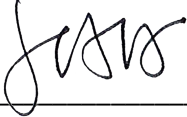


APPENDIX I: EIG APPLICATION

Date of Application:			
Building/Property Address:			
Applicant's Name:			
Name of the Business:			
Ownership Status:	<input type="checkbox"/> I own the property <input type="checkbox"/> I am purchasing the property <input type="checkbox"/> I will lease the property <input type="checkbox"/> Other _____		
Primary Project Contact:	Name:		
	Phone:	Email:	
	Mailing Address:		
Describe the existing condition of the property.			
Describe the proposed future use of the property.			
What exterior improvements do you plan to make to the property?			
Architect (if applicable)	Name: Company:	Phone:	
Total Project Budget:			
Total Grant Requested:			
Property Owner: (If not the applicant)	Name:		
	Phone:	Email:	
	Mailing Address:		

Disclaimer:	The CCDC, DMC, and its affiliates are not responsible for business consulting, planning, design, or construction of improvements to property that is owned by the applicant or any other entity. No warranties or guarantees are expressed or implied by the description of, application for, or participation in the Exterior Improvement Grant. The applicant is advised to consult with licensed architects, engineers, and/or building contractors before proceeding with final plans or construction.
Legal Disclosure:	<i>Disclose in writing whether any applicant, guarantor, or any other person involved with the project is currently engaged in any civil or criminal proceeding or ever filed for bankruptcy. Also, disclose whether any individual involved with the project has ever been charged or convicted of any felony or currently is under indictment:</i>
Board Relationship Disclosure:	<i>Disclose in writing whether the applicant or any guarantor has any previous or ongoing relationship with any Board member or legal counsel of the Board.</i>
Applicant's Certification:	This application is made in order to induce the CCDC to grant financial incentives to the applicant. The applicant hereby represents that all statements contained herein are true and correct. All information materially significant to the CCDC in its consideration of the application is included. The applicant acknowledges that it has reviewed the descriptions of the CCDC financial program for which it is applying and agrees to comply with those policies. The applicant shall also be required to show best faith efforts with regard to the employment of minority and/or women contractors and subcontractors in the project development. The applicant specifically

	<p>agrees to pay all reasonable costs, fees and expenses incurred by the CCDC whether or not the incentive is granted or project completed.</p> <p style="text-align: center;"></p> <p>Signature: _____ Date: _____</p>
--	--

Application Attachments

In addition to this completed and signed application, include the following attachments when you submit your grant request:

○ **Required Drawings and Exhibits**

Work with CCDC staff to determine which of the following application materials are necessary for your specific project:

- Architectural drawings, including dimensions and materials listed
- Rendering or sketch of proposed improvements
- Current photo(s) of the subject property
- Color and material samples for paint, awning, signs, etc.
- Sign plans, including dimensions/measurements and materials listed
- Other information and drawings as deemed necessary by staff

○ **Estimated Costs & Bids**

- Complete Sources and Uses Statement (Attachment B)
- If requested by DMC staff, provide copies of vendor bids / estimates

○ **Project Timeline**

List estimated dates to begin and finish construction

○ **References**

List three credit references.

INDEX
REQUIRED DRAWINGS AND EXHIBITS

I. Required Drawings and Exhibits.

INDEX OF EXHIBITS:

- A) Site Plan
- B) Existing Conditions Photos (link provided with additional photos)
- C) Architectural Drawings
- D) Conceptual Rendering
- E) Completed Sources & Uses Statement
- F) Project Timeline
- G) References

*all information is pending final design.

EXHIBIT A
ARCHITECTURAL PLANS & RENDERINGS

644 Madison

- 8 631 Madison Retail
- 9 619 Madison Future Parking
- 10 Streetscape Improvements
- 11 Sam Phillips Recording Studio
- 12 Karen Adams Design
- 13 644 Madison Offices & Retail
- 14 Parking & Future Phase 2 Mixed-Use
- 15 Evelyn & Olive

Project Description:

644 Madison Avenue is located in the Edge District adjacent to the Medical District Collaborative and immediately across the street from Sam Phillips Studio and recently completed Karen Adams Design. The existing site includes a masonry & steel building totalling 13,000 sf with 6,500 sf on-grade with Madison and 6,500 sf on-grade with with the alley north of the site. Immediately adjacent and to the west is a 0.44 acre lot that has been previously used for MLGW service vehicle parking.

This project includes the renovation of 644 Madison with 10,500 sf of rentable commercial space at the upper and lower levels and 2 -3 one bedroom apartment units (approx. 1,000 sf each). The existing parking lot will be repaired and utilized as shared parking for 644 Madison, 631 Madison and 616 Marshall. A linear park is planned for the full length of the south property line and a screen wall to limit views of the parking lot.



EXHIBIT B
Existing Conditions Photos



EXHIBIT C
Architectural Drawings



Facade Update

- 1 Dedicated Parking Lot
- 2 Screen Wall Secures/Hides Parking
- 3 New Entry & Windows From Parking Lot
- 4 New Glass Storefront & Entry
- 5 Optional Skylight
- 6 New Landscaping/Walking Path at Front Entry
- 7 New Signage
- 8 Medical District Collaborative Offices
- 9 Memphis Trolley Line
- 10 Historic Sam Phillips Studio
- 11 New Karen Adams Design (Renovation)



Architectural Drawings



EXHIBIT C
Architectural Drawings

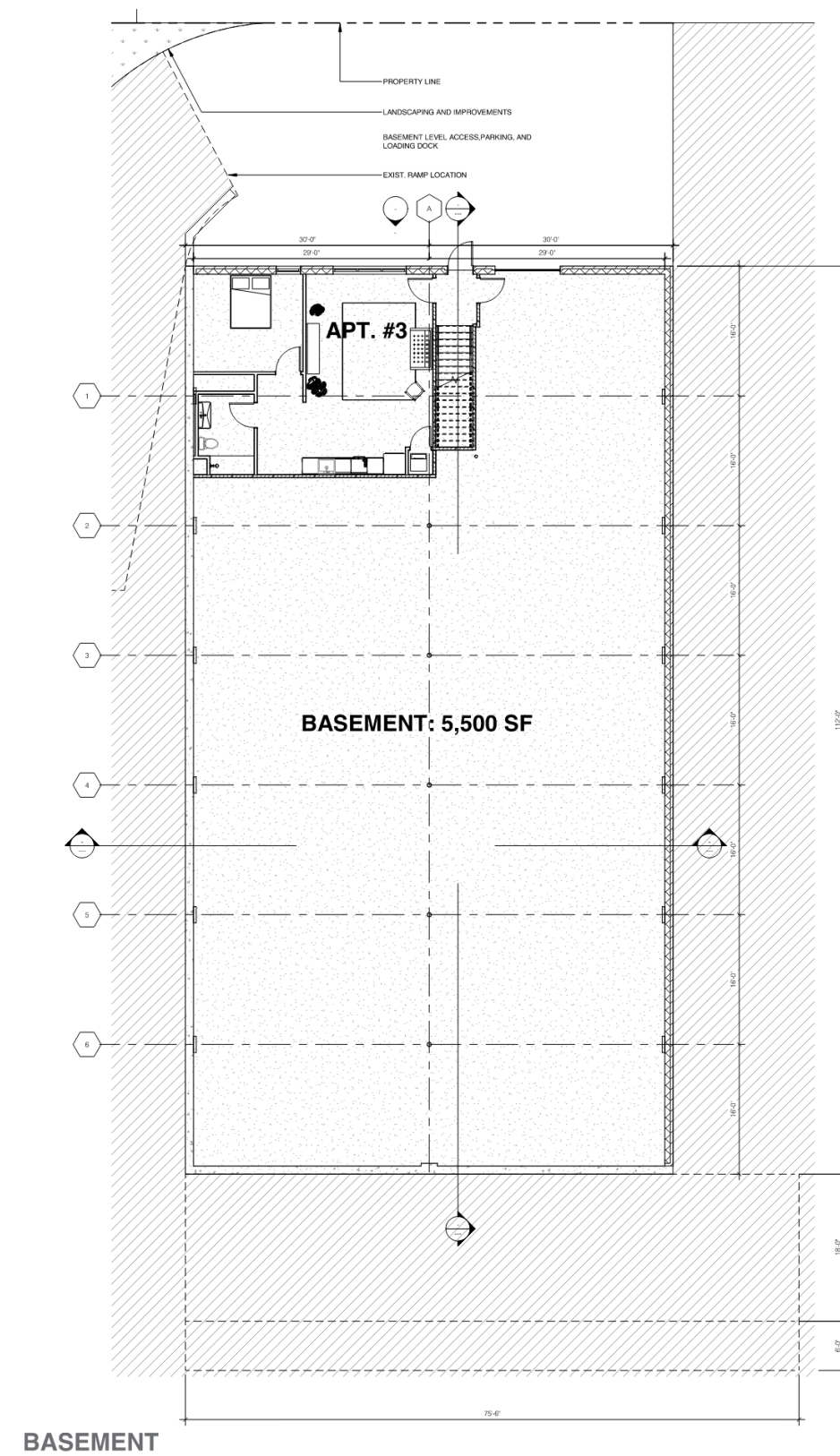
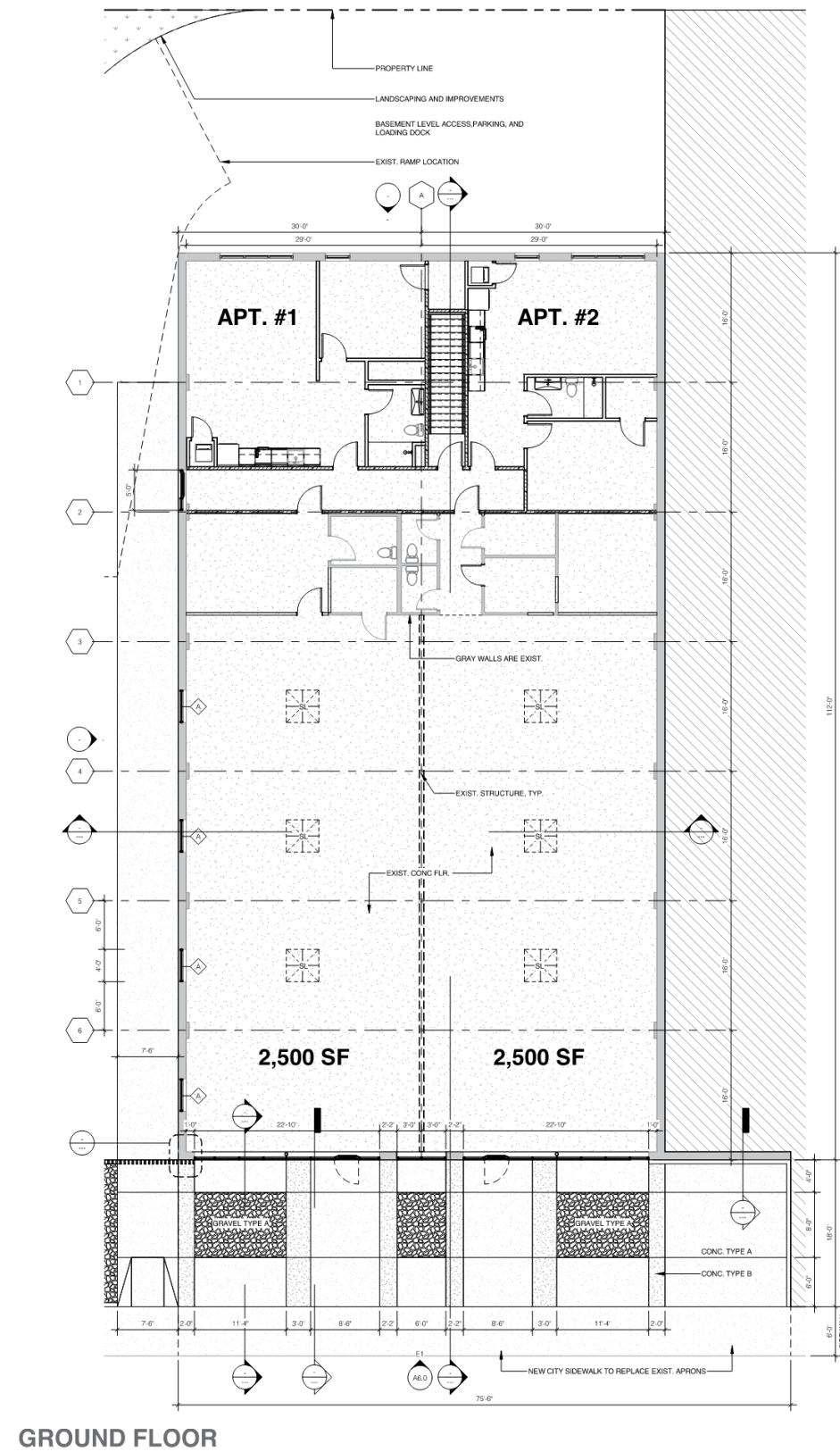
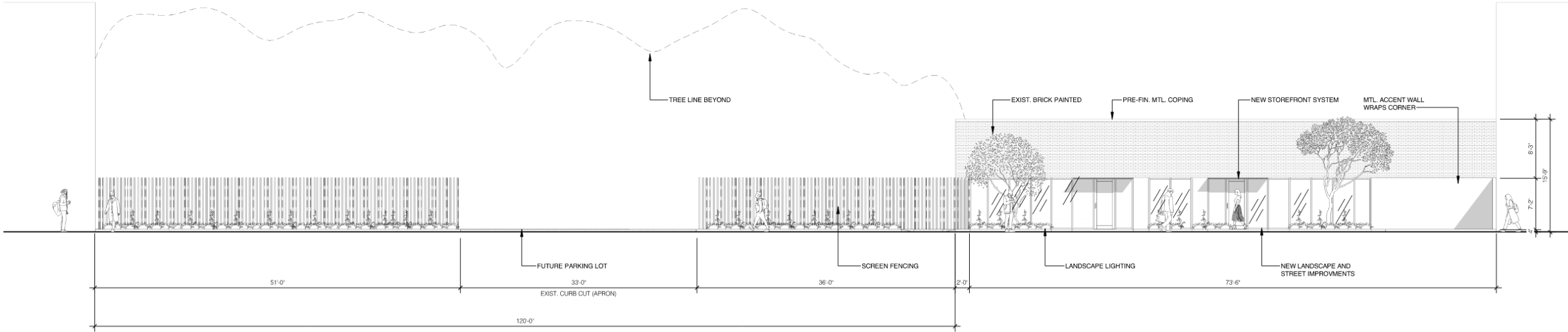
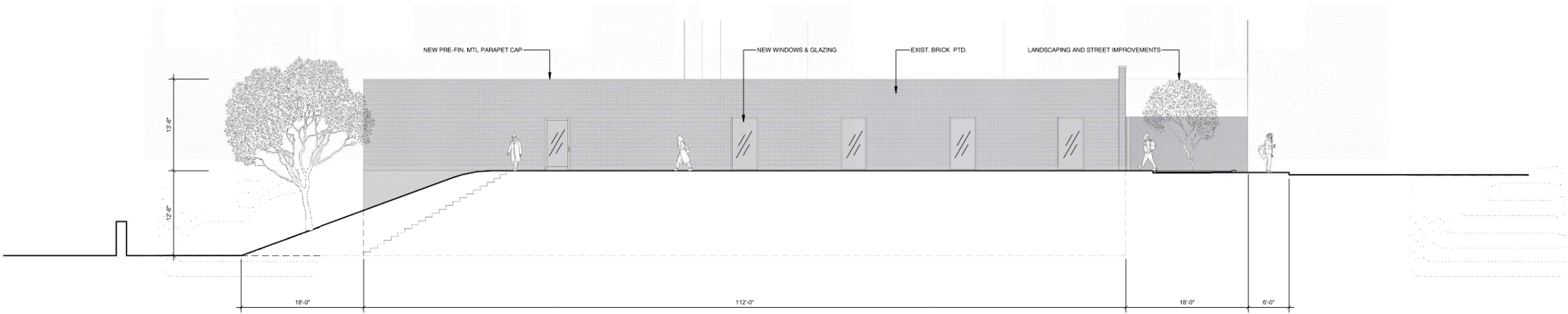


EXHIBIT C
Architectural Drawings

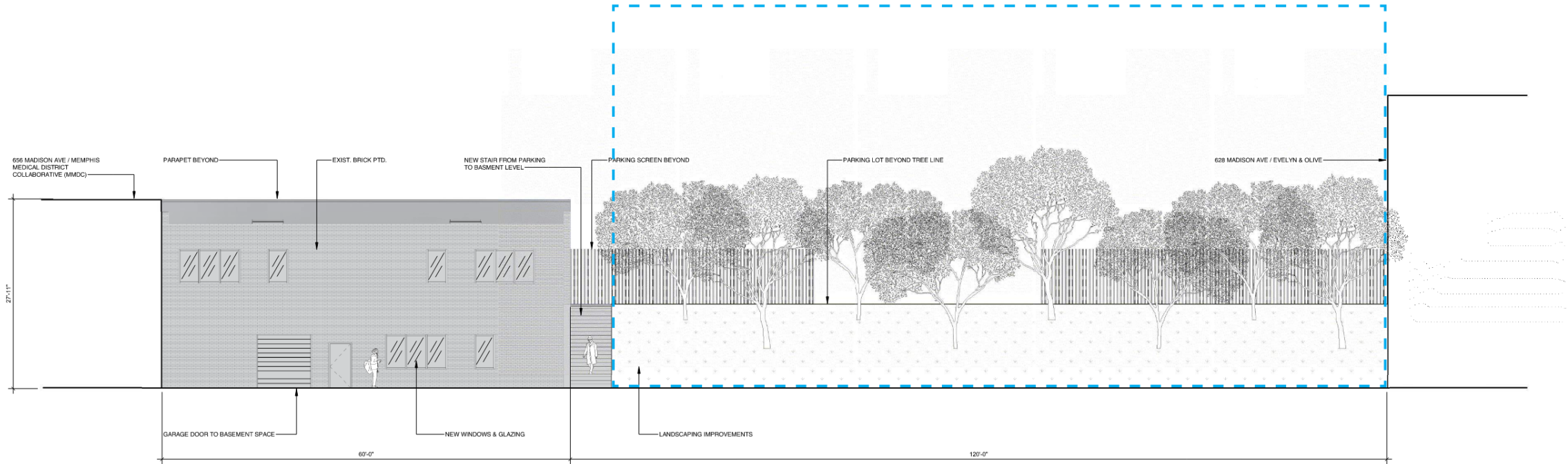


Madison Façade (South Elevation)

EXHIBIT C
Architectural Drawings



WEST ELEVATION



NORTH ELEVATION

EXHIBIT D
Conceptual Renderings



EXHIBIT E
ESTIMATED COSTS & BIDS

ATTACHMENT B

Example of Sources and Uses Statement

Sources:	Amount
List the amount of CCDC grant funding requested	\$80,000
List the source and amount of the matching funds you are providing	\$170,000
Total Sources	\$250,000
Uses:	Cost
exterior facade demolition	\$8,000
site demolition	\$18,000
exterior structural repair	\$12,000
misc metals and framing	\$12,000
glass and glazing	\$65,000
exterior doors & hardware	\$18,000
exterior painting	\$14,000
electrical & lighting	\$12,000
sidewalk repairs & concrete	\$18,000
fencing & screen	\$30,000
misc repairs	\$10,000
landscaping	\$25,000
signage	\$8,000
Total Uses:	\$250,000

EXHIBIT C
TIMELINE

II. Project Timeline

Notice to Proceed	05/10/2021
Substantial Completion	09/15/2021

EXHIBIT D
REFERENCES

- a) Ben Schulman
Director of Real Estate
Memphis Medical District Collaborative
(901) 552-4781
- b) Todd Richardson
Crosstown Concourse
todd@crosstownconcourse.com
- c) Dave Curran Jr., SIOR, CCIM
Senior Vice President
Commercial Advisors
(901)289-7116
- d) Russell Ingram
Chief Operating Officer
Epicenter Memphis
(901)289-9551
- e) Jose Velazquez
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