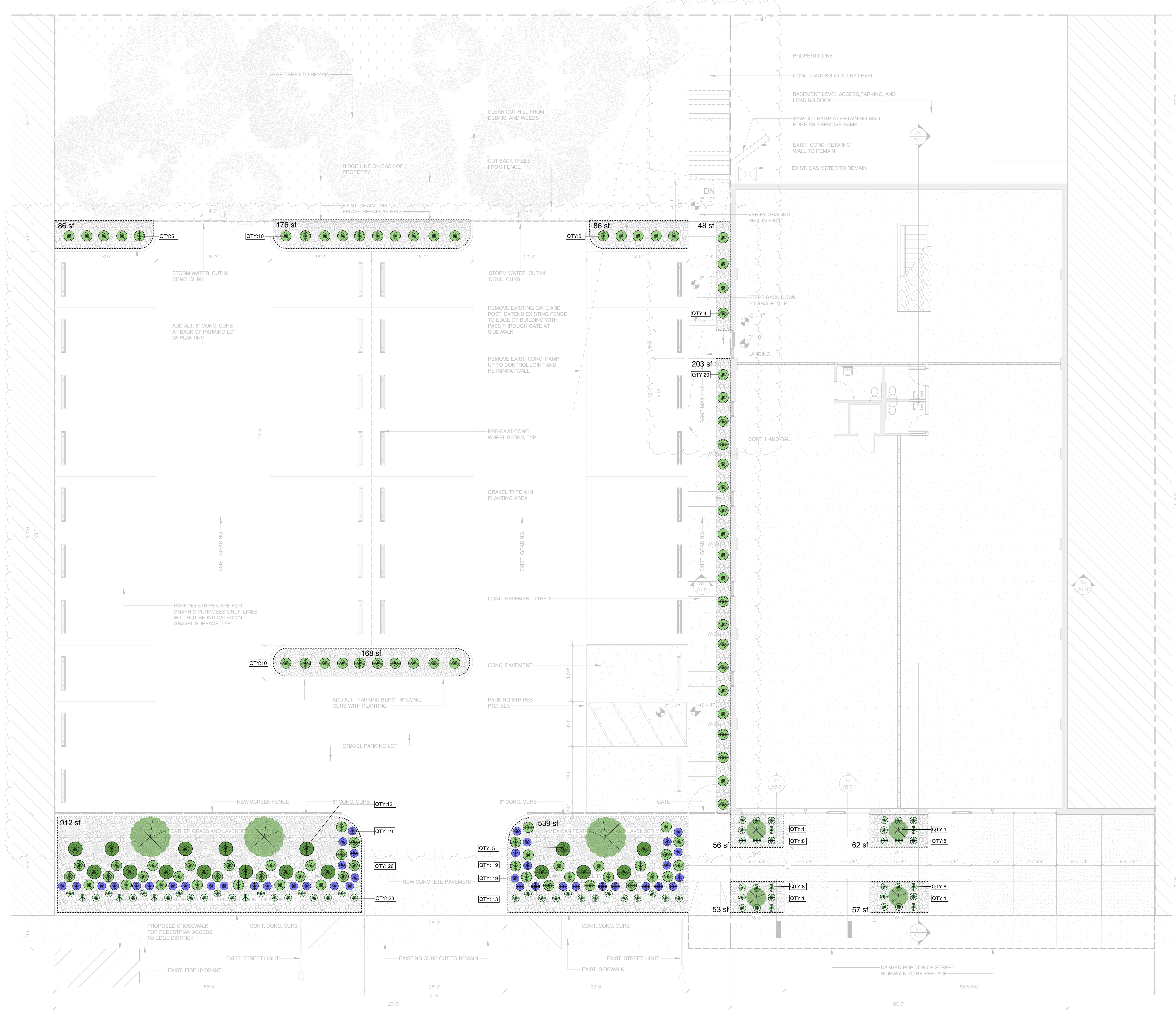


North Elevation



Landscape Plan





SITE MATERIAL LEGEND

- CONC. WALKWAY: HAND TROWEL FINISH (TYPE A)
- CONC. WALKWAY: WASHED FINISH (TYPE B)
- GRAVEL (TYPE A)
- GROUND COVER: TBD
- PLANTINGS: TBD
- EXISTING ASPHALT PAVING, RE-STRIPE & SEAL
- TREE: TBD
- GRASS / TOPOGRAPHY

LANDSCAPE LEGEND

- SHORT GRASS VARIETY
SPECIES: FESTUCA GLAUCA OR SIM.
QTY: 68
- MEDIUM GRASS VARIETY
SPECIES: NASSELLA (STIPA) TENUISSIMA OR SIM.
QTY: 99
- TALL GRASS VARIETY
SPECIES: NASSELLA (STIPA) TENUISSIMA OR SIM.
QTY: 17
- PURPLE FLOWERING VARIETY
SPECIES: VERBENA RUSSIAN SAGE ALLIUMS
QTY: 40
- SMALL TREE VARIETY
SPECIES: EASTERN REDBUD OR SIM.
QTY: 4
- MEDIUM TREE VARIETY
SPECIES: EASTERN REDBUD OR SIM.
QTY: 3
- MULCH
TYPE: CRUSHED LIMESTONE
QTY: ~2,450 SF



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CONSULTANT / SEAL



PROJECT CONTACT

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john@pkmarsh.com

PROJECT LOGO

PROJECT NAME

644 MADISON

644 MADISON AVE.
MEMPHIS, TN 38103

PROJECT NUMBER

20020

REVISIONS

SHEET TITLE

ARCHITECTURAL
SITE PLAN /
DETAILS

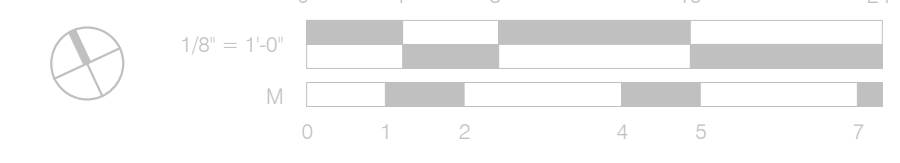
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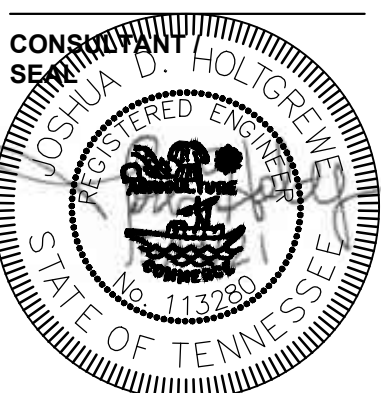
10/07/2021

SHEET NUMBER

A0.2

P1 GROUND LEVEL
1/8" = 1'-0"





DRAWING LEGEND

DRAWING NO.	DESCRIPTION
E0.1	Legend & Schedules - Electrical
E0.2	Fixture Schedule - Electrical
E0.3	Notes - Electrical
E0.4	Panel Schedules - Electrical
E0.5	Panel Schedules - Electrical
E1.1	Site Plan - Electrical
E2.1	Floor Plans - Lighting
E3.1	Floor Plans - Power, Comm. & Fire Alarm

ABBREVIATIONS

a, b, c, etc.	DENOTES SWITCHING SCHEME
AC	MOUNT ABOVE COUNTER
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
BFG	BELOW FINISHED GRADE
EC	ELECTRICAL CONTRACTOR
EP	EXPLOSION PROOF
EX	EXISTING
FACP	FIRE ALARM CONTROL PANEL
FAA	FIRE ALARM ANNUNCIATOR PANEL
GC	GENERAL CONTRACTOR
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
MC	MECHANICAL CONTRACTOR
MTD	MOUNTED
OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
SPD	SURGE PROTECTIVE DEVICE
STB	SHUNT TRIP BREAKER
UOI	UNLESS OTHERWISE INDICATED
WP	WEATHERPROOF

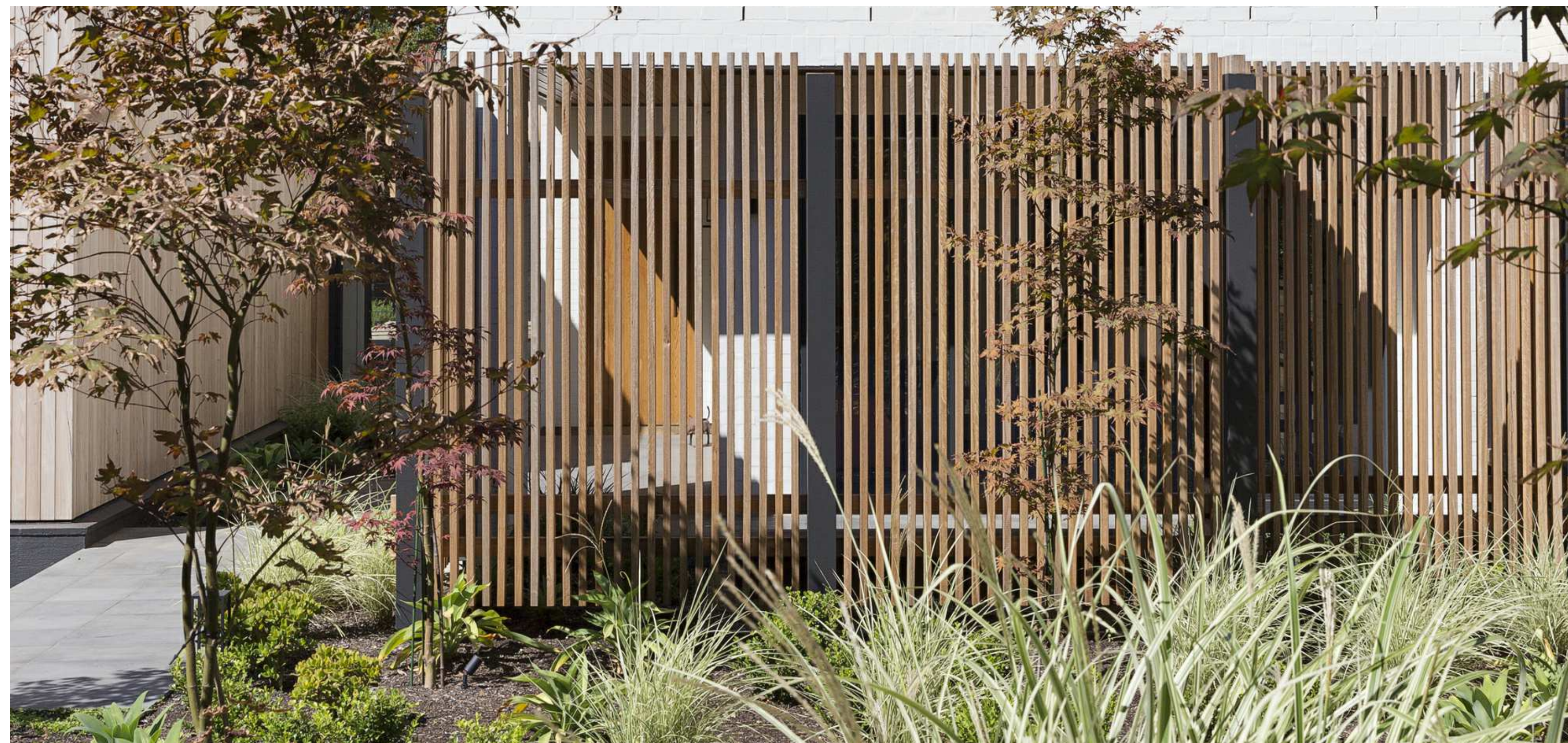
DEVICE NOTE

- ALL SWITCHES, RECEPTACLES, DEVICES, AND FACEPLATE FINISHES ARE TO BE COORDINATED WITH OWNER/ARCHITECT.

COMMUNICATIONS		WIRELESS ACCESS POINT BY OWNER - CONTRACTOR SHALL PROVIDE DATA JACK WITH SINGLE DATA DROP ABOVE CEILING AND PATCH CORD. COORDINATE FINAL LOCATIONS WITH OWNER.
COMMUNICATIONS		TBB - TELEPHONE BACKBOARD
COMMUNICATIONS		FIRE STOPPING COMMUNICATIONS PENETRATION, EZ PATH BY STI FIRE STOP OR APPROVED EQUAL.
SECURITY		SECURITY CAMERA BY OWNER. CONTRACTOR SHALL PROVIDE BOX IN WALL AND 1-1.25" FROM OUTLET TO ACCESSIBLE CEILING SPACE.
SECURITY		PUSH BUTTON RELEASE - COORDINATE REQUIREMENTS WITH VENDOR
SECURITY		CONNECTION TO ELECTRONIC DOOR LOCK
SECURITY		CARD READER. PROVIDE 1" FROM BOX TO ACCESSIBLE CEILING SPACE. COORDINATE EXACT REQUIREMENTS WITH SECURITY VENDOR.

1 SYMBOL LEGEND

LIGHTING		EXIT SIGN
LIGHTING		EXTERIOR SCONCE, REFER TO SCHEDULE & DRAWINGS FOR ELEVATIONS.
LIGHTING		STRIPLIGHT
LIGHTING		2'X4' FIXTURE
LIGHTING		HATCHED FIXTURE DESIGNATES A FIXTURE WITH AN EMERGENCY BATTERY BALLAST OR CONNECTED TO AN EMERGENCY BACK-UP POWER SUPPLY.
LIGHTING		EXTERIOR WALLPACK, REFER TO SCHEDULE & DRAWINGS FOR ELEVATIONS.
LIGHTING	A	DENOTES FIXTURE TAG "A" - SEE FIXTURE SCHEDULE
LIGHTING	\$	SINGLE POLE LIGHT SWITCH - CENTER MTD. 48" AFF. "3" INDICATES 3-WAY SWITCH, "OC" INDICATES DUAL TECHNOLOGY OCCUPANCY SENSOR SWITCH WITH MANUAL OVERRIDE, "d" INDICATES DIMMER SWITCH, "4" INDICATES 4-WAY SWITCH, "dW" INDICATES WIRELESS, LINE POWERED DIMMER SWITCH EQUAL TO NLIGHT AIR #RPODLA.
LIGHTING		CEILING MOUNTED, DUAL TECHNOLOGY, LINE VOLTAGE OCCUPANCY SENSOR. "LV" DENOTES CEILING MOUNTED, DUAL TECHNOLOGY, LOW VOLTAGE OCCUPANCY SENSOR. PROVIDE POWER PACKS AS REQUIRED.
POWER		DUPLEX RECEPTACLE, CENTER MTD. 18" AFF, UOI.
POWER		GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE, CENTER MTD. 18" AFF, UOI.
POWER		ISOLATED GROUND DUPLEX RECEPTACLE, CENTER MTD. 18" AFF., UOI.
POWER		ABOVE COUNTER DUPLEX RECEPTACLE, CENTER MTD. 4" ABOVE BACKSPASH AT MILLWORK. COORDINATE WITH ARCHITECTURAL ELEVATIONS & CASEWORK VENDOR.
POWER		GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE WITH WEATHER-PROOF IN-USE COVER, CENTER MTD. 18" AFF, UOI. PROVIDE LOCKABLE COVER.
POWER		DOUBLE DUPLEX RECEPTACLE, CENTER MTD. 18" AFF., UOI.
POWER		SPECIAL RECEPTACLE, TYPE AND MOUNTING AS INDICATED.
POWER		IN-GRADE FLOORBOX W/ RECEPTACLE/DATA. ROUTE CONDUIT TO NEAREST ACCESSIBLE CEILING. SEE DRAWINGS FOR DATA AND RECEPTACLE QUANTITY.
POWER		PANELBOARD - RATING, MOUNTING, ETC. PER ONE LINE DIAGRAM
POWER		JUNCTION BOX - USE AS INDICATED
POWER		FUSED HEAVY-DUTY DISCONNECT, SIZED & RATED AS INDICATED
POWER		NON-FUSED HEAVY-DUTY DISCONNECT, SIZED & RATED AS INDICATED
POWER		FEEDER RUN OVERHEAD - CONCEALED IN OR ABOVE CEILING IN WALL OR EXPOSED ON STRUCTURE - #12 COPPER CONDUCTORS IN 0.75" CONDUIT, UOI. #10 INDICATES #10 AWG CU.
POWER		FEEDER RUN CONCEALED BELOW FLOOR, IN WALL OR BELOW GRADE.
COMMUNICATIONS		TELE/DATA OUTLET CENTER MTD. 18" AFF, PROVIDE (1)-1" FROM OUTLET TO NEAREST ACCESSIBLE CEILING SPACE. IF LOCATED DIRECTLY ADJACENT TO A RECEPTACLE, THIS OUTLET SHALL BE MOUNTED AT THE SAME HEIGHT.
ANNOTATION	#	KEYED NOTE
FIRE ALARM		FIRE ALARM MANUAL PULL STATION, MTD 48" AFF TO BOTTOM.
FIRE ALARM		VISUAL INDICATOR DEVICE, WALL MTD.
FIRE ALARM		COMBINATION AUDIBLE & VISUAL INDICATOR ALARM, WALL MTD. DEVICES TO BE SPEAKER STROBES.
FIRE ALARM		SMOKE DETECTOR, CEILING MTD.
FIRE ALARM		HEAT DETECTOR, CEILING MTD.
FIRE ALARM		DOOR HOLD-OPEN



1 FENCE
12" = 1'-0"



2 LANDSCAPING
12" = 1'-0"

Sitework Precedents

- 1 Wood screen fence
- 2 Wood screen fence
- 3 Tall grasses
- 4 Concrete walkway with variety of textures and stains
- 5 Metal planter boxes
- 6 Planting within pathway with small tree

