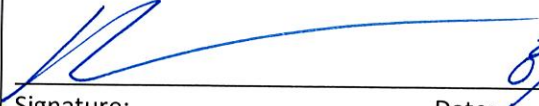


| | |
|--|---|
| <p>Disclaimer:</p> | <p>The CCDC, DMC, and its affiliates are not responsible for business consulting, planning, design, or construction of improvements to property that is owned by the applicant or any other entity. No warranties or guarantees are expressed or implied by the description of, application for, or participation in the Exterior Improvement Grant. The applicant is advised to consult with licensed architects, engineers, and/or building contractors before proceeding with final plans or construction.</p> |
| <p>Legal Disclosure:</p> | <p><i>Disclose in writing whether any applicant, guarantor, or any other person involved with the project is currently engaged in any civil or criminal proceeding or ever filed for bankruptcy. Also, disclose whether any individual involved with the project has ever been charged or convicted of any felony or currently is under indictment:</i></p> |
| <p>Board Relationship Disclosure:</p> | <p><i>Disclose in writing whether the applicant or any guarantor has any previous or ongoing relationship with any Board member or legal counsel of the Board.</i></p> |
| <p>Applicant's Certification:</p> | <p>This application is made in order to induce the CCDC to grant financial incentives to the applicant. The applicant hereby represents that all statements contained herein are true and correct. All information materially significant to the CCDC in its consideration of the application is included. The applicant acknowledges that it has reviewed the descriptions of the CCDC financial program for which it is applying and agrees to comply with those policies. The applicant shall also be required to show best faith efforts with regard to the employment of minority and/or women contractors and subcontractors in the project development. The applicant specifically</p> |

| | |
|---|--|
| | agrees to pay all reasonable costs, fees and expenses incurred by the CCDC whether or not the incentive is granted or project completed. |
| Signature:  | Date: <u>8/6/21</u> |

Application Attachments

In addition to this completed and signed application, include the following attachments when you submit your grant request:

○ **Required Drawings and Exhibits**

Work with CCDC staff to determine which of the following application materials are necessary for your specific project:

- Architectural drawings, including dimensions and materials listed
- Rendering or sketch of proposed improvements
- Current photo(s) of the subject property
- Color and material samples for paint, awning, signs, etc.
- Sign plans, including dimensions/measurements and materials listed
- Other information and drawings as deemed necessary by staff

○ **Estimated Costs & Bids**

- Complete Sources and Uses Statement (Attachment B)
- If requested by DMC staff, provide copies of vendor bids / estimates

○ **Project Timeline**

List estimated dates to begin and finish construction

○ **References**

List three credit references.

EXHIBIT A

PHOTOS OF EXISTING CONDITIONS





EXHIBIT B

ARCHITECTURAL PLANS & DRAWINGS

LRK

50 South B.B. King Blvd.
Suite 600
Memphis, TN 38103
901.521.1440

Client:

Henry Turley
COMPANY

65 Union Avenue, 12th Floor
Memphis, TN 38103

Consultants Direct to Owner:

Smith Seckman Reid, Inc.
CIVIL ENGINEER

Gala Engineering
MECHANICAL ENGINEER

DPC Engineers
STRUCTURAL ENGINEER

Burns Engineering
ELECTRICAL ENGINEER



Henry Turley
COMPANY

Orleans Station Retail

704 Madison Avenue
Memphis, TN 38103

25% Construction Progress Set | June 09, 2021

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06/09/21
FOR REVIEW ONLY - NOT FOR
CONSTRUCTION

LRK Project Number: 01.19036.00

Project Name:

**Orleans Station
Retail**

704 Madison Avenue
Memphis, TN 38103

Date and Issue

06.09.21 25% Construction Progress Set

GENERAL NOTES AND CONDITIONS

GENERAL:
 1. ALL GENERAL NOTES APPLY TO THE SCOPE OF THIS TOTAL PROJECT, REGARDLESS OF WHETHER OR NOT THEY ARE KEYS ON EVERY SHEET TO A SPECIFIC DETAIL.
 2. EACH TRADE SHALL VERIFY ALL REQUIREMENTS PERTAINING TO WORK PERFORMED IN THE PROJECT AND ANY REQUIRED PERMITS. ALL SUBCONTRACTORS SHALL DIRECT QUESTIONS, CHANGES OR REQUESTS THROUGH THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL SUBMIT ALL REQUESTS, CHANGES OR QUESTIONS TO THE ARCHITECT IN WRITING. PRIOR TO OWNER OCCUPANCY, CONTRACTOR SHALL REMOVE ALL DUST, DEBRIS, OILS, STAINS, GLUES, FINGERPRINTS, ETC. FROM EXPOSED SURFACES INCLUDING GLAZING AND LIGHT FIXTURES, REFLECTORS, WINDOWS SHALL BE WASHED. EVERYTHING MUST BE CLEANED AND AIR FILTERS MUST BE CHANGED TO ACHIEVE SUBSTANTIAL COMPLIANCE.
 3. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW THE JOB SITE PRIOR TO BEGINNING CONSTRUCTION AND INFORM THE ARCHITECT OF ANY DISCREPANCIES, CONFLICTS, ETC.
 4. THE ARCHITECT MUST BE NOTIFIED OF ANY PROBLEMS WITH PROPOSED WALL LOCATIONS ONCE THE CHALK LINES ARE IN PLACE AND PRIOR TO THE FASTENING OF THE METAL TRACKS IN ORDER TO MAKE APPROPRIATE DECISIONS ON ANY NECESSARY ADJUSTMENTS.
 5. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY UNLESS OTHERWISE NOTED.
 6. THIS DOCUMENT IS PROVIDED FOR BASIC CONSTRUCTION PURPOSES ONLY. THE ARCHITECT DOES NOT WARRANT ANY MATERIAL, EQUIPMENT, HARDWARE, ETC. WHETHER IMPLIED OR EXPLICITLY CALLED OUT ON DRAWINGS.
 7. THE CONTRACTOR SHALL REVIEW AND COORDINATE THE SCHEDULING OF ALL BANK EQUIPMENT INSTALLATION WITH THE BANK EQUIPMENT SUPPLIER.
 8. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION MEETS OR EXCEEDS APPLICABLE CODES AND STANDARD PRACTICES, INCLUDING ALL FEDERAL, STATE AND LOCAL BUILDING AND HANDICAP REQUIREMENTS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VIOLATION OF THE SAME AND SHALL MAKE ALL WORK ACCEPTABLE TO THE PUBLIC DEPARTMENT INVOLVED WITHOUT EXTRA CHARGE.
 9. ALL PERMITS (OCCUPANCY, ELECTRICAL, PLUMBING AND ALL OTHERS) REQUIRED BY STATE AND LOCAL CODES, EXCEPT THOSE ACQUIRED BY SUBCONTRACTORS, TO BE SECURED BY THE GENERAL CONTRACTOR WITH COPIES TO OWNER AND ARCHITECT WITHOUT EXTRA CHARGE. ALL PERMITS ACQUIRED BY SUBCONTRACTORS SHALL BE SUBMITTED TO THE GENERAL CONTRACTOR FOR RECORD.
 10. IF AN ANTICIPATED MECHANICAL, PLUMBING, ELECTRICAL, STRUCTURAL ELEMENTS, OR ANY OTHER CONDITIONS ARE ENCOUNTERED WHICH MIGHT CONFLICT WITH THE INTENDED DESIGN, CONTACT ARCHITECT IMMEDIATELY FOR CLARIFICATION.
 11. REVIEW ALL EXIT SIGNS AND FIRE EXTINGUISHER LOCATIONS WITH LOCAL CODE OFFICIALS PRIOR TO INSTALLATION.
 12. CONTRACTOR TO VERIFY ALL CLEARANCE AS WELL AS ELECTRICAL AND PLUMBING REQUIREMENTS OF ALL OWNER FURNISHED, OWNER INSTALLED EQUIPMENT.
 13. PROVIDE WOOD BLOCKING (FIRE RETARDANT WHERE REQUIRED BY CODE) INSIDE PARTITIONS FOR SECURING WALL-HUNG CABINETS, SHELVING, TRIM, MILLWORK, SIGNAGE, OWNER FURNISHED EQUIP., OTHER ELEMENTS ATTACHED TO PARTITIONS AS REQUIRED TO ENSURE FLUSH, STRAIGHT, WELL-SECURED CONDITIONS.
 14. THE STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE ENGINEERING DRAWINGS, SUCH DISCREPANCY IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND AT NO EXPENSE TO THE OWNER OR THE ARCHITECT.
 15. DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSION WITH THE ARCHITECT. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE.
 16. CONTRACTOR TO ENSURE THAT PLACEMENT OF INSULATION CREATES A THERMAL BARRIER BETWEEN CONDITIONED SPACE & EXTERIOR UNCONDITIONED SPACE.

CONSTRUCTION ASSEMBLY NOTES

A. THE CONTRACTOR SHALL VERIFY ALL ASSEMBLY INFORMATION WITH UNDERWRITERS LABORATORIES, GYPSUM ASSOCIATION, OR OTHER ORGANIZATIONS LISTED IN THE ASSEMBLIES ABOVE. TO ENSURE PROPER FIRE RATINGS ARE MAINTAINED.
 B. WHERE STC (SOUND TRANSMISSION CLASS) RATINGS ARE INDICATED, SOUND-RATED WALL CONSTRUCTION SHALL INCLUDE THE FOLLOWING:
 1. CONTINUOUS FLEXIBLE ACOUSTICAL SEALANT OR JOINT TAPE AND MUD AT WALL INTERSECTIONS. SEAL BETWEEN WALLBOARD AND DISSIMILAR MATERIALS, SUCH AS DOOR OR WINDOW FRAMES.
 2. CONTINUOUS FLEXIBLE ACOUSTICAL SEALANT OR JOINT TAPE AND MUD AT WALL INTERSECTIONS. SEAL BETWEEN WALLBOARD AND DISSIMILAR MATERIALS, SUCH AS DOOR OR WINDOW FRAMES.
 3. CONTINUOUS ACOUSTICAL SEALANT OR FIRE-CAULK SEALANT (AS REQUIRED BY THE ASSEMBLY LISTING) AT THE TOP EDGE OF THE WALLBOARD WHERE THE JOINT IS CONCEALED, OR PROVIDE WALLBOARD TAPE AND MUD WHERE THE TOP JOINT IS EXPOSED TO VIEW.
 4. FLEXIBLE ACOUSTICAL SEALANT OR FIRE-CAULK (AS REQUIRED BY THE ASSEMBLY LISTING) AT ALL FULL OR PARTIAL WALL PENETRATIONS AND AROUND OPENINGS, FLUSH-MOUNTED ACCESSORIES, FIRE EXTINGUISHER CABINETS, ELECTRICAL BOXES, ETC. LINE ALL RECESSES FOR BUILT-IN DEVICES SUCH AS FIRE EXTINGUISHER CABINETS, TOILET ACCESSORIES, ETC. WITH WALLBOARD. SEAL ALL JOINTS.
 5. COVER ALL KNOCK-OUT PLUGS AND SCREW HOLES IN FLUSH-MOUNTED ELECTRICAL BOXES WITH A MINIMUM 1/8" INCH THICK LAYER OF ACOUSTICAL SEALANT. APPLY TAPE OVER MISSING KNOCK-OUT PLUGS AND COVER WITH MINIMUM 1/8" INCH THICK LAYER OF ACOUSTICAL SEALANT.
 6. SOUND-RATED WALLS SHALL BE SEALED AIR-TIGHT AT THE PERIMETER AND AT ALL PARTIAL AND THROUGH-PENETRATIONS.
 7. EXTEND SOUND-RATED WALLS THROUGH SUSPENDED CEILING AND SEAL THE JOINT AT THE STRUCTURE ABOVE. SEAL ALL PENETRATIONS ABOVE THE SUSPENDED CEILING.
 8. GYPSUM WALLBOARD AND ACOUSTICAL INSULATION IN SOUND-RATED PARTITIONS SHOULD NOT BE INTERRUPTED AT THE INTERSECTIONS WITH NON-SOUND RATED PARTITIONS, FRAMING AND WALLBOARD OF NON-SOUND RATED CONSTRUCTION SHOULD ABOUT THE CONTINUOUS WALLBOARD OF THE SOUND-RATED WALL.
 9. REFER TO THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL GA-600 - LATEST EDITION, SECTION 11 ON SOUND CONTROL AND TO FIGURE 12 FOR ADDITIONAL DETAILS. FOLLOW GYPSUM ASSOCIATION RECOMMENDATIONS FOR EFFECTIVE SOUND ISOLATION CONSTRUCTION.
 C. WHERE FIRE-RESISTANT ASSEMBLIES ARE INDICATED, REFER TO THE REFERENCED FIRE-TESTED ASSEMBLY AND PROVIDE THE MATERIALS, BRAND NAMES, PRODUCTS, AND CONSTRUCTION METHODS SPECIFIED THEREIN.
 D. AT ALL FIRE-RESISTIVE WALLS AND SMOKE BARRIER CONSTRUCTION WHERE A PORTION OF THE CONSTRUCTION IS CONCEALED ABOVE SUSPENDED CEILING, STENCIL A NOTE IN 2 INCH HIGH RED LETTERS (OR APPROVED EQUAL) FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS. NO POINT ALONG THE LENGTH OF THE RATED WALL SHOULD BE MORE THAN 8 FEET FROM A STENCILED NOTE. CONFIRM THE NOTE LANGUAGE AND SPACING REQUIREMENTS WITH THE AUTHORITY HAVING JURISDICTION BEFORE APPLICATION.
 E. WHERE FLUSH-MOUNTED ELECTRICAL OUTLET BOXES (16 SQUARE INCHES OR LESS) ARE INDICATED LESS THAN 24 INCHES APART ON OPPOSITE SIDES OF FIRE-RESISTIVE CONSTRUCTION, PROVIDE AS NEEDED, FIRE-RETARDANT PUTTY PADS TO WRAP THE ELECTRICAL BOXES. PUTTY PADS WILL BE PROVIDED TO COMPLY WITH THE BUILDING CODE AND TO CONFORM WITH THE REQUIREMENTS OF THE FIRE-TESTED WALL ASSEMBLY, AND WILL BE UL CLASSIFIED "WALL OPENING PROTECTIVE MATERIAL".
 F. WHERE RECESSED DEVICES ARE INDICATED IN FIRE-RESISTIVE GYPSUM WALLBOARD CONSTRUCTION, PROVIDE LAYERS OF GYPSUM WALLBOARD BETWEEN THE STUDS, INSIDE THE RECESS - TOP, BOTTOM, BACK, AND SIDES, AS REQUIRED TO MAINTAIN THE FIRE RESISTANCE RATINGS INDICATED. EXAMPLES OF RECESSED DEVICES INCLUDED ARE TOILET ACCESSORIES, FIRE EXTINGUISHER CABINETS, FIRE HOSE CABINETS, BATH FANS, RECESSED LIGHTS, ETC. UNLESS A RATED FIXTURE IS BEING PROVIDED TO MAINTAIN THE RATING OF THE ASSEMBLY.
 G. EXTERIOR WALL CONSTRUCTION - ALL PARTIAL PENETRATIONS SHALL BE SEALED. PENETRATIONS THROUGH THE INTERIOR SIDE OF EXTERIOR WALLS SHALL BE SEALED AIR-TIGHT TO PREVENT AIR INFILTRATION. EXAMPLE - ELECTRICAL BOX FOR SWITCH OR OUTLET. PENETRATIONS THROUGH THE EXTERIOR SIDE OF EXTERIOR WALLS SHALL BE SEALED WATER-TIGHT. EXAMPLE - HOSE BIB, CONDUIT, OR PIPE.
 H. PIPE AND VALVE PENETRATIONS OF WALLBOARD AT BATHTUBS AND SHOWERS SHALL BE SEALED USING SILICONE SEALANT WITH MILDEW-RESISTANT PROPERTIES, SUCH AS GENERAL ELECTRIC CO. "SCS 1701", OR DOW CORNING 786.

ACCESSIBILITY NOTES

1. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF ANSI A117.
 2. ALL CONTROL DEVICES FOR LIGHT, POWER, HEAT, ALARMS, ETC. SHALL BE MOUNTED NO HIGHER THAN 46" FROM THE FLOOR TO THE HIGHEST OPERATIONAL ELEMENT OF THE DEVICE.
 3. EXTERIOR AND INTERIOR PASSAGE DOORS WHERE OPERABLE HARDWARE IS PROVIDED, SHALL BE EQUIPPED WITH HANDLES, PULLS, LATCHES, LOCKS OR OTHER OPERATING HARDWARE DEVICES HAVING A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE GRASPING, TIGHT PINCHING OR WRIST-TWISTING MOTION TO OPERATE.
 4. DOORS THAT LEAD TO AREAS THAT MIGHT PROVE DANGEROUS TO BLIND, VISUALLY IMPAIRED PERSONS OR PERSONS WITH LOW VISION CAPABILITIES (FOR EXAMPLE, DOORS LEADING TO LOADING DOCKS OR PLATFORMS, BOILER ROOMS, STAGES, ELECTRICAL EQUIPMENT ROOMS, ETC) SHALL BE MADE READILY IDENTIFIABLE TO THE TOUCH BY A TEXTURED SURFACE ON THE DOOR HANDLE, KNOB, PULL OR OTHER OPERATING HARDWARE.
 5. CONTRACTOR TO VERIFY THAT NO ELEMENT BETWEEN 27" AND 80" A.F.F. PROJECTS MORE THAN 4" INTO AN ACCESSIBLE ROUTE UNLESS IDENTIFIED WITH A CANE DETECTION ELEMENT.
 6. PROVIDE SLIP RESISTANT FLOOR SURFACES ALONG ALL ACCESSIBLE ROUTES.
 7. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE RAMPED PER ANSI

PROJECT TEAM

OWNER
 HENRY TURLEY COMPANY, INC.
 65 UNION AVENUE, 12TH FLOOR
 MEMPHIS, TN 38103
 TEL: (901) 527-2770
 CONTACT: PETE EVANS
 ALEX TURLEY

ARCHITECT
 LRK inc.
 50 South B.B. King Blvd, Suite 600
 Memphis, TN 38103
 901.521.1440
 Contact: [Contact Name]

GENERAL CONTRACTOR
 MONTGOMERY MARTIN CONTRACTORS
 6345 TOURNAMENT DRIVE #300
 MEMPHIS, TN 38125
 TEL: (901) 374-9400

CONSULTANTS DIRECT TO OWNER:

CIVIL ENGINEER
 SMITH SECKMAN REID, INC.
 2650 THOUSAND OAKS BLVD., SUITE 3200
 MEMPHIS, TN 38118
 TEL: (901) 683-3900
 CONTACT: TIFFANY M. HEARD, P.E.

MECH./PLUMB. ENGINEER
 GALA ENGINEERING
 7975 STAGE HILLS BOULEVARD
 MEMPHIS, TN 38133
 TEL: (901) 384-8400
 CONTACT: JAMES FLECK, P.E.

ELECTRICAL ENGINEER
 BURNS ENGINEERING
 7975 STAGE HILLS BOULEVARD, SUITE 2
 MEMPHIS, TN 38133
 TEL: (901) 373-8462
 CONTACT: JIM BURNS, P.E.

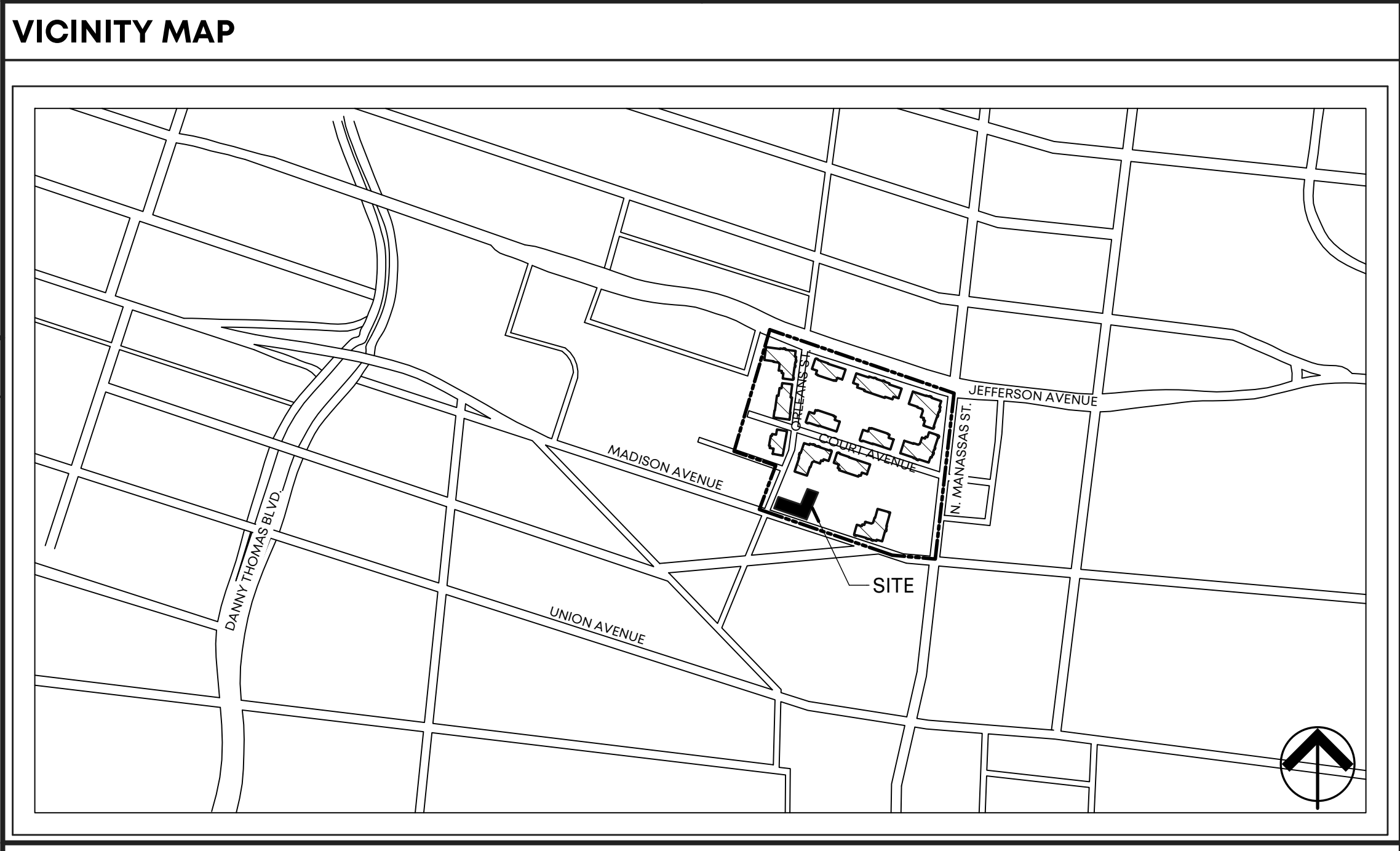
BUILDING NOTES

1. ORIENTATION OF THE BUILDING PLAN ILLUSTRATED MAY BE DIFFERENT THAN THE ORIENTATION OF THE ARCHITECTURAL REFERENCE SITE PLAN; NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
 2. ALL MECHANICAL, ELECTRICAL, PLUMBING, SECURITY, UTILITY, CABLE TV, AND TELEPHONE EQUIPMENT SHALL BE INSTALLED SO AS NOT TO BE IN CONFLICT WITH ANY WINDOW, WINDOW SHUTTER OR SHUTTER PANEL.
 3. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BALCONIES.
 4. LOCATE ANY ROOF VENTS ON THE "REAR" SIDE OF EACH BUILDING TYPE. ROOF PENETRATIONS OF PLUMBING OR MECHANICAL EQUIPMENT SHALL BE MINIMIZED AND SHALL BE LOCATED AT THE "REAR" SIDE OF EACH BUILDING. GROUP VENTS WHERE POSSIBLE TO MINIMIZE ROOF PENETRATIONS. PAINT ALL ROOF PENETRATIONS TO MATCH THE ADJACENT ROOF COLOR.

ROOF PLAN NOTES

1. PROVIDE ICE AND WATER SHIELD AT THE OVERHANGS OF THE ROOF AND AT ALL ROOF VALLEYS.
 2. ROOF VENTS AND ROOF PENETRATIONS OF PLUMBING OR MECHANICAL EQUIPMENT SHALL BE MINIMIZED AND LOCATED AT THE "REAR" SIDE OF EACH BUILDING. GROUP VENTS WHERE POSSIBLE TO MINIMIZE ROOF PENETRATIONS. PAINT ALL ROOF PENETRATIONS TO MATCH THE ADJACENT ROOF COLOR.

VICINITY MAP



CODE SUMMARY

PROJECT DESCRIPTION:
 RENOVATION OF RETAIL CORE AND SHELL IN AN EXISTING BUILDING.

PROJECT ADDRESS:
 704 MADISON AVENUE
 MEMPHIS, TN 38103

OWNER ADDRESS:
 65 UNION AVENUE, 12TH FLOOR
 MEMPHIS, TN 38103

CODE REVIEW JURISDICTION:
 SHELBY COUNTY, TENNESSEE - CONSTRUCTION CODE ENFORCEMENT

CODE REFERENCE:
 BUILDING CODE: 2015 INTERNATIONAL EXISTING BUILDING CODE (WITH LOCAL AMENDMENTS)
 2015 INTERNATIONAL BUILDING CODE (WITH LOCAL AMENDMENTS)
 2015 INTERNATIONAL FIRE CODE
 ELECTRICAL CODE: 2014 INTERNATIONAL ELECTRIC CODE WITH LOCAL AMENDMENTS
 MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS
 PLUMBING CODE: 2015 INTERNATIONAL PLUMBING CODE WITH LOCAL AMENDMENTS
 FUEL GAS CODE: 2015 INTERNATIONAL FUEL GAS CODE WITH LOCAL AMENDMENTS
 ENERGY CODE: 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH LOCAL AMENDMENTS
 ACCESSIBILITY: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

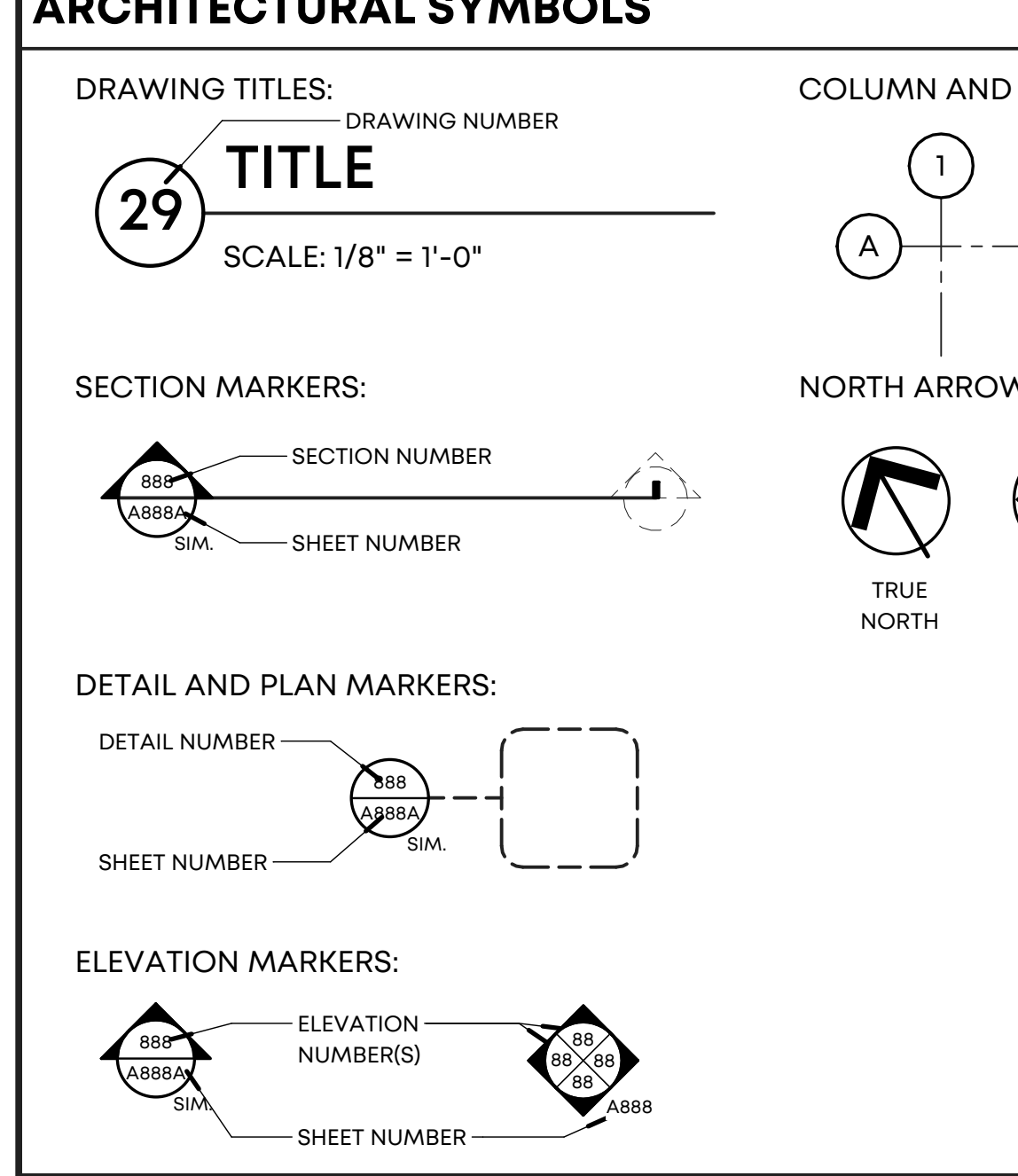
CHAPTER 3 - USE AND OCCUPANCY:
 PRIMARY OCCUPANCY: MERCANTILE (M) IBC 309.1
 OTHER OCCUPANCIES: ASSEMBLY - RESTAURANT (A-2) IBC 309.3

CHAPTER 5 - GENERAL BUILDING HEIGHT AND AREA:
 BUILDING DATA:
 CONSTRUCTION HEIGHT (STORIES) (TABLE 504.4) : 50'-0" (3 STORY) ALLOWED
 RETAIL BUILDING : ACTUAL: 16'-0" (1 STORY)
 ALLOWABLE AREA (PER TABLE 509.2) : CONSTRUCTION TYPE V-A : 14,000 S.F.
 ACTUAL AREA (GROSS SQUARE FOOTAGE):
 RETAIL BUILDING : 11,295 GSF

CHAPTER 6 - TYPE OF CONSTRUCTION
 TYPE (SECTION 602): TYPE V-A

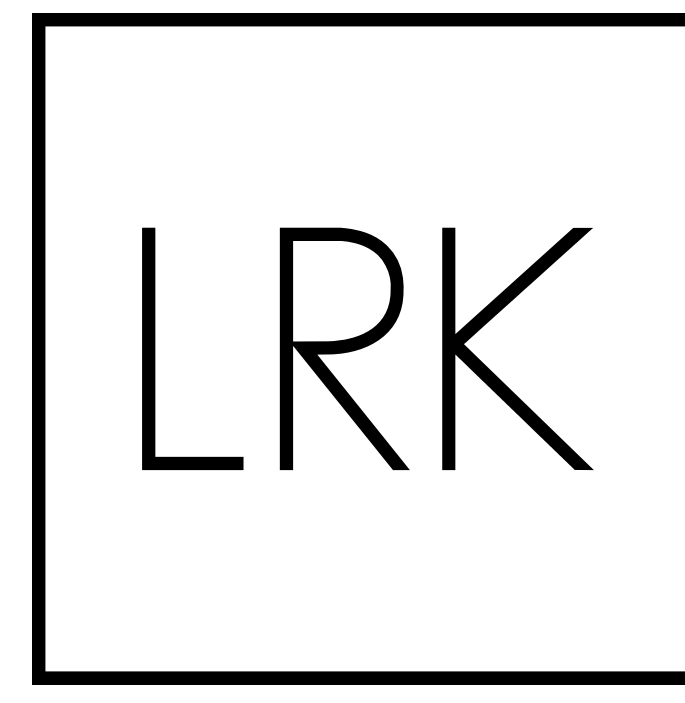
ARCHITECTURAL ABBREVIATIONS

| | | | |
|---------------------------|----------------------|---|----------------------------|
| ACT ACOUSTICAL (CLG) TILE | FIN FINISH | OC ON CENTER | T TREAD |
| ALUM ALUMINUM | FOC FACE OF CONCRETE | OFCI OWNER FURNISHED CONTRACTOR INSTALLED | TB TOWEL BAR |
| BLK BLOCKING) | FOF FACE OF FINISH | OFOW OWNER FURNISHED OWNER | THK THICKNESS) |
| BCC BOTTOM OF CURB | FOM FACE OF MASONRY | OS INSTALLED | THRS THRESHOLD |
| BSMT BASEMENT | FOS FACE OF STUDS | OPP OPPOSITE | TOC TOP OF CURB/CONCRETE |
| | FTG FOOTING | PG PLASTIC GLAZING | TOL TOLERANCE |
| | | PLAM PLASTIC LAMINATE | TOS TOP OF SLAB |
| | | PNL PANEL | TOST TOP OF STEEL |
| | | PR PAIR | TYP TYPICAL |
| | | PT PRESSURE TREATED | UNO UNLESS NOTED OTHERWISE |
| | | PTD PAINT(ED) | VAR VARNISH |
| | | QT QUARRY TILE | VB VINYL BASE |
| | | R RADIUS | VCT VINYL COMPOSITE TILE |
| | | RB RUBBER BASE | VEST VESTIBULE |
| | | RD ROOF DRAIN | VF VINYL FLOORING |
| | | REF REFERENCE | VNR VENER |
| | | REFR REFRIGERATOR | VWC VINYL WALL COVERING |
| | | REV REVISION | WB WOOD BASE |
| | | RM ROOM | WC WALL COVERING |
| | | ROW RIGHT OF WAY | WD WOOD |
| | | | WH WATER HEATER |
| | | | ± PLUS OR MINUS |
| | | | ¢ CENTER LINE |
| | | | ℓ PROPERTY LINE |



SHEET INDEX

| SHEET NUMBER | SHEET NAME | ISSUE DATE | CURRENT REVISION | | | |
|--------------|--|------------|------------------|----------|-------------------------------|--|
| | | | NO | DATE | REVISION | |
| - | COVER SHEET | 06/09/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| G001 | GENERAL NOTES, ABBREVIATIONS, SHEET INDEX | 06/03/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| D101 | DEMOLITION PLAN | 06/03/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| A100 | ARCHITECTURAL SITE PLAN | 06/03/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| A101 | FLOOR PLAN | 05/11/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| A102 | ROOF PLAN | 05/24/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| A103 | ENLARGED FLOOR PLANS | 05/20/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| A201 | BUILDING ELEVATIONS | 05/17/2021 | 2 | 06.09.21 | 25% Construction Progress Set | |
| A301 | ENLARGED ELEVATIONS | 05/17/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| A302 | ENLARGED ELEVATIONS | 05/17/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| A303 | ENLARGED ELEVATIONS | 05/17/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| A304 | ENLARGED ELEVATIONS | 05/17/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| A305 | ENLARGED ELEVATIONS | 05/20/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| A306 | ENLARGED ELEVATIONS | 06/03/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| A307 | ENLARGED ELEVATIONS | 05/20/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| A401 | STAIR AND RAMP PLANS | 06/03/21 | 2 | 06.09.21 | 25% Construction Progress Set | |
| A501 | DETAILS | | 2 | 06.09.21 | 25% Construction Progress Set | |
| A601 | CONSTRUCTION ASSEMBLIES, DOOR SCHEDULES AND DETAILS | | 2 | 06.09.21 | 25% Construction Progress Set | |
| A602 | WINDOW SCHEDULES AND DETAILS, LOUVER SCHEDULES AND DETAILS | | 2 | 06.09.21 | 25% Construction Progress Set | |



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 901.521.1440

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 Henry Turley
 COMPANY

65 Union Avenue, 12th Floor
 Memphis, TN 38103

Issues and Revisions

| Date | Issued / Revised |
|------------|-------------------------------|
| 2 06.09.21 | 25% Construction Progress Set |

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Seal

LRK Project Number: 01.19036.00

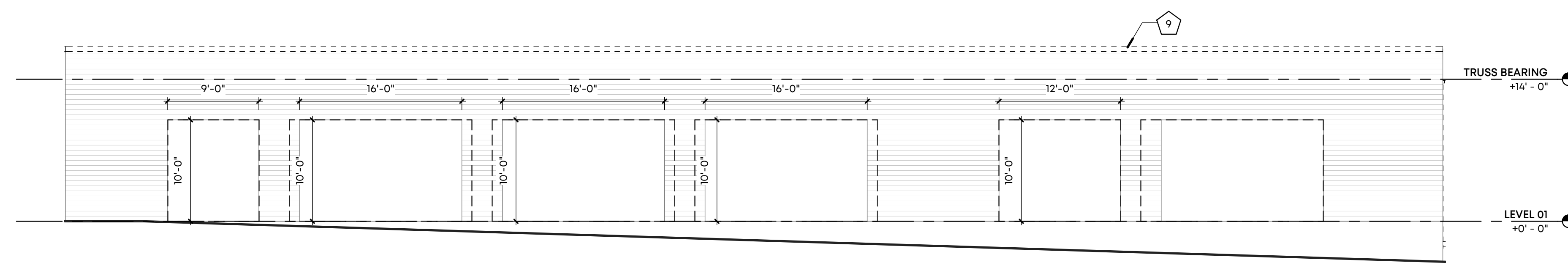
Project Name:
Orleans Station Retail

704 Madison Avenue
 Memphis, TN 38103

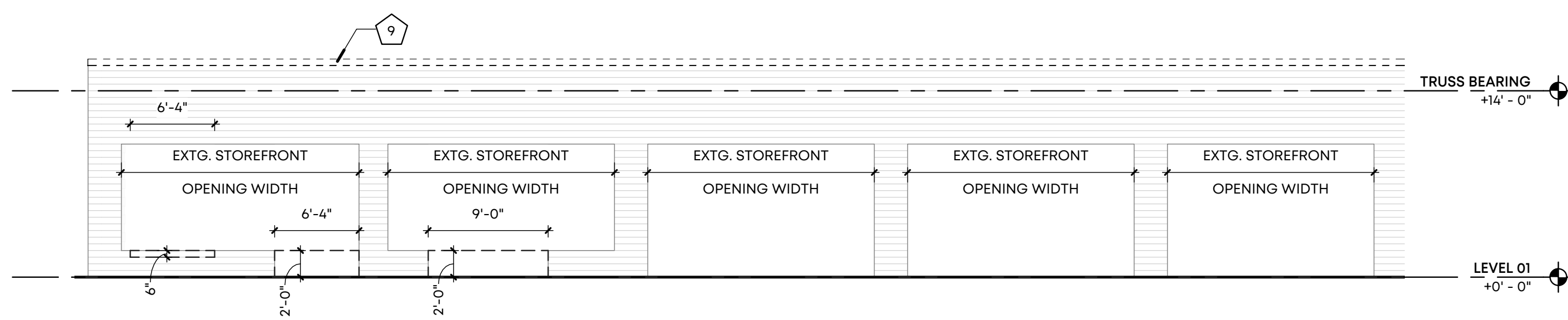
Drawing Name:
GENERAL NOTES, ABBREVIATIONS, SHEET INDEX

Drawn By: RKH
 Checked By: RCH

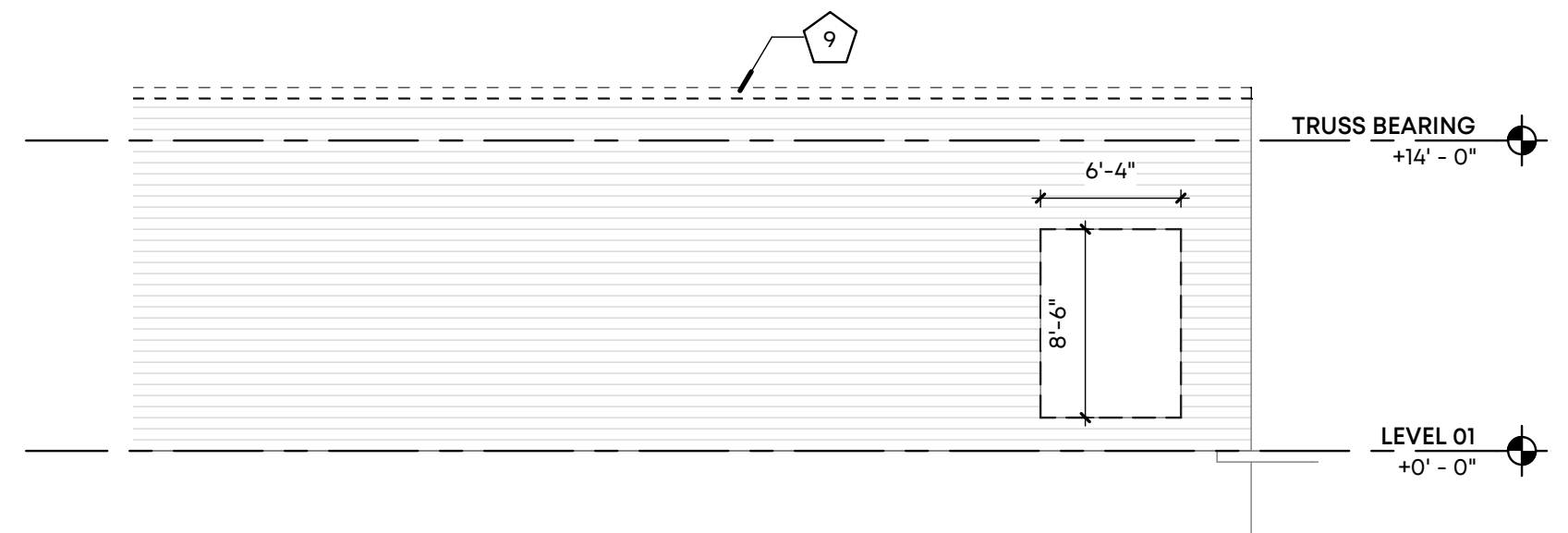
G001



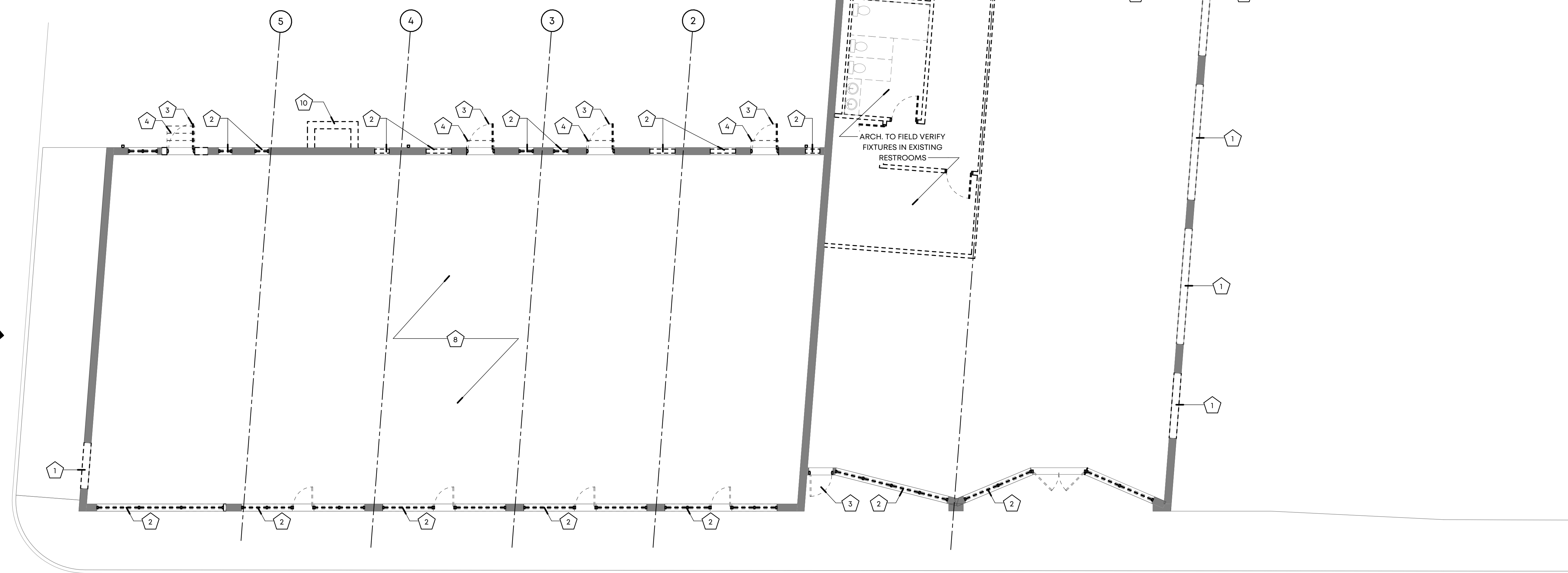
1 DEMO-EAST ELEVATION
SCALE: 1/8" = 1'-0"



7 DEMO-SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



13 DEMO-WEST ELEVATION
SCALE: 1/8" = 1'-0"



26 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

- GENERAL DEMOLITION NOTES**
- DEMOLITION WORK IS TO BE IMPLEMENTED, PHASED, AND SITE SECURED IN A MANNER TO ENSURE WORKER AND PUBLIC SAFETY.
 - OWNER HAS ARRANGED FOR DEMOLITION OF BUILDING BRANDING, SIGNAGE, INTERIOR PARTITIONS PRIOR TO THE COMMENCEMENT OF WORK OUTLINED IN THIS PACKAGE.
 - DRAWING IS FOR REFERENCE ONLY AND IS NOT A RECORD OF EXISTING FIELD CONDITIONS. THE G.C. IS RESPONSIBLE TO VERIFY FIELD CONDITIONS. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION. NO CHANGE ORDER WILL BE APPROVED DUE TO FIELD CONDITIONS WHICH ARE EVIDENT PRIOR TO DEMOLITION.
 - ARCHITECTURE TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WHEN DAMAGE OCCURS, ITEMS SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE TENANT. PROVIDE DUST AND SECURITY BARRIERS AS REQUIRED.
 - G.C. SHALL NOTIFY BUILDING MANAGEMENT AND TENANT BEFORE DISCONNECTING ANY EXISTING ELECTRICAL, COMMUNICATIONS, OR SECURITY PANELS THAT WOULD INTERFERE WITH NORMAL BUILDING OPERATIONS.
 - G.C. SHALL DISCONNECT OR SHUT-OFF AND CAP MEP SERVICES TO AREAS OF DEMOLITION. REMOVE ALL ELECTRICAL UNO IN MEP DRAWINGS. WIRING AND CONDUIT TO BE REMOVED TO THE POINT OF ORIGIN OR THE FIRST ITEM UNAFFECTED BY REMOVAL.
 - G.C. SHALL IDENTIFY AND TAG ALL EXISTING LIFE SAFETY, EMERGENCY LIGHTING CIRCUITS, ETC. FOR FUTURE RECONNECTION.
 - ALL EXISTING, RELOCATED AND NEW ROOF DRAINAGE TIE INTO THE NEW UNDERGROUND STORM SEWER, REFER TO CIVIL AND MEP DRAWINGS.
 - SALVAGED ITEMS SHALL BE RECORDED FOR REUSE. G.C. TO COORDINATE STORAGE WITH BUILDING MANAGEMENT.
 - WHERE NEW CONSTRUCTION CAUSES DAMAGE OR IF DEMOLITION OF INTERIOR ELEMENTS OCCURS, G.C. IS RESPONSIBLE FOR RECONSTRUCTION OF ALL ELEMENTS AND MATERIALS TO MATCH SEAMLESSLY. G.C. RESPONSIBLE FOR FIELD VERIFICATIONS OF CONFLICTS INSIDE EXISTING TENANT SPACES. NO CHANGE ORDER WILL BE APPROVED DUE TO FIELD CONDITIONS WHICH ARE EVIDENT PRIOR TO DEMOLITION.
 - CONTRACTOR TO VERIFY AND PRESERVE STRUCTURAL INTEGRITY OF THE EXISTING EXTERIOR BRICK WALLS, ROOF AND ASSOCIATED STRUCTURE.
 - EXISTING RAIN LEADERS, DRAIN DISCHARGES, HOSE BIBS AND FIRE CONNECTIONS WITHIN THE EXTENT OF DEMOLITION TO BE RELOCATED IN COMPLIANCE WITH APPLICABLE CODES.
 - ALL EXISTING EXTERIOR LIGHTING, CONDUIT AND CABLING WITHIN THE EXTENT OF DEMOLITION TO BE REMOVED. CAP ELECTRICAL AT ORIGIN.
 - PATCH PENETRATIONS IN THE EXISTING BRICK WALLS TO REMAIN WITH SALVAGED BRICK, MORTAR TO MATCH EXISTING.
 - ALL EXISTING, RELOCATED AND NEW ROOF DRAINAGE TO TIE INTO NEW UNDERGROUND STORM SEWER UNO. OVERFLOW TO DRAIN FROM OUTLETS ON EXTERIOR OR BUILDING. REFER TO CIVIL AND MEP DRAWINGS.
 - G.C. TO VERIFY EXISTING ROOF DRAINS AND LEADER CONFLICTS.

DEMO PLAN KEYED NOTES

| NUMBER | NOTE |
|--------|--|
| 1 | DEMOLISH EXTERIOR WALL |
| 2 | DEMOLISH STOREFRONT WINDOWS |
| 3 | DEMOLISH EXTERIOR DOORS |
| 4 | REMOVE CONCRETE STAIRS AND RAMPS |
| 5 | REMOVE BUILT-UP STAGE AND STAIRS |
| 6 | DEMOLISH EXTERIOR DECK AND RAMP |
| 7 | DEMOLISH ELECTRICAL CLOSET AND CAP UTILITIES |
| 8 | DEMOLISH INTERIOR TO STRUCTURE. LOCATE AND CAP UTILITIES |
| 9 | REMOVE METAL COPING, GUTTERS, DOWNSPOUTS, AND ROOF DOWN TO STRUCTURE |
| 10 | DEMOLISH CHIMNEY |



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Issues and Revisions

| Date | Issued / Revised |
|----------|-------------------------------|
| 05.17.21 | 100% Schematic Design |
| 06.09.21 | 25% Construction Progress Set |

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Seal

LRK Project Number: 01.19036.00

Project Name:
Orleans Station Retail

704 Madison Avenue
Memphis, TN 38103

Drawing Name:
DEMOLITION PLAN

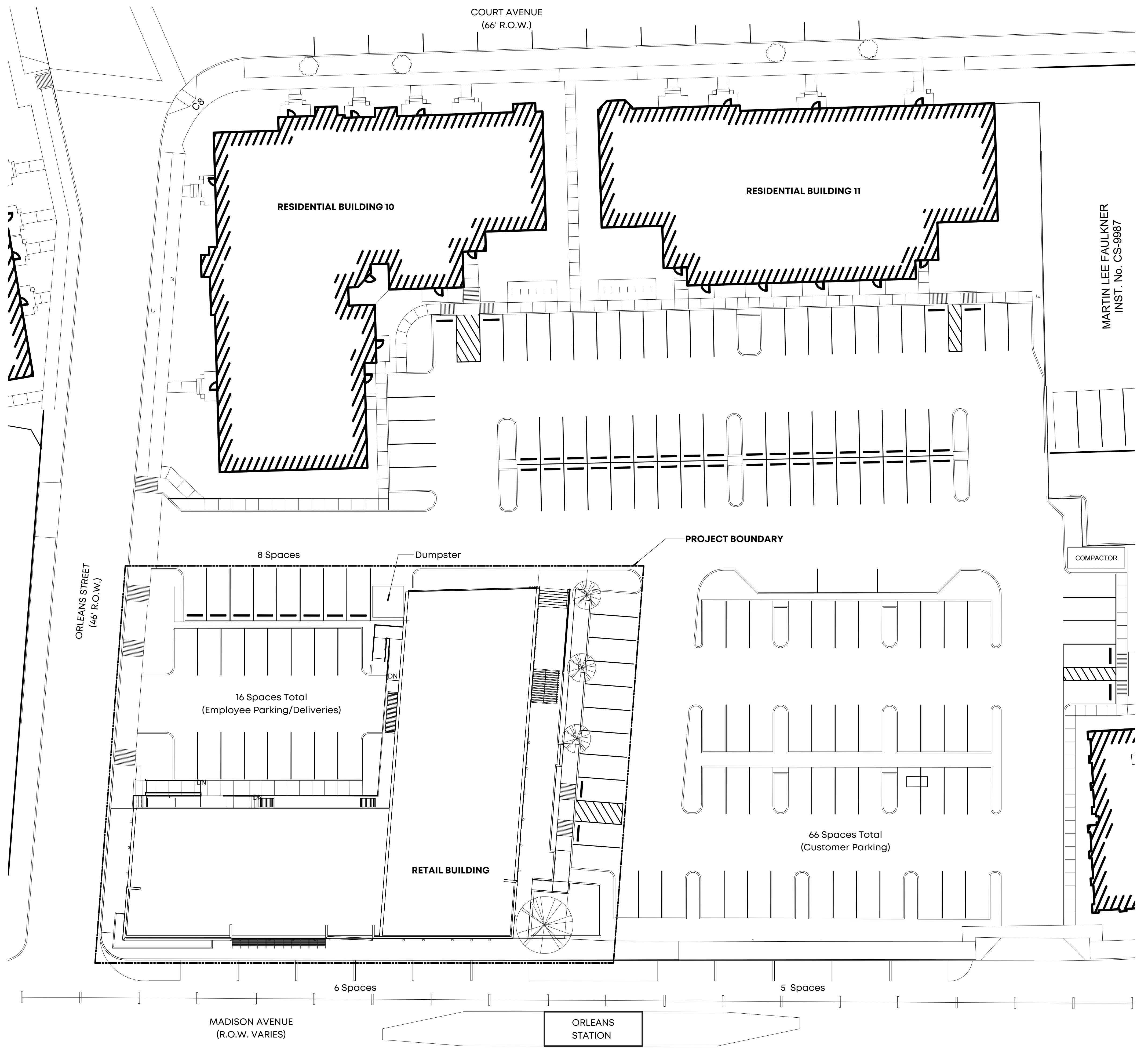
Drawn By: RKH

Checked By: RCH

D101

SITE NOTES

1. THE ARCHITECTURAL REFERENCE SITE PLAN GRAPHICALLY INDICATES THE APPROXIMATE LOCATIONS OF THE IMPROVEMENTS. REFER TO CIVIL ENGINEER'S PLANS FOR ALL HORIZONTAL DIMENSIONAL CONTROL.
2. VERIFY ALL SITE DIMENSIONS ON CIVIL DRAWINGS, CONDITIONS, EXISTING CONSTRUCTION GRADES AND UTILITIES ON PROJECT AND CONTRACT DOCUMENTS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION. REPORT DISCREPANCIES TO OWNER AND ARCHITECT FOR CLARIFICATION.
3. WHEN EXCAVATING FOR BUILDINGS OR EXCAVATING ACCESSORY THERETO, SUCH EXCAVATIONS SHALL BE MADE SAFE TO PREVENT ANY DANGER TO LIFE AND PROPERTY.
4. EXCAVATIONS FOR ANY PURPOSE SHALL NOT EXTEND WITHIN 1 FT. OF THE ANGLE OF REPOSE OR NATURAL SLOPE OF THE SOIL UNDER ANY FOOTING OR FOUNDATION, UNLESS SUCH FOOTING OR FOUNDATION IS FIRST PROPERLY UNDERPINNED OR PROTECTED AGAINST SETTLEMENT.
5. FOUNDATIONS SHALL BE BUILT ON UNDISTURBED SOIL OR PROPERLY COMPACTED FILL MATERIAL.
6. THE BOTTOM OF FOUNDATIONS SHALL EXTEND BELOW THE DEPTH OF FROST PENETRATION, BUT NO LESS THAN 12 INCHES BELOW FINISH GRADE.
7. FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE.
8. FOUNDATION WALLS OR BEAMS SHALL EXTEND ABOVE THE FINISHED GRADE A MINIMUM OF 4 INCHES WHERE MASONRY VENEER IS USED AND A MINIMUM OF 6 INCHES ELSEWHERE.
9. ALL INFORMATION RELATED TO THE SITE PROPERTY HAS BEEN PROVIDED BY THE OWNER'S SURVEYOR AND CIVIL ENGINEER. SEE BOUNDARY SURVEY.
10. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES, TREE LOCATIONS, AND PROPOSED BUILDING LOCATIONS AND SHALL ADVISE THE OWNER AND ARCHITECT OF ANY RECOMMENDED MODIFICATIONS PRIOR TO THE START OF ANY WORK.
11. THE GENERAL CONTRACTOR SHALL COORDINATE FINAL GRADING AND PAVING AS REQUIRED FOR POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
12. THE GENERAL CONTRACTOR SHALL LOCATE ALL UTILITY SERVICES (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TV) AND COORDINATE THE EXTENSIONS TO THE BUILDINGS. ALL CONNECTIONS, METERS, CLEAN OUTS, ETC., SHALL BE LOCATED IN NON-VISUALLY OFFENSIVE AREAS.
13. REFER TO BUILDING PLANS FOR UNIT ADDRESSING SCHEME.
14. REFER TO CIVIL DRAWINGS FOR LOCATION OF SITE UTILITIES, EASEMENTS AND RIGHT OF WAYS.
15. REFER TO CIVIL DRAWINGS FOR LOCATION OF EXISTING TREES TO REMAIN AND PROTECTION REQUIRED FOR THEM.
16. REFER TO LANDSCAPE DRAWINGS PLANS, ELEVATIONS AND SECTION OF ALL SITE FENCES, GATES, WALLS AND OTHER SITE AMENITIES INCLUDING PERGOLAS AND DUMPSTER ENCLOSURES.
17. REFER TO CIVIL DRAWINGS AND SHEET A004 FOR HANDICAPPED ACCESSIBILITY ROUTES TO AND FROM BUILDINGS.
18. ALL LEVEL TRANSITIONS REQUIRING STEPS OF 3 RISERS OR MORE SHALL BE PROVIDED WITH APPROPRIATE HANDRAILS.



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Issues and Revisions

| ▲ | Date | Issued / Revised |
|---|----------|-------------------------------|
| 1 | 05.17.21 | 100% Schematic Design |
| 2 | 06.09.21 | 25% Construction Progress Set |

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Seal

LRK Project Number: 01.19036.00

Project Name:
Orleans Station Retail

704 Madison Avenue
Memphis, TN 38103

Drawing Name:
ARCHITECTURAL SITE PLAN

Drawn By: RKH

Checked By: RCH

27 **SITE PLAN**
SCALE: 1" = 20'-0"

A100

| PLAN KEY NOTES | |
|----------------|---|
| NUMBER | NOTE |
| 1 | INFILL OPENING WITH MATERIALS TO MATCH EXISTING ADJACENT. |
| 2 | WOOD DECKING |



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Seal

LRK Project Number: 01.19036.00

Project Name:

Orleans Station Retail

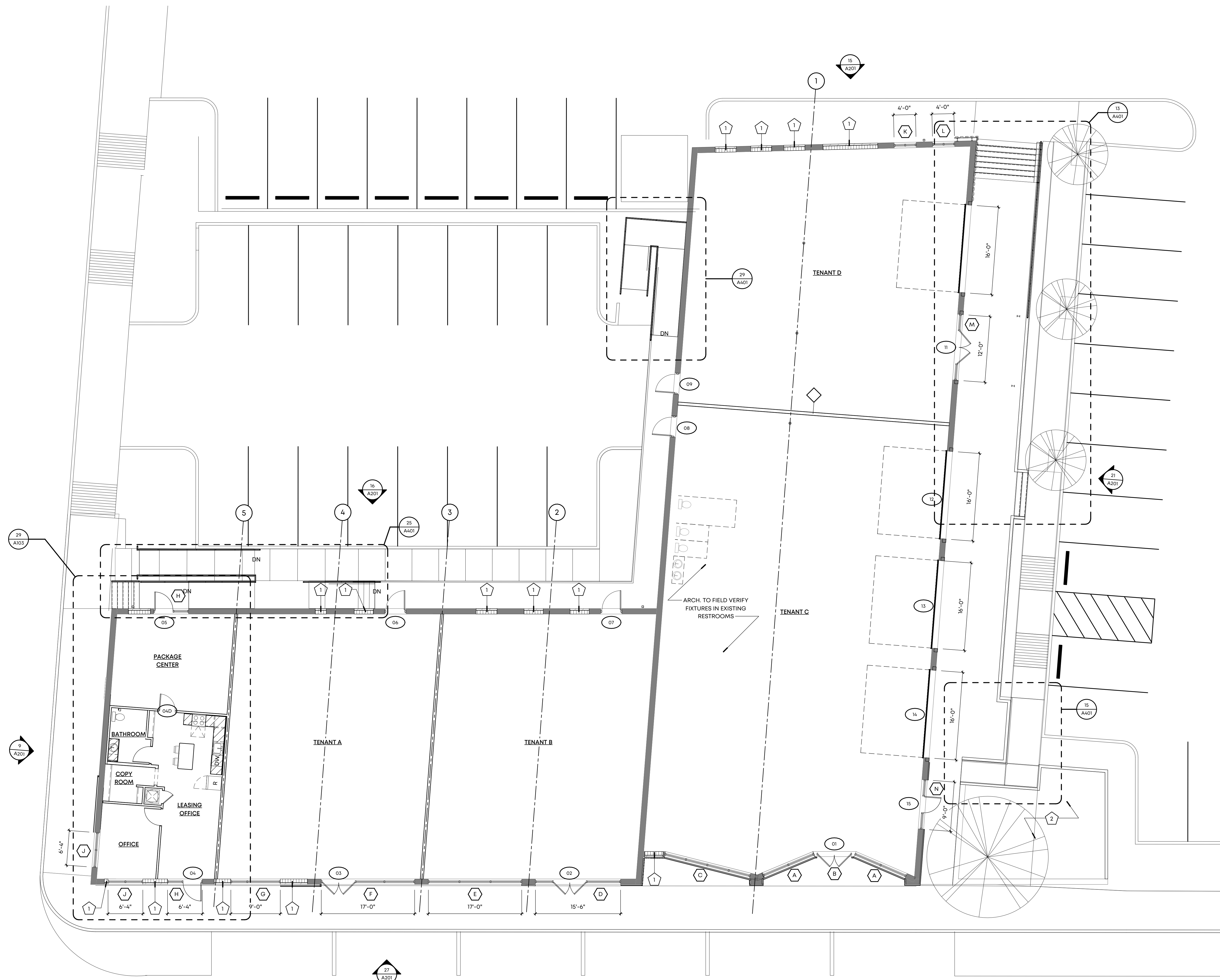
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Memphis, TN 38103

Drawing Name:

FLOOR PLAN

Drawn By: RKH

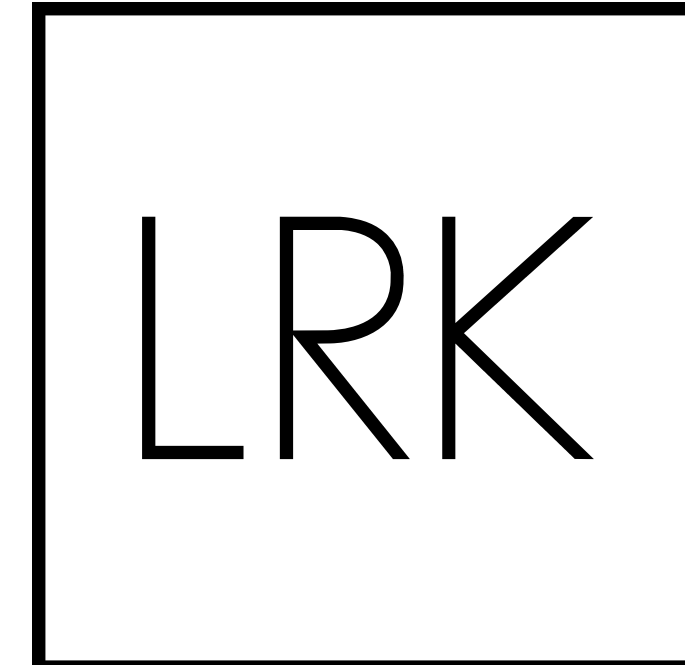
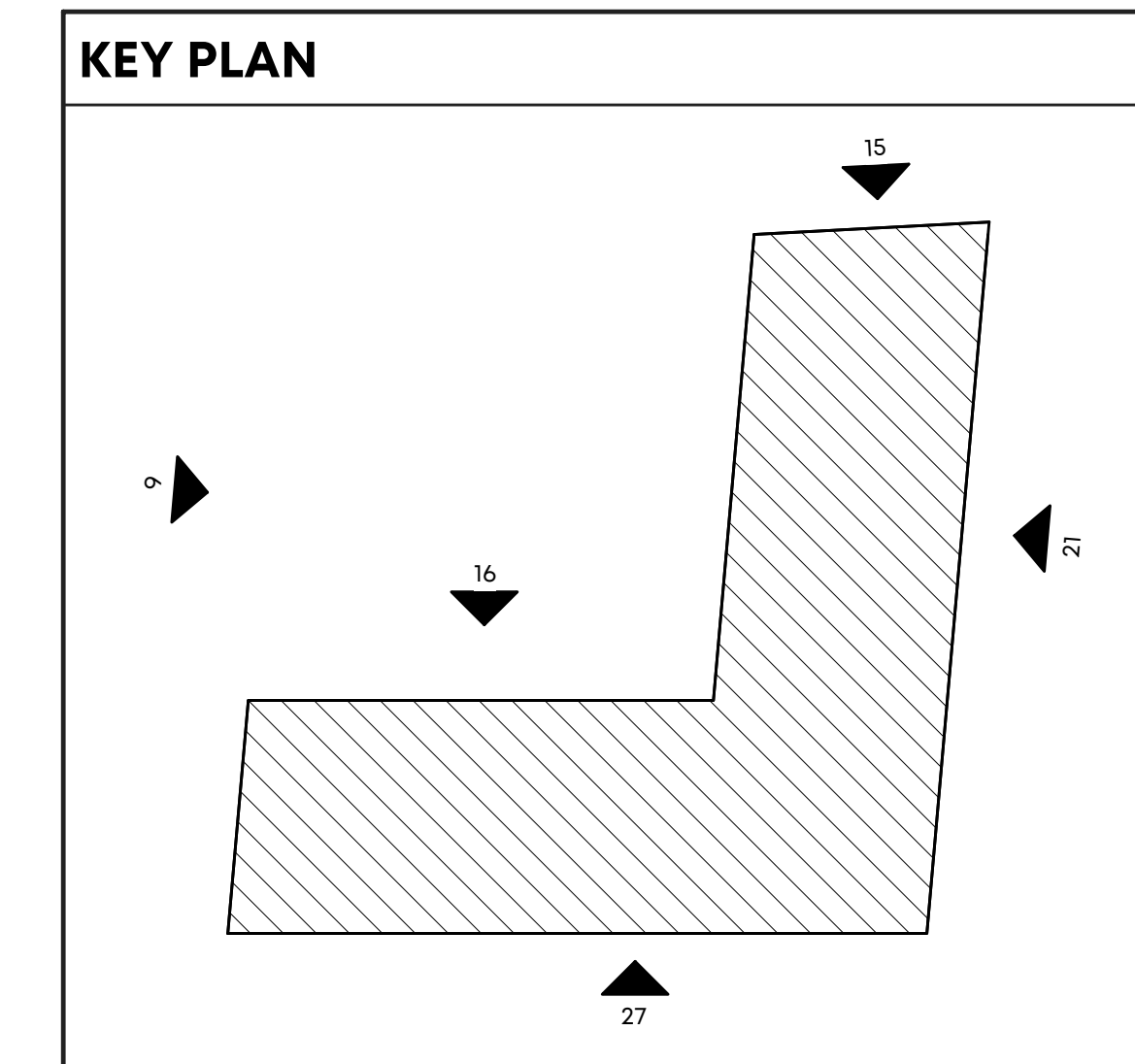
Checked By: RCH



26 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

A101

| MATERIALS | |
|---|--|
| MASONRY | |
| BK-1 | Salvaged Brick, Painted Bronze |
| BK-2 | Salvaged Brick, Painted White |
| BK-3 | Existing Brick, Painted Bronze |
| BK-4 | Existing Brick, Painted White |
| METAL | |
| MT-1 | Metal Wall Panel: Versa-Lok, Shingle Style Wall Panel; VSL123 Finish/Color: Classic Stainless Steel |
| MT-2 | Metal Wall Panel: Western States Metal Roofing, Painted Rusted Roofing Finish/Color: Speckled Rust |
| MT-3 | Metal Wall Panel: Aluminum corrugated wall panels Finish/Color: TBD |
| MT-4 | Steel Fabrication (Painted) |
| EXTERIOR FINISH CARPENTRY | |
| WD-1 | Accoya Wood siding/slats: Refer to Drawings for sizes. Finish/Color: Natural Wood |
| PARAPET WALL COPING | |
| WP-1 | Parapet Wall Coping Finish/Color: TBD |
| WEATHER BARRIERS | |
| WB-01 | Fluid Applied Weather Barrier |
| WB-02 | Weather Resistive Barrier - UV Resistant |
| SECTIONAL DOORS & ALUMINUM STOREFRONTS | |
| OHD-1 | Overhead Door: Full-Vision Aluminum sectional door w/ Insulated Glass Finish/Color: TBD |
| SF-1 | Aluminum Framed Storefront: Kawneer Trifab VG 45IT Center Glazed Finish/Color: TBD |
| SF-2 | Aluminum Framed Entrance Door: Kawneer 190 narrow stile Finish/Color: TBD |
| GLAZING | |
| GL-C | Clear insulating glass |
| GL-CI | Clear tempered insulating glass |



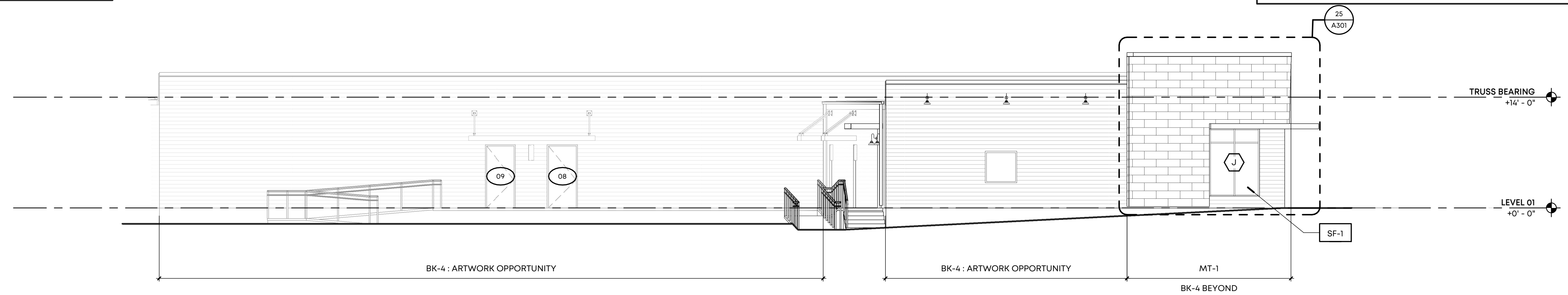
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Client:
Henry Turley
COMPANY

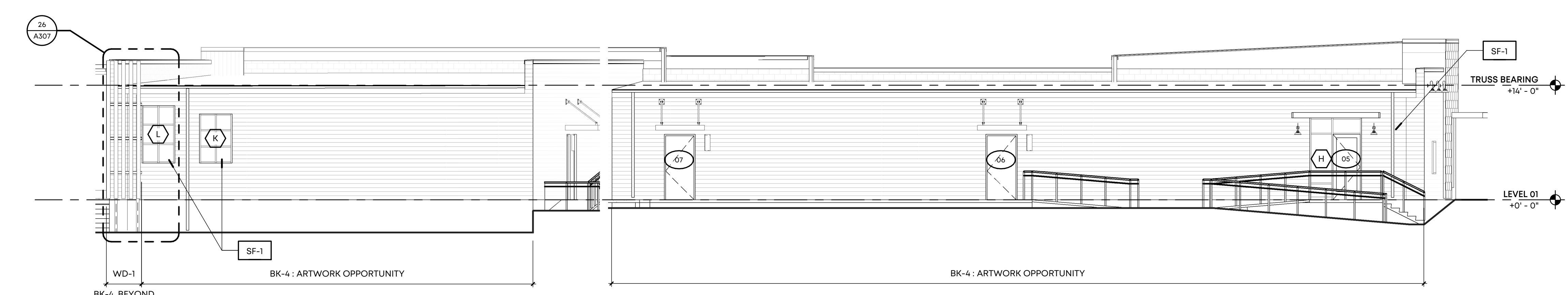
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Issues and Revisions

| Date | Issued / Revised |
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| 05.17.21 | 100% Schematic Design |
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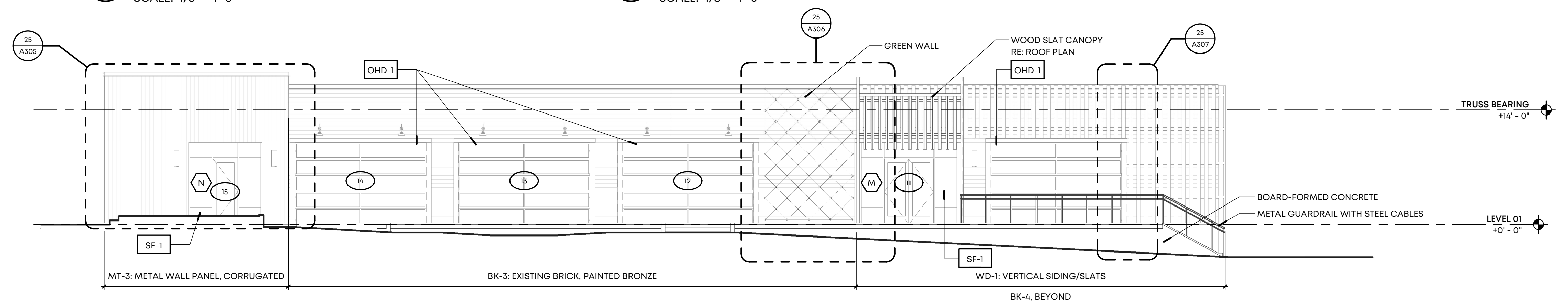


9 WEST ELEVATION
SCALE: 1/8" = 1'-0"

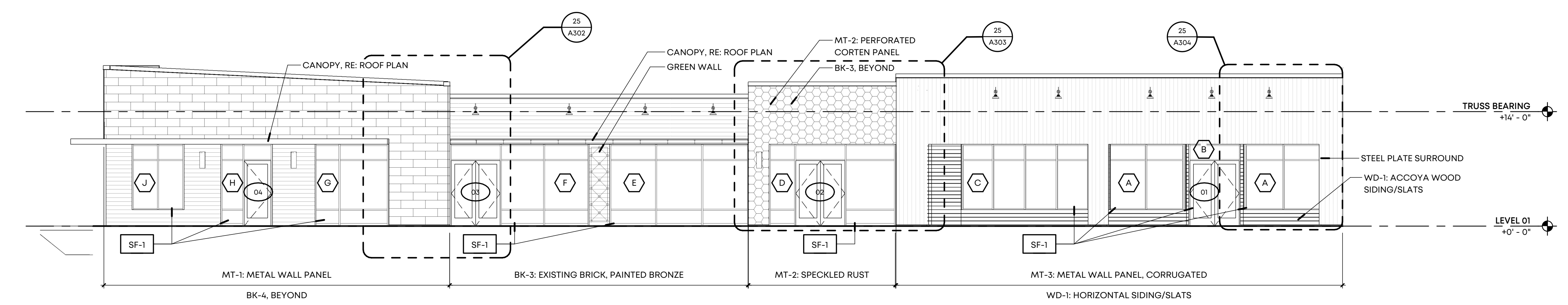


15 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

16 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



21 EAST ELEVATION
SCALE: 1/8" = 1'-0"



27 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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Seal

LRK Project Number: 01.19036.00

Project Name:
Orleans Station Retail

704 Madison Avenue
Memphis, TN 38103

Drawing Name:
BUILDING ELEVATIONS

Drawn By: RKH

Checked By: RCH

A201

EXHIBIT C

TOTAL ESTIMATED PROJECT COST

Orlean's Station Retail (694 - 704 Madison Ave.)

Budget Estimate - Elligible EIG Scope

| Description | Cost | EIG Eligible Work |
|---------------------------------|---------------------|--------------------------|
| Select Demo | \$ 54,174 | \$ 54,174 |
| Storm Drainage | \$ 10,000 | \$ 10,000 |
| Concrete | \$ 142,920 | \$ 142,920 |
| Asphalt Paving | \$ 20,916 | \$ 20,916 |
| Fences and Gates | \$ 5,350 | \$ 5,350 |
| Retaining Wall | \$ 26,736 | \$ 26,736 |
| Metals | \$ 29,700 | \$ 29,700 |
| Landscaping | \$ 15,000 | \$ 15,000 |
| Masonry & Steel | \$ 145,550 | \$ 145,550 |
| Carpentry | \$ 17,500 | \$ 17,500 |
| Gutters & Downspouts | \$ 2,250 | \$ 2,250 |
| Waterproofing & Caulking | \$ 14,342 | \$ 14,342 |
| Doors & Hardware | \$ 57,600 | \$ 57,600 |
| Storefronts | \$ 63,995 | \$ 63,995 |
| Finishes | \$ 197,073 | \$ 197,073 |
| Exterior Wall Panels | \$ 163,919 | \$ 163,919 |
| <i>Jessie Bryant Roofing</i> | \$ 189,100 | - |
| <i>Fire Extinguishers</i> | \$ 300 | - |
| <i>Interior General Demo</i> | \$ 8,763 | - |
| <i>Demo Roof Equipment</i> | \$ 1,440 | - |
| <i>Demo Other Roof Openings</i> | \$ 1,000 | - |
| <i>Water Supply</i> | \$ 8,272 | - |
| Total | \$ 1,175,900 | \$ 967,025 |

Orleans Station Retail Shell

704 Madison Avenue

Memphis, TN

Budget Estimate

11,684 GSF

Revised July 29, 2021



| Description | QTY | U/M | Unit Cost | Total Cost |
|--|-----|-----|------------------------|------------------|
| SITework | | | | |
| <i>Site Demolition</i> | | | | |
| Site Demo at Trolley Stop | | | | \$0 |
| Demo asphalt & base at parking lot | | | | \$6,871 |
| Demo city sidewalks | | | | \$1,329 |
| Demo granite curb & return to city | | | | \$775 |
| <i>Storm Drainage</i> | | | | |
| Storm Drainage at Trolley Stop | | | | \$0 |
| 5" NDS trench drain | | | | \$10,000 |
| <i>Site Water</i> | | | | |
| Water Supply | | | | \$0 |
| Water Tap Fees (Not Included) | | | | \$8,272 |
| <i>Site Concrete</i> | | | | |
| Site Concrete Sub at Trolley Stop | | | | \$0 |
| 4" sidewalk | | | | \$0 |
| HC ramp | | | | \$19,495 |
| Sidewalk steps | | | | \$1,700 |
| City sidewalk | | | | \$3,456 |
| 8" Concrete at dumpster pad | | | | \$3,650 |
| 8" Curb cut | | | | \$1,197 |
| Curb & Gutter at Trolley Stop | | | | \$4,500 |
| 6-18 Curb & Gutter | | | | \$0 |
| 6-30 City Curb & Gutter | | | | \$9,880 |
| <i>Asphalt Paving</i> | | | | |
| Asphalt at Trolley Stop | | | | \$3,200 |
| Heavy duty asphalt (12+3+2) | | | | \$0 |
| Light duty asphalt (8+1.5+2) | | | | \$7,392 |
| <i>Fences and Gates</i> | | | | |
| Dumpster Enclosure at Trolley Stop | | | | \$13,524 |
| 6'9" Wood Fence | | | | \$0 |
| Wood on steel grates | | | | \$1,850 |
| <i>Retaining Walls</i> | | | | |
| Retaining Walls at Trolley Stop | | | | \$3,500 |
| Retaining wall/Board Formed | | | | \$0 |
| <i>Metals</i> | | | | |
| Steel at Trolley Stop | | | | \$0 |
| Retaining wall railing | | | | \$0 |
| Site ramp & stair rails | | | | \$16,950 |
| <i>Landscaping</i> | | | | |
| Landscaping, Pots, Tree Grate & Irrigation | | | | \$12,750 |
| SUBTOTAL - Sitework | | | \$14.72 Per GSF | \$172,027 |

Orleans Station Retail Shell

704 Madison Avenue

Memphis, TN

Budget Estimate

11,684 GSF

Revised July 29, 2021



**MONTGOMERY
MARTIN**
CONTRACTORS, LLC

| Description | QTY | U/M | Unit Cost | Total Cost |
|-------------|-----|-----|-----------|------------|
|-------------|-----|-----|-----------|------------|

BUILDING

Interior Demolition, Shore Bar Joists & East Wall Removal

| | | | | |
|---|--|--|--|----------|
| Interior General Demo | | | | \$8,763 |
| Demo Roof Equipment | | | | \$1,440 |
| Demo Other Roof Openings | | | | \$1,000 |
| Demo Chimney (Not Included) | | | | \$0 |
| Remove Exterior Loose Skin | | | | \$1,250 |
| Demolish Exterior Single Doors & Frames | | | | \$450 |
| Demo Storefronts | | | | \$600 |
| Demo Windows | | | | \$350 |
| Temporary Secure Wall Openings | | | | \$6,500 |
| Shore/Scaffolding East Wall Bar Joists | | | | \$23,625 |
| Demo & Remove Masonry East Wall | | | | \$11,424 |
| Safety Signage & Secure Demo Phase | | | | \$1,000 |

Concrete

| | | | | |
|--|--|--|--|----------|
| Restore Rough SOG | | | | \$0 |
| Trench patch & replace | | | | \$5,842 |
| Concrete Footings Additions East Wall | | | | \$0 |
| Helical Piers East Wall (Per Structural) | | | | \$35,000 |
| | | | | \$55,000 |

Masonry

| | | | | |
|---|--|--|--|----------|
| New CMU cast and Northeast walls | | | | \$0 |
| Infill Windows | | | | \$31,000 |
| Demo & Tooth In New Larger Window & Door Openings | | | | \$11,200 |
| Restore Existing Masonry Mortar Joints (Not Included) | | | | \$5,000 |
| | | | | \$0 |

Steel

| | | | | |
|---|--|--|--|----------|
| Steel Frame East Wall (Grinder Fab) | | | | \$0 |
| Steel at Metal Stud parapet extension (Above) | | | | \$85,500 |
| Steel Frame RTUs | | | | \$0 |
| Restore and patch existing rusted Deck Allow | | | | \$0 |
| Roof Ladder back Wall | | | | \$10,000 |
| | | | | \$2,850 |

Rough & Finish Carpentry

| | | | | |
|--|--|--|--|----------|
| Wood Blocking Roof, Plywood parapet wall | | | | \$0 |
| Wood Blocking Doors & Windows | | | | \$14,625 |
| Finish Carpentry (Not Included) | | | | \$2,875 |
| | | | | \$0 |
| | | | | \$0 |

Orleans Station Retail Shell

704 Madison Avenue

Memphis, TN

Budget Estimate

11,684 GSF

Revised July 29, 2021



| Description | QTY | U/M | Unit Cost | Total Cost |
|---|-----|-----|-----------|------------------|
| <i>Roofing</i> | | | | \$0 |
| New Roof, Rigid Insulation & Remove Old Roof - | | | | \$0 |
| Jessie Bryant Roofing | | | | \$189,100 |
| R-25 Roof Insulation | | | | \$0 |
| 60 Mil TPO | | | | \$0 |
| Flash To 5 RTUs | | | | \$0 |
| Gutters & Downspouts; No Roof Drain | | | | \$2,250 |
| Asbestos Abatement NOT included if required. | | | | \$0 |
| Roof Walkway Treads | | | | \$0 |
| | | | | \$0 |
| <i>Waterproofing, Caulking</i> | | | | \$0 |
| General Caulking & Waterproofing | | | | \$5,842 |
| Fluid Applied Weather Barrier | | | | \$8,500 |
| | | | | \$0 |
| <i>Doors & Hardware</i> | | | | \$0 |
| 3' x 7' HM Door, Frame & Hardware | | | | \$7,600 |
| 16' x 10' Rollup Glass Doors (Raynor Aluma View | | | | \$50,000 |
| <i>Storefronts</i> | | | | \$0 |
| Storefronts, Doors and Hardware (A&H Glass) | | | | \$63,995 |
| Clear anodized or dark bronze | | | | \$0 |
| | | | | \$0 |
| <i>Finishes</i> | | | | \$0 |
| Drywall & Metal Studs (Yarbrough or FLC) | | | | \$157,000 |
| Painting | | | | \$14,605 |
| Existing Brick Clean & Repaint | | | | \$25,468 |
| | | | | \$0 |
| <i>Specialties</i> | | | | \$0 |
| Fire Extinguishers | | | | \$300 |
| | | | | \$0 |
| <i>Special Exterior Wall Panels</i> | | | | \$0 |
| MT-1 Versa Lock Metal Style Wall Panel | | | | \$36,950 |
| MT-2 Western States Metal roofing | | | | \$9,020 |
| MT-3 Aluminum Corrugated Wall Panels | | | | \$28,544 |
| MT-4 Steel Fabrications Painted (Not Shown) | | | | \$0 |
| Green Wall | | | | \$4,825 |
| Back Up Furring & Tyvek behind metal wall pane | | | | \$37,000 |
| Steel Plate Surrounds | | | | \$6,750 |
| Accoya Wood Horizontal Siding & Slats | | | | \$4,080 |
| Accoya Wood Vertical Siding & Slats. With | | | | |
| Steel channels & columns. | | | | \$36,750 |

Orleans Station Retail Shell

704 Madison Avenue

Memphis, TN

Budget Estimate

11,684 GSF

Revised July 29, 2021



**MONTGOMERY
MARTIN**
CONTRACTORS, LLC

Clarifications

- | | | |
|--|--------------------|---------------------------------------|
| 1. Total Cold Dark Shell with Appropriate Sitework | \$1,605,648 | \$137.42 Per GSF with Sitework |
| Contingency | \$100,000 | |
| Total With Contingency | \$1,705,648 | \$145.98 Per GSF with Sitework |
2. Per the 25% LRK Documents dated June 9, 2021 and the DPC Structural drawings for the east wall revisions.
 3. Leasing Office is not included.
 4. Scope is defined by the lines of the attached itemized estimate and within the red highlighted sketch.
 5. One subcontractor has been consulted for all major scope items.
 6. We anticipate being able to meet the 25% MWBE goal for this project.
 7. Architect or engineering fees are not included.
 8. Allowances for Potential Scope Items are included as follows (Labor, Material, Subcontractor & equipment):
 - Helical Piers \$55,000
 - Footing Concrete \$35,000
 - Storm Drainage \$10,000
 - Landscape Allowance \$15,000
 - Rusted Metal Deck \$10,000
 - Four Exterior Canopy Allowance \$113,905
 8. Site Concrete will be standard broom finish.
 9. Steel plate surrounds are included as shown at the east storefront window on the south elevation.
 10. The existing HM Door Frames and Window opening will remain the same size in order to prevent costly revisions to remove and replace the existing masonry lintel/header.
 11. Plumbing Includes water and sewer stubbed into the building.
 12. HVAC includes **ONLY** gas piping on the roof. Add RTU Equipment for \$46,681
 13. Add Fire Sprinkler System with New Water Supply tap \$45,000
 14. Electrical
 - See attached sketch from AC Electric for electrical scope information
 - Up to 100 linear feet of 3 phase underground primary conduit work.
 - Up to 100 linear feet of 3 phase underground secondary work consisting of (5) parallel runs of 600 MCM aluminum conductors in 4" PVC conduit.
 - This wireway will allow for 400-600 amps of service to a possible future restaurant space and 200 amps each for other tenant spaces.
 - A 200 amp service and panel for the leasing office
 - A 125 amp HSE service and panel
 - Wiring for up to 30 HSE lights
 - A fixture budget of \$5,000.00 is included
 14. MLGW Fees are not included.