



DESIGN REVIEW BOARD APPLICATION

**Administered by:
Design Review Board**

Property Address*: 694-704 Madison Ave. Memphis, TN 38103

Applicant Name & Mailing Address: Memphis Medical District Apartments, GP

Applicant Phone Number: 901-255-2133 Applicant Fax Number: N/A

Property Owner's Name & Mailing Address: Alex Turley w/ Henry Turley Company - 65 Union Ave. suite #1200
Memphis, TN 38103

Property Owner's Phone Number: 901-255-2133

The proposed work consists of the following (check all that apply):

Sign ☐ Renovation ☐
New Building ☐ Other Exterior Alteration ☒

Project Description:

Adaptive re-use of a vacant building on Madison Avenue into a multi-tenant retail development focused on health and wellness. Key component to Orleans Station Development.

Status of Project:

Applicant received EIG Grant for project and is now seeking DRB approval prior to moving forward with construction.

A complete application must be submitted to the Development Department no later than two weeks before a regularly scheduled meeting of the Design Review Board. Please contact Abe Lueders at (901)575-0565 or alueders@downtownmemphis.com with any questions and to submit an application.

Owner/Applicant Signature: 

Date: 8/25/21

*Applications for properties that are located within a Landmarks Historic District may require additional approval from the Landmarks Commission. Please contact the Shelby County Division of Planning & Development at (901) 576-6601 for more information.



LRK

50 South B.B. King Blvd.
Suite 600
Memphis, TN 38103
901.521.1440

Client:

Henry Turley
COMPANY

65 Union Avenue, 12th Floor
Memphis, TN 38103

Consultants Direct to Owner:

Smith Seckman Reid, Inc.
CIVIL ENGINEER

Gala Engineering
MECHANICAL ENGINEER

DPC Engineers
STRUCTURAL ENGINEER

Burns Engineering
ELECTRICAL ENGINEER



Henry Turley
COMPANY

Orleans Station Retail

704 Madison Avenue
Memphis, TN 38103

Permit Set | August 06, 2021

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08.06.21
FOR REVIEW ONLY - NOT FOR
CONSTRUCTION

LRK Project Number: 01.19036.00

Project Name:

Orleans Station
Retail

704 Madison Avenue
Memphis, TN 38103

Date and Issue

08.06.21 Permit Set

GENERAL NOTES AND CONDITIONS	
GENERAL: 1. ALL GENERAL NOTES APPLY TO THE SCOPE OF THIS TOTAL PROJECT, REGARDLESS OF WHETHER OR NOT THEY ARE KEYS ON EVERY SHEET TO A SPECIFIC DETAIL. 2. EACH TRADE SHALL VERIFY ALL REQUIREMENTS PERTAINING TO WORK PERFORMED IN THE PROJECT AND ANY REQUIRED PERMITS. ALL SUBCONTRACTORS SHALL DIRECT QUESTIONS, CHANGES OR REQUESTS THROUGH THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL SUBMIT ALL REQUESTS, CHANGES OR QUESTIONS TO THE ARCHITECT IN WRITING. 3. PRIOR TO OWNER OCCUPANCY, CONTRACTOR SHALL REMOVE ALL DUST, DEBRIS, OILS, STAINS, GLUES, FINGERPRINTS, ETC. FROM EXPOSED SURFACES INCLUDING GLAZING AND LIGHT FIXTURES, REFLECTORS, WINDOWS SHALL BE WASHED. EVERYTHING MUST BE CLEANED AND AIR FILTERS MUST BE CHANGED TO ACHIEVE SUBSTANTIAL COMPLETION. 4. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW THE JOB SITE PRIOR TO BEGINNING CONSTRUCTION AND INFORM THE ARCHITECT OF ANY DISCREPANCIES, CONCERNING, ETC. 5. THE ARCHITECT MUST BE NOTIFIED OF ANY PROBLEMS WITH PROPOSED WALL LOCATIONS ONCE THE CHALK LINES ARE IN PLACE AND PRIOR TO THE FASTENING OF THE METAL TRACKS IN ORDER TO MAKE APPROPRIATE DECISIONS ON ANY NECESSARY ADJUSTMENTS. 6. ANY ARCHITECTURAL WORK REQUIRED TO PROVIDE THE SCOPE OF WORK GRAPHICALLY INDICATED BY THESE DRAWINGS IS A PART OF THE SCOPE OF THE CONSTRUCTION CONTRACT. IN THE EVENT ANY WORK IS INDICATED GRAPHICALLY AND NOT NOTED, THE WORK WILL BE EXPECTED TO BE PERFORMED AT NO ADDITIONAL CHARGE. 7. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OF NEW CONSTRUCTION UNLESS NOTED OTHERWISE. ALL EXTERIOR DIMENSIONS ARE TO OUTSIDE FACE OF MASONRY UNLESS OTHERWISE NOTED. 8. THIS DOCUMENT IS PROVIDED FOR BASIC CONSTRUCTION PURPOSES ONLY. THE ARCHITECT DOES NOT WARRANT ANY MATERIAL, EQUIPMENT, HARDWARE, ETC. WHETHER IMPLIED OR EXPLICITLY CALL OUT ON DRAWINGS. 9. THE CONTRACTOR SHALL REVIEW AND COORDINATE THE SCHEDULING OF ALL BANK EQUIPMENT INSTALLATION WITH THE BANK EQUIPMENT SUPPLIER. 10. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION MEETS OR EXCEEDS APPLICABLE CODES AND STANDARD PRACTICES, INCLUDING ALL FEDERAL, STATE AND LOCAL CODES, EXCEPT THOSE ACQUIRED BY SUBCONTRACTORS. TO BE SECURED BY THE GENERAL CONTRACTOR WITH COPIES TO OWNER AND ARCHITECT WITHOUT EXTRA CHARGE. ALL PERMITS ACQUIRED BY SUBCONTRACTORS SHALL BE SUBMITTED TO THE GENERAL CONTRACTOR FOR RECORD. 11. ALL PERMITS (OCCUPANCY, ELECTRICAL, PLUMBING AND ALL OTHERS) REQUIRED BY STATE AND LOCAL CODES, EXCEPT THOSE ACQUIRED BY SUBCONTRACTORS, TO BE SECURED BY THE GENERAL CONTRACTOR WITH COPIES TO OWNER AND ARCHITECT WITHOUT EXTRA CHARGE. ALL PERMITS ACQUIRED BY SUBCONTRACTORS SHALL BE SUBMITTED TO THE GENERAL CONTRACTOR FOR RECORD. 12. IF ANTICIPATED MECHANICAL, PLUMBING, ELECTRICAL, STRUCTURAL ELEMENTS, OR ANY OTHER CONDITIONS ARE ENCOUNTERED WHICH MIGHT CONFLICT WITH THE INTENDED DESIGN, CONTACT ARCHITECT IMMEDIATELY FOR CLARIFICATION. 13. REVIEW ALL EXIT SIGNS AND FIRE EXTINGUISHER LOCATIONS WITH LOCAL CODE OFFICIALS PRIOR TO INSTALLATION. 14. CONTRACTOR TO VERIFY ALL CLEARANCE AS WELL AS ELECTRICAL AND PLUMBING REQUIREMENTS OF ALL OWNER FURNISHED, OWNER INSTALLED EQUIPMENT. 15. PROVIDE WOOD BLOCKING (FIRE RETARDANT WHERE REQUIRED BY CODE) INSIDE PARTITIONS FOR SECURING WALL-HUNG CABINETS, SHELVING, TRIM, MILLWORK, SIGNAGE, OWNER FURNISHED EQUIP., OTHER ELEMENTS ATTACHED TO PARTITIONS AS REQUIRED TO ENSURE FLUSH, STRAIGHT, WELL-SECURED CONDITIONS. 16. THE STRUCTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. SHOULD THERE BE A DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE ENGINEERING DRAWINGS, SUCH DISCREPANCY IS TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND AT NO EXPENSE TO THE OWNER OR THE ARCHITECT. 17. DO NOT SCALE DRAWINGS. USE GIVEN DIMENSIONS ONLY. IF NOT SHOWN, VERIFY CORRECT DIMENSION WITH THE ARCHITECT. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. 18. CONTRACTOR TO ENSURE THAT PLACEMENT OF INSULATION CREATES A THERMAL BARRIER BETWEEN CONDITIONED SPACE & EXTERIOR UNCONDITIONED SPACE.	

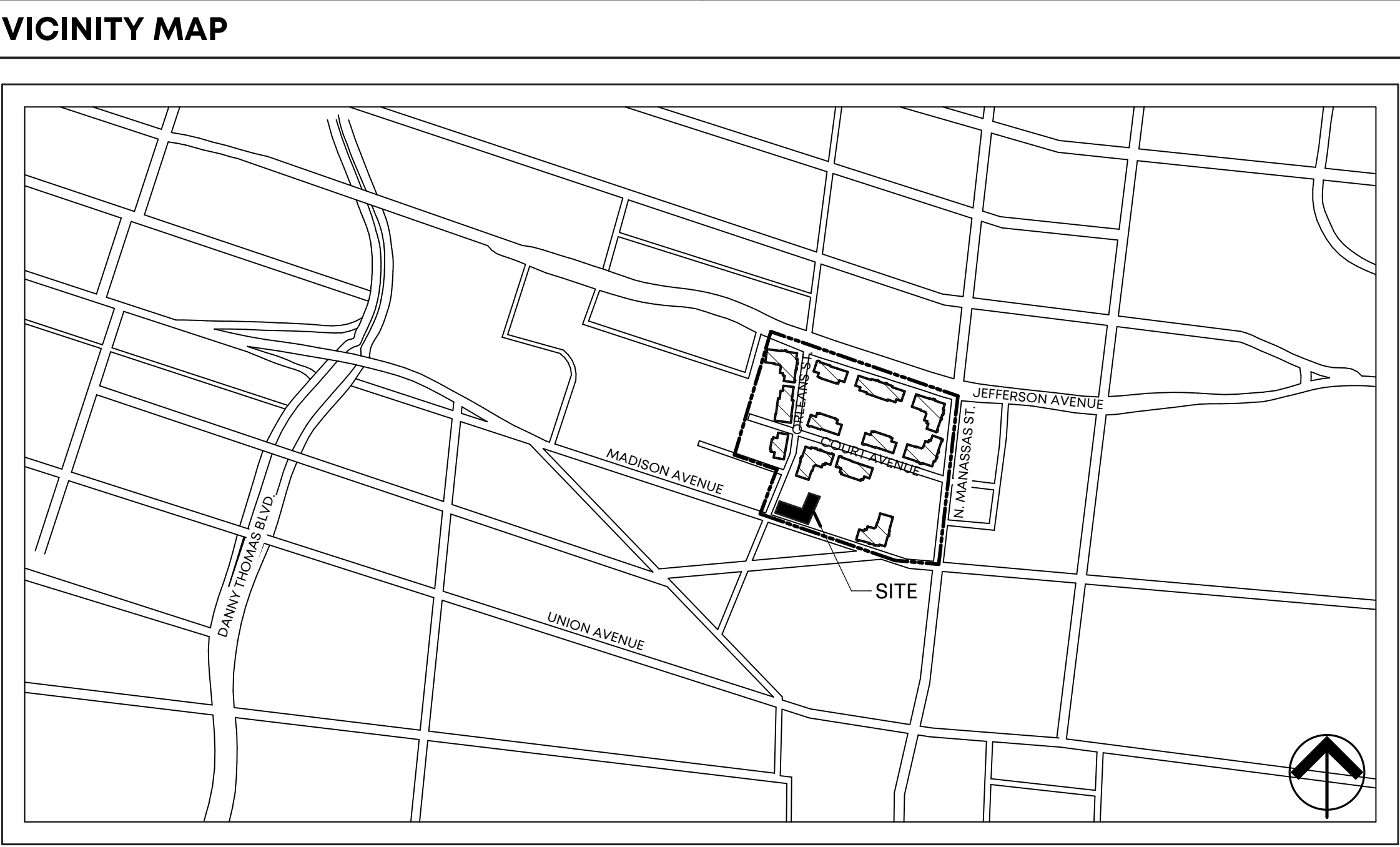
CONSTRUCTION ASSEMBLY NOTES	
A. THE CONTRACTOR SHALL VERIFY ALL ASSEMBLY INFORMATION WITH UNDERWRITERS LABORATORIES, GYPSUM ASSOCIATION, OR OTHER ORGANIZATIONS LISTED IN THE ASSEMBLIES ABOVE. TO ENSURE PROPER FIRE RATINGS ARE MAINTAINED. B. WHERE STC (SOUND TRANSMISSION CLASS) RATINGS ARE INDICATED, SOUND-RATED WALL CONSTRUCTION SHALL INCLUDE THE FOLLOWING: 1. CONTINUOUS FLEXIBLE ACOUSTICAL SEALANT AT THE BOTTOM EDGE OF WALLBOARD PANELS. 2. CONTINUOUS FLEXIBLE ACOUSTICAL SEALANT OR JOINT TAPE AND MUD AT WALL INTERSECTIONS. SEAL BETWEEN WALLBOARD AND DISSIMILAR MATERIALS, SUCH AS DOOR OR WINDOW FRAMES. 3. CONTINUOUS ACOUSTICAL SEALANT OR FIRE-CAULK SEALANT (AS REQUIRED BY THE ASSEMBLY LISTING) AT THE TOP EDGE OF THE WALLBOARD WHERE THE JOINT IS CONCEALED, OR PROVIDE WALLBOARD TAPE AND MUD WHERE THE TOP JOINT IS EXPOSED TO VIEW. 4. FLEXIBLE ACOUSTICAL SEALANT OR FIRE-CAULK (AS REQUIRED BY THE ASSEMBLY LISTING) AT ALL FULL OR PARTIAL WALL PENETRATIONS AND AROUND OPENINGS, FLUSH-MOUNTED ACCESSORIES, FIRE EXTINGUISHER CABINETS, ELECTRICAL BOXES, ETC. LINE ALL RECESSES FOR BUILT-IN DEVICES SUCH AS FIRE EXTINGUISHER CABINETS, TOILET ACCESSORIES, ETC. WITH WALLBOARD. SEAL ALL JOINTS. 5. COVER ALL KNOCK-OUT PLUGS AND SREW HOLES IN FLUSH-MOUNTED ELECTRICAL BOXES WITH A MINIMUM 1/8 INCH THICK LAYER OF ACOUSTICAL SEALANT. APPLY TAPE OVER MISSING KNOCK-OUT PLUGS AND COVER WITH MINIMUM 1/8 INCH THICK LAYER OF ACOUSTICAL SEALANT. 6. SOUND-RATED WALLS SHALL BE SEALED AIR-TIGHT AT THE PERIMETER AND AT ALL PARTIAL AND THROUGH-PENETRATIONS. 7. EXTEND SOUND-RATED WALLS THROUGH SUSPENDED CEILINGS AND SEAL THE JOINT AT THE STRUCTURE ABOVE. SEAL ALL PENETRATIONS ABOVE THE SUSPENDED CEILINGS. 8. GYPSUM WALLBOARD AND ACOUSTICAL INSULATION IN SOUND-RATED PARTITIONS SHOULD NOT BE INTERRUPTED AT THE INTERSECTIONS WITH NON-SOUND RATED PARTITIONS. FRAMING AND WALLBOARD OF NON-SOUND RATED CONSTRUCTION SHOULD ABOUT THE CONTINUOUS WALLBOARD OF THE SOUND-RATED WALL. 9. REFER TO THE GYPSUM ASSOCIATION FIRE RESISTANCE DESIGN MANUAL GA-600 - LATEST EDITION, SECTION 11 SOUND CONTROL, AND TO FIGURE 12 FOR ADDITIONAL DETAILS. FOLLOW GYPSUM ASSOCIATION RECOMMENDATIONS FOR EFFECTIVE SOUND ISOLATION CONSTRUCTION. C. WHERE FIRE-RESISTANT ASSEMBLIES ARE INDICATED, REFER TO THE REFERENCED FIRE-TESTED ASSEMBLY AND PROVIDE THE MATERIALS, BRAND NAMES, PRODUCTS, AND CONSTRUCTION METHODS SPECIFIED THEREIN. D. AT ALL FIRE-RESISTIVE WALLS AND SMOKE BARRIER CONSTRUCTION WHERE A PORTION OF THE CONSTRUCTION IS CONCEALED ABOVE SUSPENDED CEILINGS, STENCIL A NOTE IN 2 INCH HIGH RED LETTERS (OR APPROVED EQUAL) FIRE AND SMOKE BARRIER - PROTECT ALL OPENINGS. NO POINT ALONG THE LENGTH OF THE RATED WALL SHOULD BE MORE THAN 8 FEET FROM A STENCILED NOTE. CONFIRM THE NOTE LANGUAGE AND SPACING REQUIREMENTS WITH THE AUTHORITY HAVING JURISDICTION BEFORE APPLICATION. E. WHERE FLUSH-MOUNTED ELECTRICAL OUTLET BOXES (16 SQUARE INCHES OR LESS) ARE INDICATED LESS THAN 24 INCHES APART ON OPPOSITE SIDES OF FIRE-RESISTIVE CONSTRUCTION, PROVIDE AS NEEDED, FIRE-RETARDANT PUTTY PADS TO WRAP THE ELECTRICAL BOXES. PUTTY PADS WILL BE PROVIDED TO COMPLY WITH THE BUILDING CODE AND TO CONFORM WITH THE REQUIREMENTS OF THE FIRE-TESTED WALL ASSEMBLY, AND WILL BE UL CLASSIFIED "WALL OPENING PROTECTIVE MATERIAL". F. WHERE RECESSED DEVICES ARE INDICATED IN FIRE-RESISTIVE GYPSUM WALLBOARD CONSTRUCTION, PROVIDE LAYERS OF GYPSUM WALLBOARD BETWEEN THE STUDS, INSIDE THE RECESS - TOP, BOTTOM, BACK, AND SIDES, AS REQUIRED TO MAINTAIN THE FIRE RESISTANCE RATINGS INDICATED. EXAMPLES OF RECESSED DEVICES INCLUDED ARE TOILET ACCESSORIES, FIRE EXTINGUISHER CABINETS, FIRE HOSE CABINETS, BATH FANS, RECESSED LIGHTS, ETC. UNLESS A RATED FIXTURE IS BEING PROVIDED TO MAINTAIN THE RATING OF THE ASSEMBLY. G. EXTERIOR WALL CONSTRUCTION - ALL PARTIAL PENETRATIONS SHALL BE SEALED. PENETRATIONS THROUGH THE INTERIOR SIDE OF EXTERIOR WALLS SHALL BE SEALED AIR-TIGHT TO PREVENT AIR INFILTRATION. EXAMPLE - ELECTRICAL BOX FOR SWITCH OR OUTLET. PENETRATIONS THROUGH THE EXTERIOR SIDE OF EXTERIOR WALLS SHALL BE SEALED WATER-TIGHT. EXAMPLE - HOSE BIB, CONDUIT, OR PIPE. H. PIPE AND VALVE PENETRATIONS OF WALLBOARD AT BATHTUBS AND SHOWERS SHALL BE SEALED USING SILICONE SEALANT WITH MILDEW-RESISTANT PROPERTIES, SUCH AS GENERAL ELECTRIC CO., "SCS 1701", OR DOW CORNING 786.	

ACCESSIBILITY NOTES	
1. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION MEETS OR EXCEEDS THE MINIMUM REQUIREMENTS OF ANSI A117. 2. ALL CONTROL DEVICES FOR LIGHT, POWER, HEAT, ALARMS, ETC. SHALL BE MOUNTED NO HIGHER THAN 46" FROM THE FLOOR TO THE HIGHEST OPERATIONAL ELEMENT OF THE DEVICE. 3. EXTERIOR AND INTERIOR PASSAGE DOORS WHERE OPERABLE HARDWARE IS PROVIDED, SHALL BE EQUIPPED WITH HANDLES, PULLS, LATCHES, LOCKS OR OTHER OPERATING HARDWARE DEVICES HAVING A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE GRASPING, TIGHT PINCHING OR WRIST-TWISTING MOTION TO OPERATE. 4. CONTINUOUS ACOUSTICAL SEALANT OR FIRE-CAULK SEALANT (AS REQUIRED BY THE ASSEMBLY LISTING) AT ALL FULL OR PARTIAL WALL PENETRATIONS AND AROUND OPENINGS, FLUSH-MOUNTED ACCESSORIES, FIRE EXTINGUISHER CABINETS, ELECTRICAL BOXES, ETC. LINE ALL RECESSES FOR BUILT-IN DEVICES SUCH AS FIRE EXTINGUISHER CABINETS, TOILET ACCESSORIES, ETC. WITH WALLBOARD. SEAL ALL JOINTS. 5. CONTRACTOR TO VERIFY THAT NO ELEMENT BETWEEN 27" AND 80" A.F.F. PROJECTS MORE THAN 4" INTO AN ACCESSIBLE ROUTE UNLESS IDENTIFIED WITH A CANE DETECTION ELEMENT. 6. PROVIDE SLIP RESISTANT FLOOR SURFACES ALONG ALL ACCESSIBLE ROUTES. 7. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2. CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE RAMPED PER ANSI	

BUILDING NOTES	
1. ORIENTATION OF THE BUILDING PLAN ILLUSTRATED MAY BE DIFFERENT THAN THE ORIENTATION OF THE ARCHITECTURAL REFERENCE SITE PLAN; NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. 2. ALL MECHANICAL, ELECTRICAL, PLUMBING, SECURITY, UTILITY, CABLE TV, AND TELEPHONE EQUIPMENT SHALL BE INSTALLED SO AS NOT TO BE IN CONFLICT WITH ANY WINDOW, WINDOW SHUTTER OR SHUTTER PANEL. 3. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BALCONIES. 4. LOCATE ANY ROOF VENTS ON THE "REAR" SIDE OF EACH BUILDING TYPE. ROOF PENETRATIONS OF PLUMBING OR MECHANICAL EQUIPMENT SHALL BE MINIMIZED AND SHALL BE LOCATED AT THE "REAR" SIDE OF EACH BUILDING. GROUP VENTS WHERE POSSIBLE TO MINIMIZE ROOF PENETRATIONS. PAINT ALL ROOF PENETRATIONS TO MATCH THE ADJACENT ROOF COLOR.	

ROOF PLAN NOTES	
1. PROVIDE ICE AND WATER SHIELD AT THE OVERHANGS OF THE ROOF AND AT ALL ROOF VALLEYS. 2. ROOF VENTS AND ROOF PENETRATIONS OF PLUMBING OR MECHANICAL EQUIPMENT SHALL BE MINIMIZED AND LOCATED AT THE "REAR" SIDE OF EACH BUILDING. GROUP VENTS WHERE POSSIBLE TO MINIMIZE ROOF PENETRATIONS. PAINT ALL ROOF PENETRATIONS TO MATCH THE ADJACENT ROOF COLOR.	

VICINITY MAP	



CODE SUMMARY	
PROJECT DESCRIPTION: RENOVATION OF RETAIL CORE AND SHELL IN AN EXISTING BUILDING.	
PROJECT ADDRESS: 704 MADISON AVENUE MEMPHIS, TN 38103	
OWNER ADDRESS: 65 UNION AVENUE, 12TH FLOOR MEMPHIS, TN 38103	
CODE REVIEW JURISDICTION: SHELBY COUNTY, TENNESSEE - CONSTRUCTION CODE ENFORCEMENT	
CODE REFERENCE: BUILDING CODE: 2015 INTERNATIONAL EXISTING BUILDING CODE (WITH LOCAL AMENDMENTS) 2015 INTERNATIONAL BUILDING CODE (WITH LOCAL AMENDMENTS) FIRE PREVENTION: 2015 INTERNATIONAL FIRE CODE ELECTRICAL CODE: 2014 INTERNATIONAL ELECTRIC CODE WITH LOCAL AMENDMENTS MECHANICAL CODE: 2015 INTERNATIONAL MECHANICAL CODE WITH LOCAL AMENDMENTS PLUMBING CODE: 2015 INTERNATIONAL PLUMBING CODE WITH LOCAL AMENDMENTS FUEL GAS CODE: 2015 INTERNATIONAL FUEL GAS CODE WITH LOCAL AMENDMENTS ENERGY CODE: 2015 INTERNATIONAL ENERGY CONSERVATION CODE WITH LOCAL AMENDMENTS ACCESSIBILITY: 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN	
CHAPTER 3 - USE AND OCCUPANCY: PRIMARY OCCUPANCY: MERCANTILE (M) IBC 309.1 OTHER OCCUPANCIES: ASSEMBLY - RESTAURANT (A-2) IBC 303.3	
CHAPTER 5 - GENERAL BUILDING HEIGHT AND AREA: BUILDING DATA: CONSTRUCTION HEIGHT (STORIES) (TABLE 504.4): 50'-0" (5 STORY) ALLOWED RETAIL BUILDING : ACTUAL: 16'-0" (1 STORY) ALLOWABLE AREA (PER TABLE 506.2) : CONSTRUCTION TYPE V-A: 14,000 S.F. ACTUAL AREA (GROSS SQUARE FOOTAGE): RETAIL BUILDING : 11,235 GSF	
CHAPTER 6 - TYPE OF CONSTRUCTION TYPE (SECTION 602): TYPE V-A	
CHAPTER 9 AUTOMATIC SPRINKLER SYSTEM (903): NOT PROVIDED	

SHEET INDEX					
SHEET NUMBER	SHEET NAME	ISSUE DATE	CURRENT REVISION		
			NO	DATE	REVISION
01 GENERAL					
-	COVER SHEET	08.06.21	3	08.06.21	Permit Set
G001	GENERAL NOTES, ABBREVIATIONS, SHEET INDEX	06/03/21	3	08.06.21	Permit Set
03 DEMOLITION					
D101	DEMOLITION PLAN	06/03/21	3	08.06.21	Permit Set
04 ARCHITECTURE					
A100	ARCHITECTURAL SITE PLAN	06/03/21	3	08.06.21	Permit Set
A101	FLOOR PLAN	05/11/21	3	08.06.21	Permit Set
A102	ROOF PLAN	05/24/21	3	08.06.21	Permit Set
A103	ENLARGED FLOOR PLANS	05/20/21	3	08.06.21	Permit Set
A190	DUMPSTER ENCLOSURE	08/15/21	3	08.06.21	Permit Set
A201	BUILDING ELEVATIONS	05/17/2021	3	08.06.21	Permit Set
A301	ENLARGED ELEVATIONS	05/11/21	3	08.06.21	Permit Set
A302	ENLARGED ELEVATIONS	05/11/21	3	08.06.21	Permit Set
A303	ENLARGED ELEVATIONS	05/11/21	3	08.06.21	Permit Set
A304	ENLARGED ELEVATIONS	05/11/21	3	08.06.21	Permit Set
A305	ENLARGED ELEVATIONS	05/20/21	3	08.06.21	Permit Set
A306	ENLARGED ELEVATIONS	06/03/21	3	08.06.21	Permit Set
A307	ENLARGED ELEVATIONS	05/20/21	3	08.06.21	Permit Set
A401	STAIR AND RAMP PLANS	06/03/21	3	08.06.21	Permit Set
A402	STAIR AND RAMP PLANS	08/15/21	3	08.06.21	Permit Set
A501	AWNING DETAILS		3	08.06.21	Permit Set
A601	CONSTRUCTION ASSEMBLIES, DOOR SCHEDULES AND DETAILS		3	08.06.21	Permit Set
A630	STOREFRONT ELEVATIONS	07/30/21	3	08.06.21	Permit Set
A631	STOREFRONT DETAILS	07/30/21	3	08.06.21	Permit Set
06 STRUCTURAL					
S101	GENERAL NOTES, CMU DETAILS & COLUMN SCHEDULE	08/19/21	3	08.06.21	Permit Set
S201	FOUNDATION PLAN	08/19/21	3	08.06.21	Permit Set
S202	ROOF FRAMING PLAN	08/19/21	3	08.06.21	Permit Set
S301	SECTIONS AND DETAILS	08/19/21	3	08.06.21	Permit Set
08 PLUMBING					
P112	FLOOR PLAN - PLUMBING	08/19/21	3	08.06.21	Permit Set

ARCHITECTURAL ABBREVIATIONS

ACT ACOUSTICAL (CLG) TILE ALUM ALUMINUM BLK BLOCKING) BOC BOTTOM OF CURB BSMT BASEMENT	FIN FINISH FOC FACE OF CONCRETE FOF FACE OF FINISH FOM FACE OF MASONRY FOS FACE OF STUDS FTG FOOTING	OC ON CENTER OFCI OWNER FURNISHED CONTRACTOR INSTALLED OFOI OWNER FURNISHED OWNER FOS FACE OF STUDS OPP OPPOSITE	T TREAD TB TOWEL BAR THK THICKNESS THRES THRESHOLD TOL TOLERANCE TOS TOP OF SLAB TOST TOP OF STEEL TPD TOILET PAPER DISPENSER TYP TYPICAL
CIR CIRCLE CJ CONTROL JOINT CLG CEILING CLO CLOSET COL COLUMN CONC CONCRETE CPT CARPET CPB CARPET BASE	GA GAUGE GALV GALVANIZED GL GLASS/GLAZING GPBD GYPSUM BOARD	PG PLASTIC GLAZING PLAM PLASTIC LAMINATE PNL PANEL PR PAIR PT PRESSURE TREATED PTD PAINTED)	UNO UNLESS NOTED OTHERWISE
DIA DIAMETER DIM DIMENSION DS DOWNSPOUT	INSUL INSULATE / INSULATION INT INTERIOR	QT QUARRY TILE	VAR VARNISH VB VINYL BASE VCT VINYL COMPOSITE TILE VEST VESTIBULE VF VINYL FLOORING VNR VENER VWC VINYL WALL COVERING
EA EACH EDF ELECTRIC DRINKING FOUNTAIN EJ EXPANSION JOINT ELEV ELEVATOR EQ EQUAL EQUIP EQUIPMENT EWC ELECTRIC WATER COOLER EXIST EXISTING EXP EXPOSED EXT EXTERIOR	J-BOX JUNCTION BOX KIT KITCHEN LAV LAVATORY MISC MISCELLANEOUS MO MASONRY OPENING MRF MANUFACTURE(R)(ING)	REV REVISION RM ROOM ROW RIGHT OF WAY	WB WOOD BASE WC WALL COVERING WD WOOD WH WATER HEATER
FD FLOOR DRAIN FDTN FOUNDATION FF FINISH FLOOR	NIC NOT IN CONTRACT NTS NOT TO SCALE	SC STAINED/SEALED CONCRETE SECT SECTION SIM SIMILAR SPEC SPECIFICATION SS SOLID SURFACE STOR STORAGE	± PLUS OR MINUS CL CENTER LINE PL PROPERTY LINE

ARCHITECTURAL SYMBOLS

DRAWING TITLES: DRAWING NUMBER 29 TITLE SCALE: 1/8" = 1'-0"		COLUMN AND GRID SYSTEM: 1 A NORTH ARROW: TRUE NORTH PROJECT NORTH		SYMBOLS: DOOR MARK - COMMON DOOR MARK - UNITS WINDOW MARK STOREFRONT KEY NOTE WALL TYPE MARK ASSEMBLY MARK FIRE EXTINGUISHER REVISION MARK ELEVATION EQUIPMENT TAG	
SECTION MARKERS: SECTION NUMBER SHEET NUMBER		DETAIL AND PLAN MARKERS: DETAIL NUMBER SHEET NUMBER		ELEVATION MARKERS: ELEVATION NUMBER(S) SHEET NUMBER	



50 South B.B. King Blvd.
Suite 600
Memphis, TN 38103
901.521.1440

Client:



65 Union Avenue, 12th Floor
Memphis, TN 38103

Issues and Revisions

Date	Issued / Revised
2 06.09.21	25% Construction Progress Set
3 08.06.21	Permit Set

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Seal

LRK Project Number: 01.19036.00

Project Name:

Orleans Station
Retail

704 Madison Avenue
Memphis, TN 38103

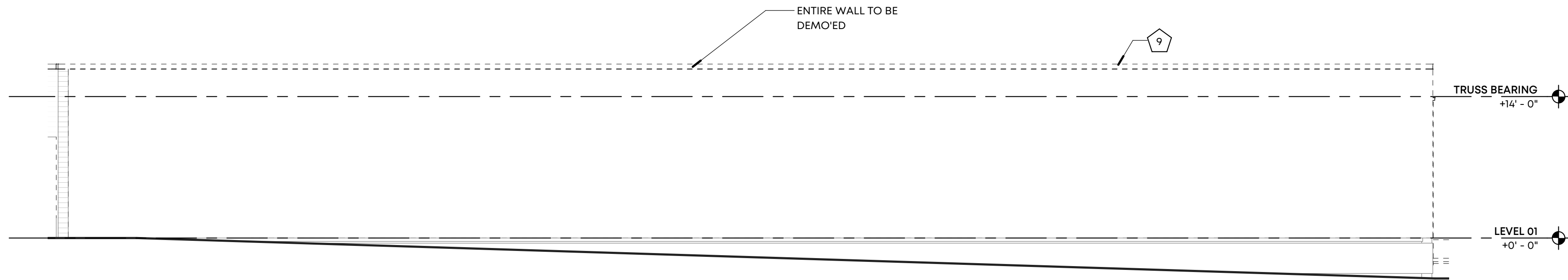
Drawing Name:

GENERAL NOTES,
ABBREVIATIONS, SHEET
INDEX

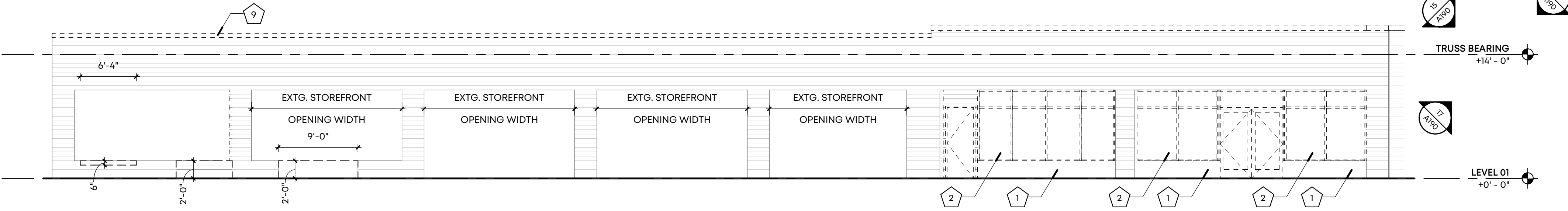
Drawn By: RKH

Checked By: RCH

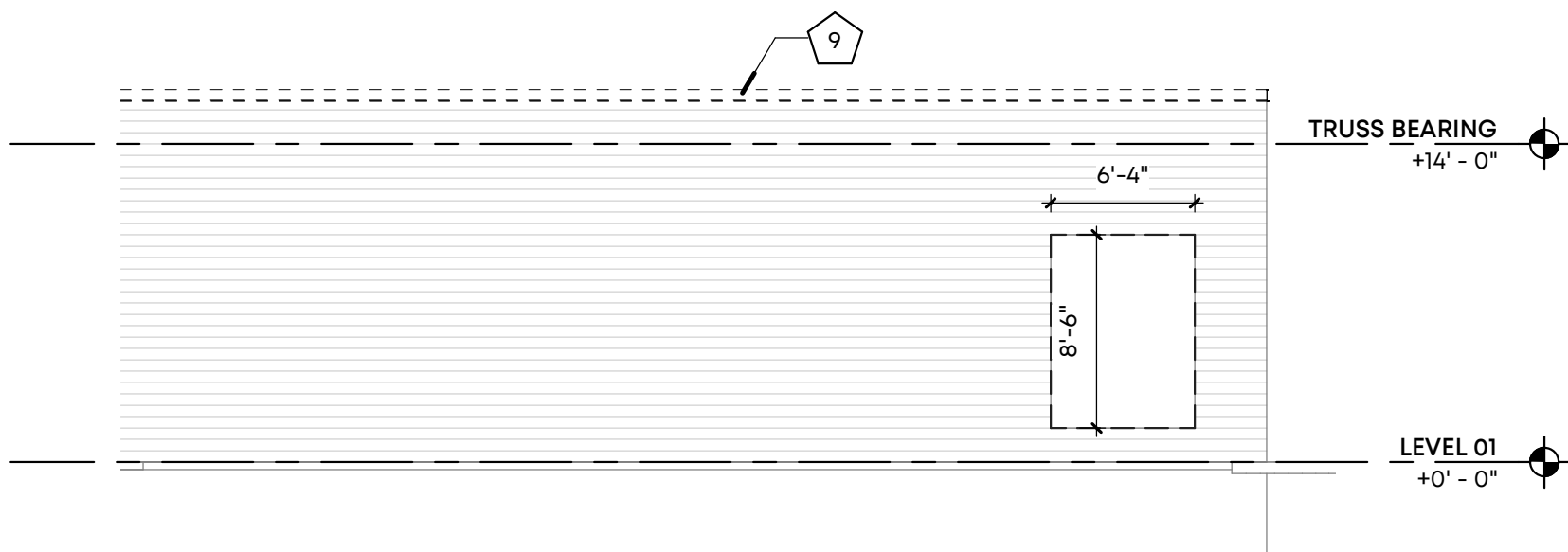
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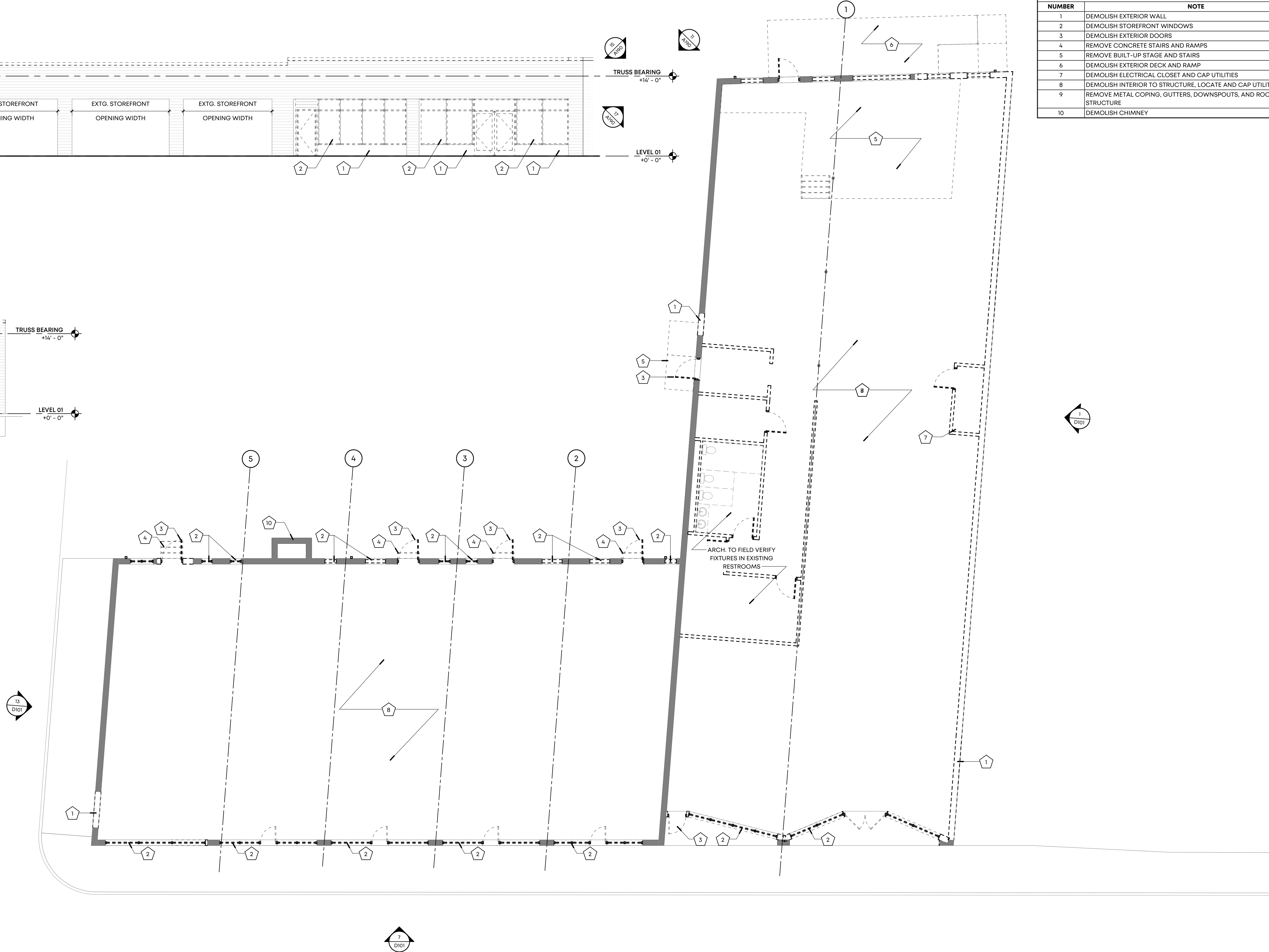
1 DEMO-EAST ELEVATION
SCALE: 1/8" = 1'-0"



7 DEMO-SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



13 DEMO-WEST ELEVATION
SCALE: 1/8" = 1'-0"



26 DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

GENERAL DEMOLITION NOTES

- DEMOLITION WORK IS TO BE IMPLEMENTED, PHASED, AND SITE SECURED IN A MANNER TO ENSURE WORKER AND PUBLIC SAFETY
- OWNER HAS ARRANGED FOR DEMOLITION OF BUILDING BRANDING, SIGNAGE, INTERIOR PARTITIONS PRIOR TO THE COMMENCEMENT OF WORK OUTLINED IN THIS PACKAGE.
- DRAWING IS FOR REFERENCE ONLY AND IS NOT A RECORD OF EXISTING FIELD CONDITIONS. THE G.C. IS RESPONSIBLE TO VERIFY FIELD CONDITIONS. REPORT ANY CONFLICTS OR DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION. NO CHANGE ORDER WILL BE APPROVED DUE TO FIELD CONDITIONS WHICH ARE EVIDENT PRIOR TO DEMOLITION.
- ARCHITECTURE TO REMAIN SHALL BE PROTECTED FROM DAMAGE. WHEN DAMAGE OCCURS, ITEMS SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE TENANT. PROVIDE DUST AND SECURITY BARRIERS AS REQUIRED.
- G.C. SHALL NOTIFY BUILDING MANAGEMENT AND TENANT BEFORE DISCONNECTING ANY EXISTING ELECTRICAL, COMMUNICATIONS, OR SECURITY PANELS THAT WOULD INTERFERE WITH NORMAL BUILDING OPERATIONS.
- G.C. SHALL DISCONNECT OR SHUT-OFF AND CAP MEP SERVICES TO AREAS OF DEMOLITION. REMOVE ALL ELECTRICAL UNO IN MEP DRAWINGS. WIRING AND CONDUIT TO BE REMOVED TO THE POINT OF ORIGIN OR THE FIRST ITEM UNAFFECTED BY REMOVAL.
- G.C. SHALL IDENTIFY AND TAG ALL EXISTING LIFE SAFETY, EMERGENCY LIGHTING CIRCUITS, ETC. FOR FUTURE RECONNECTION.
- ALL EXISTING, RELOCATED AND NEW ROOF DRAINAGE TIE INTO THE NEW UNDERGROUND STORM SEWER, REFER TO CIVIL AND MEP DRAWINGS.
- SALVAGED ITEMS SHALL BE RECORDED FOR REUSE. G.C. TO COORDINATE STORAGE WITH BUILDING MANAGEMENT.
- WHERE NEW CONSTRUCTION CAUSES DAMAGE OR IF DEMOLITION OF INTERIOR ELEMENTS OCCURS, G.C. IS RESPONSIBLE FOR RECONSTRUCTION OF ALL ELEMENTS AND MATERIALS TO MATCH SEAMLESSLY. G.C. RESPONSIBLE FOR FIELD VERIFICATIONS OF CONFLICTS INSIDE EXISTING TENANT SPACES. NO CHANGE ORDER WILL BE APPROVED DUE TO FIELD CONDITIONS WHICH ARE EVIDENT PRIOR TO DEMOLITION.
- CONTRACTOR TO VERIFY AND PRESERVE STRUCTURAL INTEGRITY OF THE EXISTING EXTERIOR BRICK WALLS, ROOF AND ASSOCIATED STRUCTURE.
- EXISTING RAIN LEADERS, DRAIN DISCHARGES, HOSE BIBS AND FIRE CONNECTIONS WITHIN THE EXTENT OF DEMOLITION TO BE RELOCATED IN COMPLIANCE WITH APPLICABLE CODES.
- ALL EXISTING EXTERIOR LIGHTING, CONDUIT AND CABLING WITHIN THE EXTENT OF DEMOLITION TO BE REMOVED. CAP ELECTRICAL AT ORIGIN.
- PATCH PENETRATIONS IN THE EXISTING BRICK WALLS TO REMAIN WITH SALVAGED BRICK, MORTAR TO MATCH EXISTING.
- ALL EXISTING, RELOCATED AND NEW ROOF DRAINAGE TO TIE INTO NEW UNDERGROUND STORM SEWER UNO. OVERFLOW TO DRAIN FROM OUTLETS ON EXTERIOR OR BUILDING. REFER TO CIVIL AND MEP DRAWINGS.
- G.C. TO VERIFY EXISTING ROOF DRAINS AND LEADER CONFLICTS.

DEMO PLAN KEYED NOTES

NUMBER	NOTE
1	DEMOLISH EXTERIOR WALL
2	DEMOLISH STOREFRONT WINDOWS
3	DEMOLISH EXTERIOR DOORS
4	REMOVE CONCRETE STAIRS AND RAMPS
5	REMOVE BUILT-UP STAGE AND STAIRS
6	DEMOLISH EXTERIOR DECK AND RAMP
7	DEMOLISH ELECTRICAL CLOSET AND CAP UTILITIES
8	DEMOLISH INTERIOR TO STRUCTURE, LOCATE AND CAP UTILITIES
9	REMOVE METAL COPING, GUTTERS, DOWNSPOUTS, AND ROOF DOWN TO STRUCTURE
10	DEMOLISH CHIMNEY

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Issues and Revisions

Date	Issued / Revised
05.17.21	100% Schematic Design
06.09.21	25% Construction Progress Set
08.06.21	Permit Set

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Seal

LRK Project Number: 01.19036.00

Project Name:

Orleans Station
Retail

704 Madison Avenue
Memphis, TN 38103

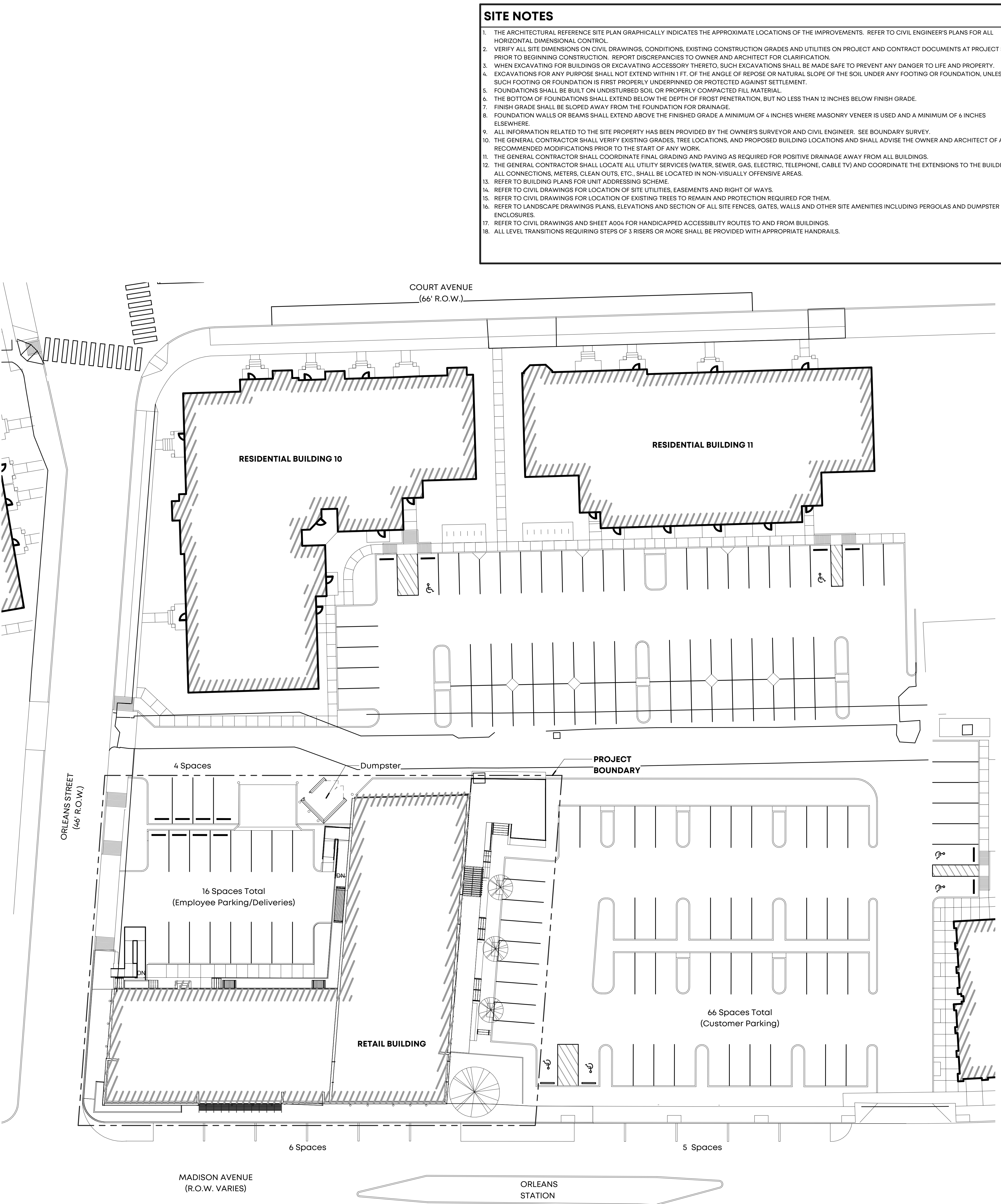
Drawing Name:

DEMOLITION PLAN

Drawn By: RKH, SWM

Checked By: RCH

D101



27 SITE PLAN
SCALE: 1" = 20'-0"

SITE NOTES

1. THE ARCHITECTURAL REFERENCE SITE PLAN GRAPHICALLY INDICATES THE APPROXIMATE LOCATIONS OF THE IMPROVEMENTS. REFER TO CIVIL ENGINEER'S PLANS FOR ALL HORIZONTAL DIMENSIONAL CONTROL.
2. VERIFY ALL SITE DIMENSIONS ON CIVIL DRAWINGS, CONDITIONS, EXISTING CONSTRUCTION GRADES AND UTILITIES ON PROJECT AND CONTRACT DOCUMENTS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION. REPORT DISCREPANCIES TO OWNER AND ARCHITECT FOR CLARIFICATION.
3. WHEN EXCAVATING FOR BUILDINGS OR EXCAVATING ACCESSORY THERETO, SUCH EXCAVATIONS SHALL BE MADE SAFE TO PREVENT ANY DANGER TO LIFE AND PROPERTY.
4. EXCAVATIONS FOR ANY PURPOSE SHALL NOT EXTEND WITHIN 1 FT. OF THE ANGLE OF REPOSE OR NATURAL SLOPE OF THE SOIL UNDER ANY FOOTING OR FOUNDATION, UNLESS SUCH FOOTING OR FOUNDATION IS FIRST PROPERLY UNDERPINNED OR PROTECTED AGAINST SETTLEMENT.
5. FOUNDATIONS SHALL BE BUILT ON UNDISTURBED SOIL OR PROPERLY COMPACTED FILL MATERIAL.
6. THE BOTTOM OF FOUNDATIONS SHALL EXTEND BELOW THE DEPTH OF FROST PENETRATION, BUT NO LESS THAN 12 INCHES BELOW FINISH GRADE.
7. FINISH GRADE SHALL BE SLOPED AWAY FROM THE FOUNDATION FOR DRAINAGE.
8. FOUNDATION WALLS OR BEAMS SHALL EXTEND ABOVE THE FINISHED GRADE A MINIMUM OF 4 INCHES WHERE MASONRY VENEER IS USED AND A MINIMUM OF 6 INCHES ELSEWHERE.
9. ALL INFORMATION RELATED TO THE SITE PROPERTY HAS BEEN PROVIDED BY THE OWNER'S SURVEYOR AND CIVIL ENGINEER. SEE BOUNDARY SURVEY.
10. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES, TREE LOCATIONS, AND PROPOSED BUILDING LOCATIONS AND SHALL ADVISE THE OWNER AND ARCHITECT OF ANY RECOMMENDED MODIFICATIONS PRIOR TO THE START OF ANY WORK.
11. THE GENERAL CONTRACTOR SHALL COORDINATE FINAL GRADING AND PAVING AS REQUIRED FOR POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
12. THE GENERAL CONTRACTOR SHALL LOCATE ALL UTILITY SERVICES (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TV) AND COORDINATE THE EXTENSIONS TO THE BUILDINGS. ALL CONNECTIONS, METERS, CLEAN OUTS, ETC., SHALL BE LOCATED IN NON-VISUALLY OFFENSIVE AREAS.
13. REFER TO BUILDING PLANS FOR UNIT ADDRESSING SCHEME.
14. REFER TO CIVIL DRAWINGS FOR LOCATION OF SITE UTILITIES, EASEMENTS AND RIGHT OF WAYS.
15. REFER TO CIVIL DRAWINGS FOR LOCATION OF EXISTING TREES TO REMAIN AND PROTECTION REQUIRED FOR THEM.
16. REFER TO LANDSCAPE DRAWINGS PLANS, ELEVATIONS AND SECTION OF ALL SITE FENCES, GATES, WALLS AND OTHER SITE AMENITIES INCLUDING PERGOLAS AND DUMPSTER ENCLOSURES.
17. REFER TO CIVIL DRAWINGS AND SHEET A004 FOR HANDICAPPED ACCESSIBILITY ROUTES TO AND FROM BUILDINGS.
18. ALL LEVEL TRANSITIONS REQUIRING STEPS OF 3 RISERS OR MORE SHALL BE PROVIDED WITH APPROPRIATE HANDRAILS.




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Drawing Name:
ARCHITECTURAL SITE PLAN

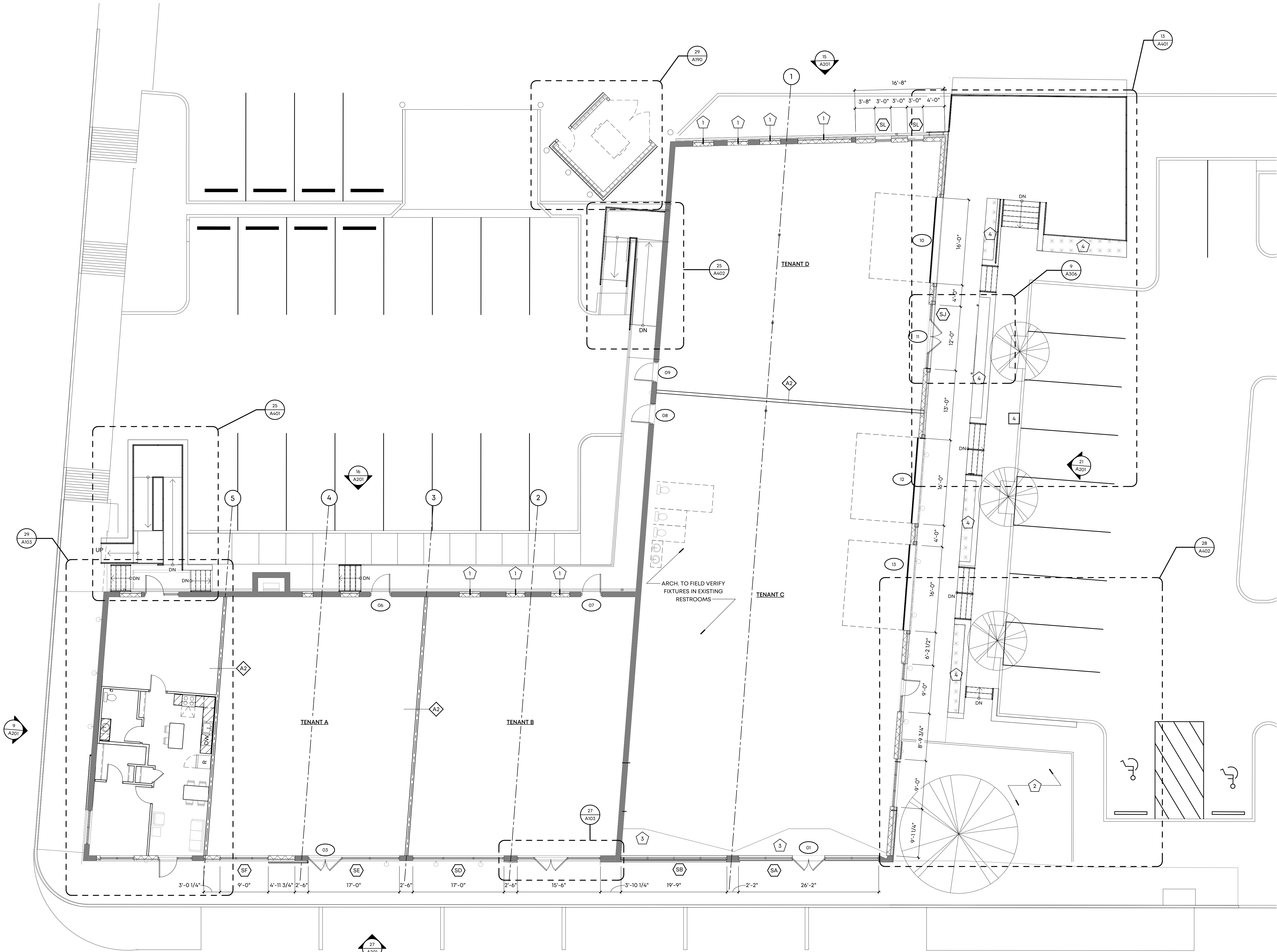
Drawn By: RKH, SWM

Checked By: RCH

A100

26 FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



PLAN KEY NOTES	
NUMBER	NOTE
1	INFILL OPENING WITH MATERIALS TO MATCH EXISTING ADJACENT
2	DECOMPOSED GRANITE WITH METAL EDGING AROUND PERIMETER
3	PATCH SLAB TO MATCH INTERIOR SLAB ELEVATION
4	LEAVE OUT IN CONCRETE SLAB FOR TALL GRASSES



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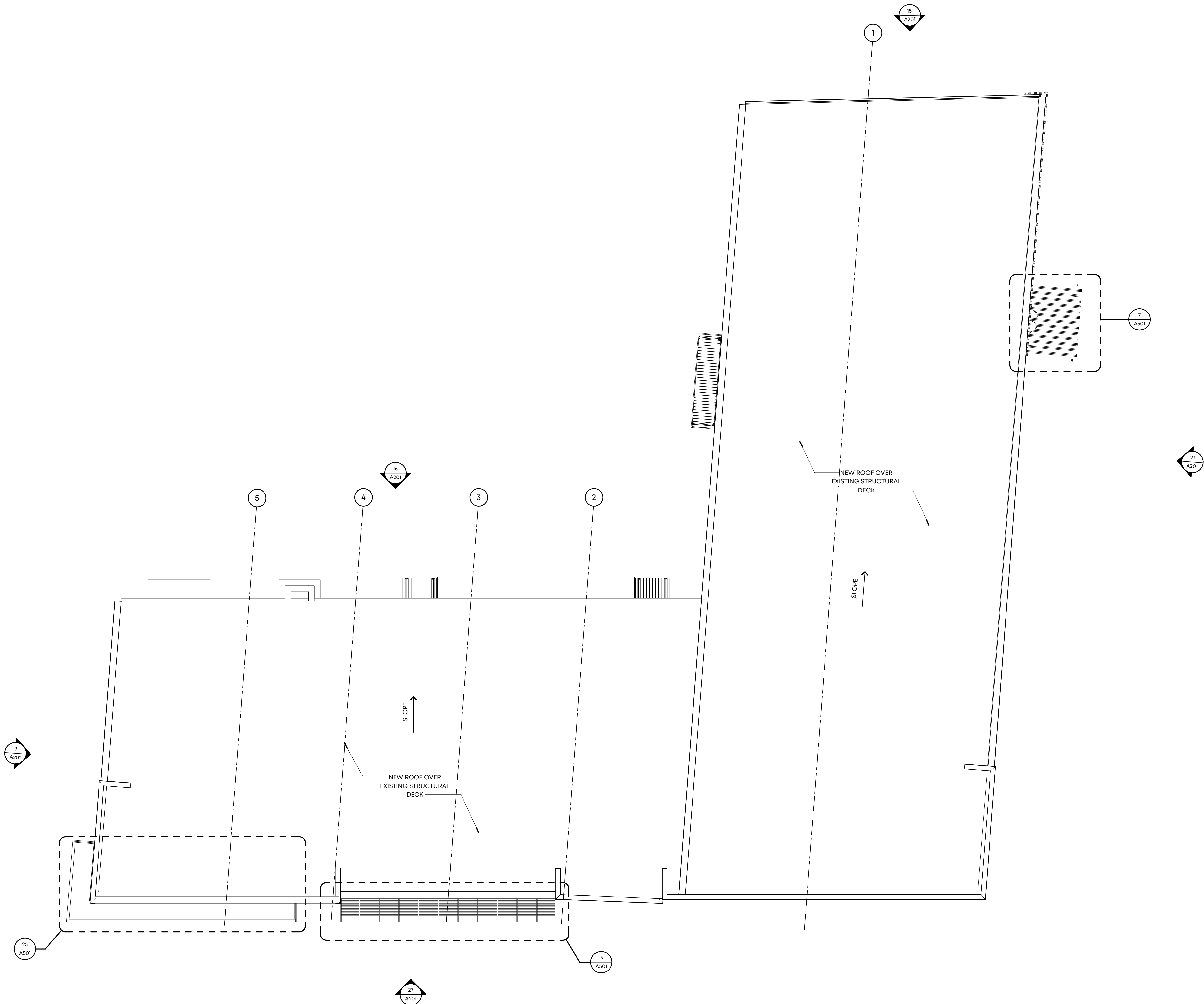
704 Madison Avenue
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Drawing Name:
FLOOR PLAN

Drawn By: RKH, SWM

Checked By: RCH

A101



26 ROOF PLAN
SCALE: 1/8" = 1'-0"



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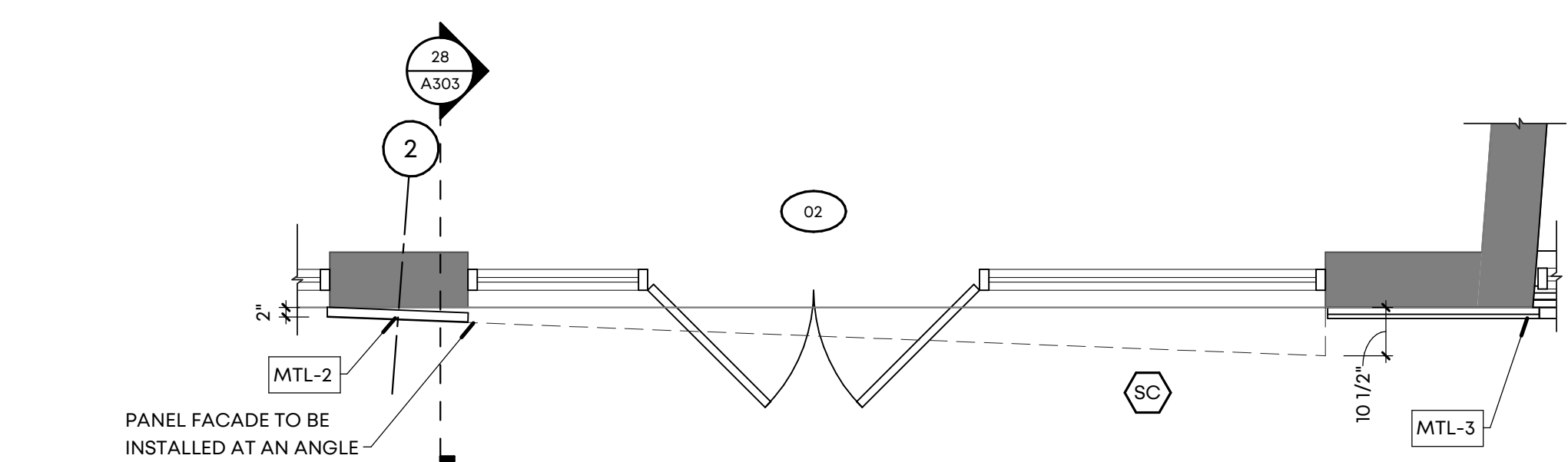
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Drawing Name:
ROOF PLAN

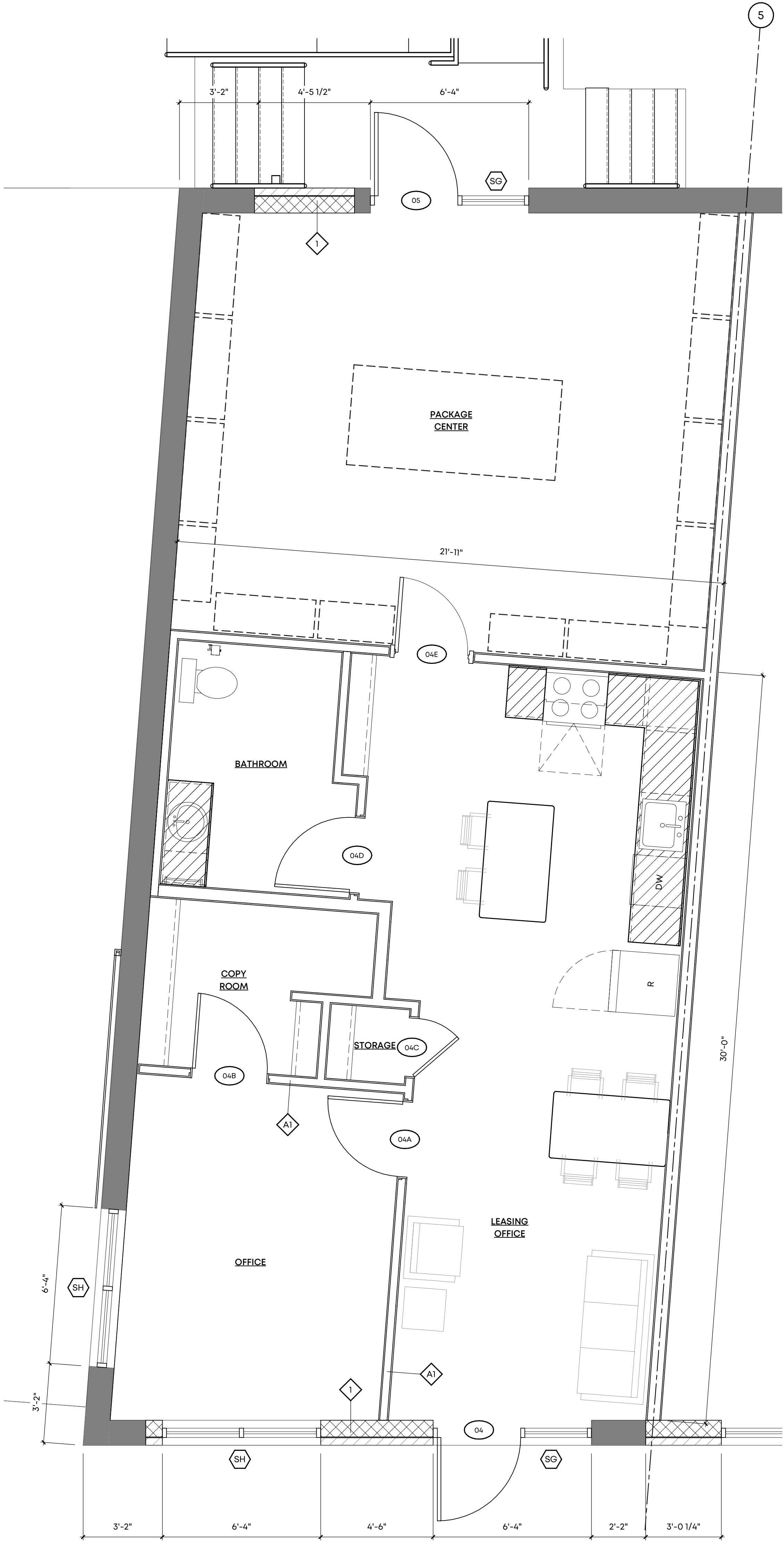
Drawn By: SWM

Checked By: VWB

A102



27 ENLARGED PLAN
SCALE: 3/8" = 1'-0"



29 LEVEL 01 - LEASING OFFICE
SCALE: 3/8" = 1'-0"



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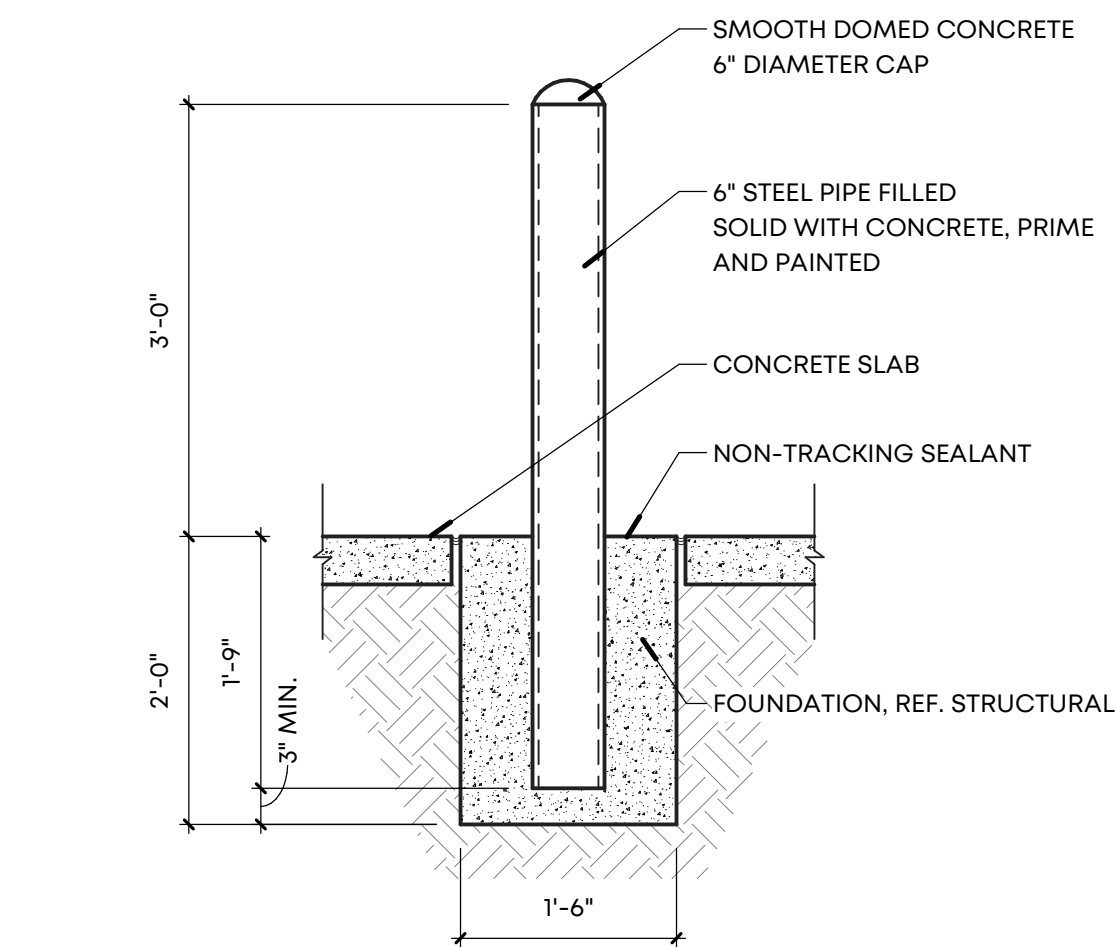
Project Name:
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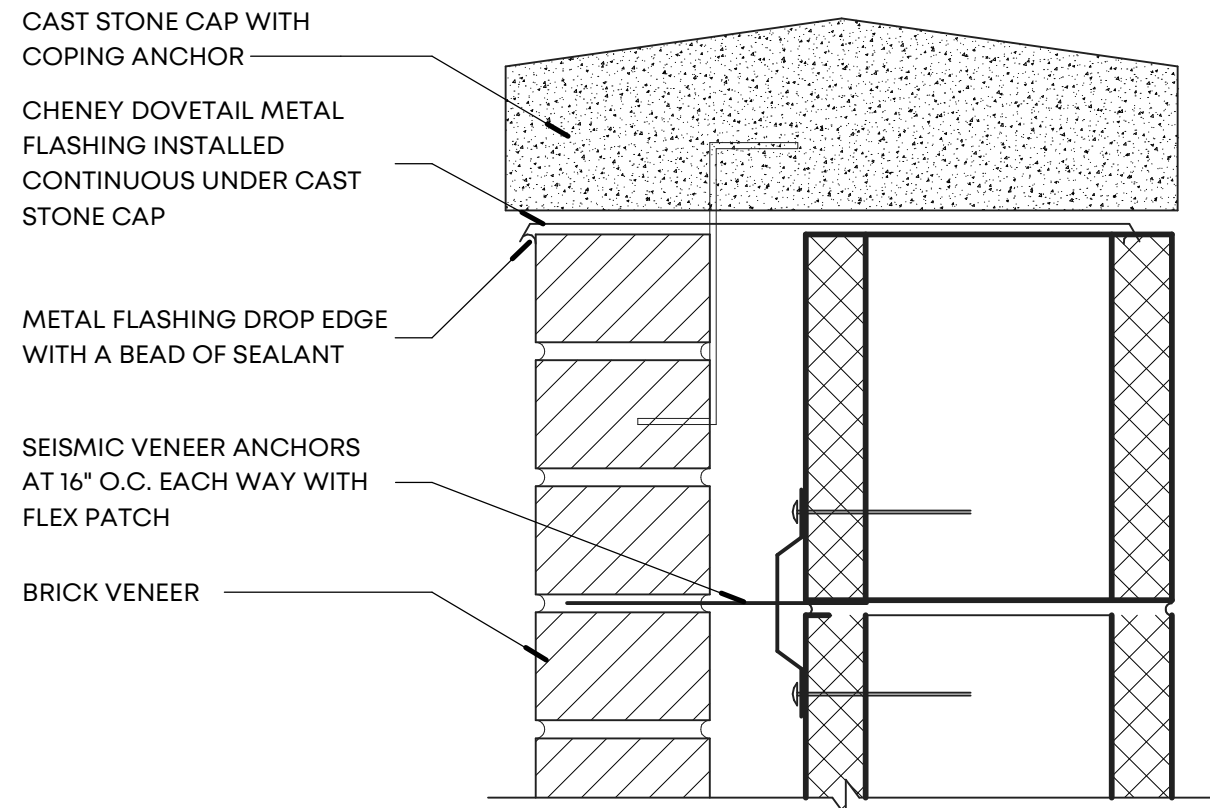
Drawing Name:
ENLARGED FLOOR PLANS

Drawn By: RKH, SWM
Checked By: VWB

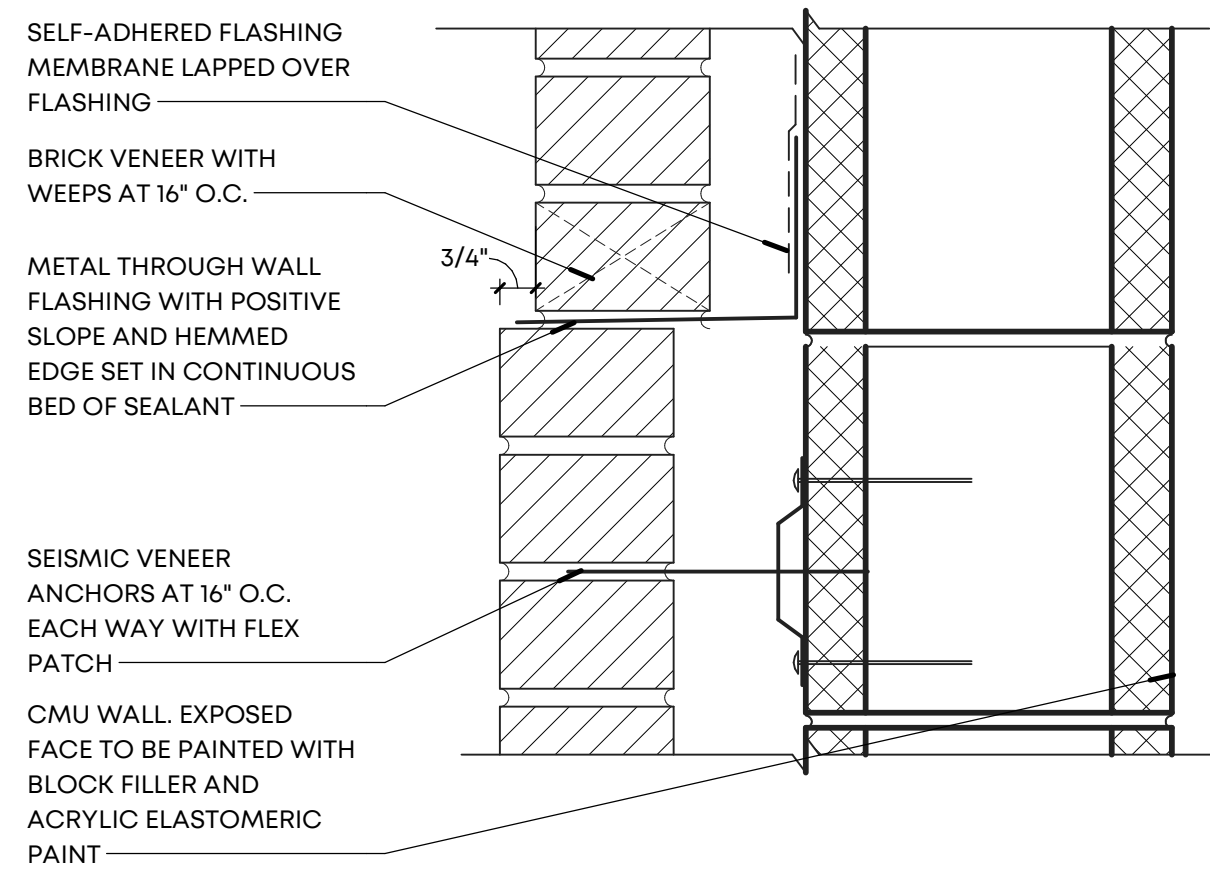
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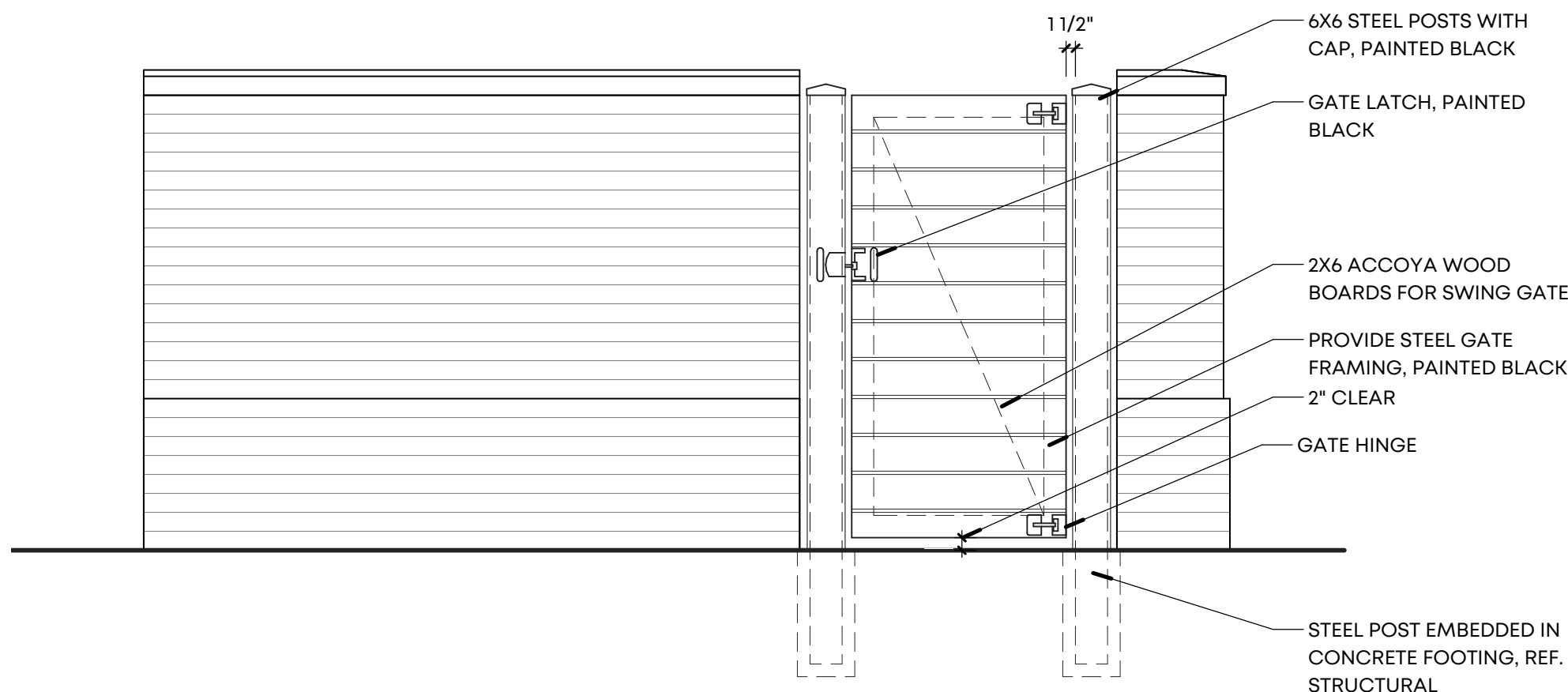
13 PIPE BOLLARD DETAIL
SCALE: 3/4" = 1'-0"



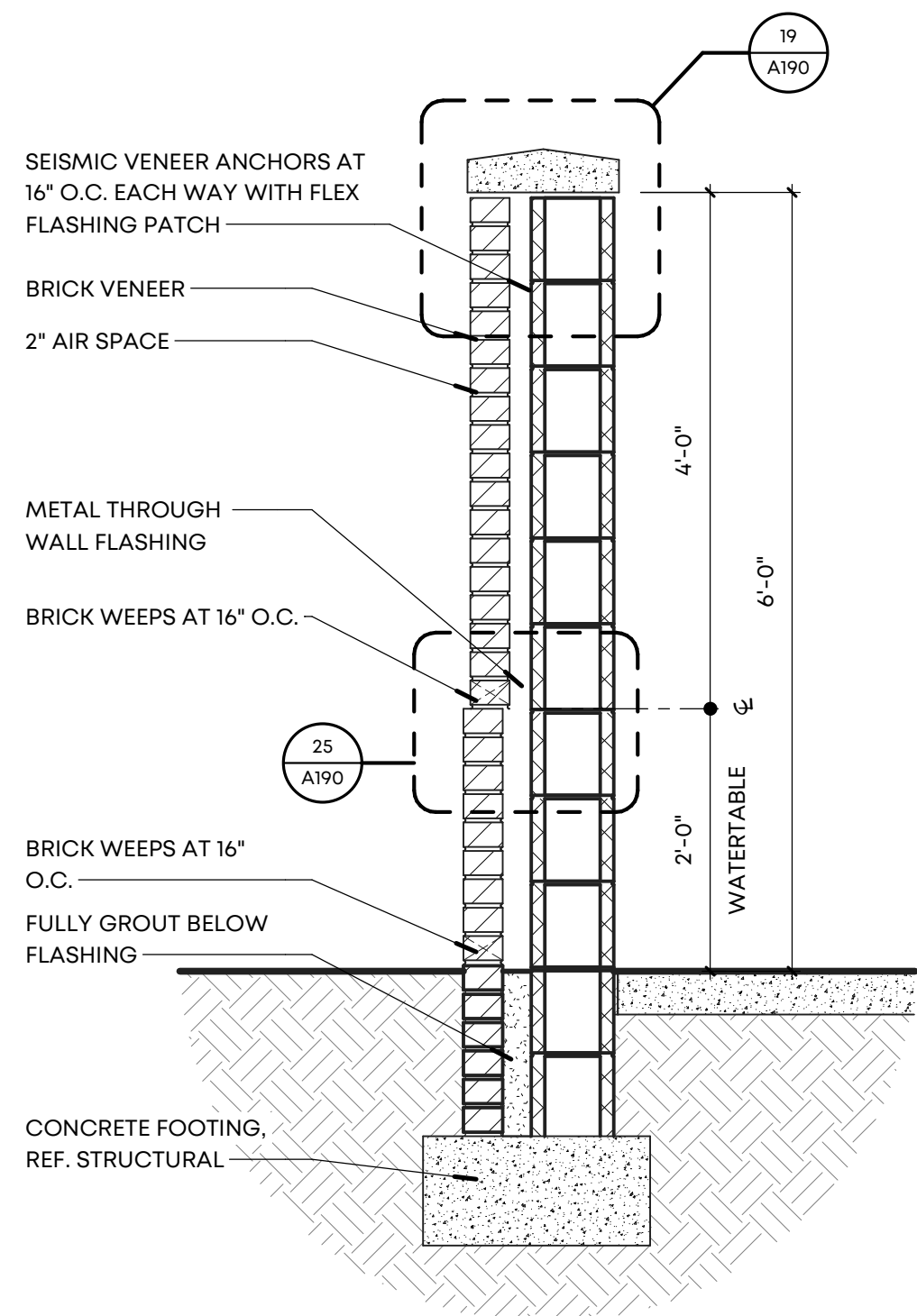
19 WALL CAP DETAIL
SCALE: 3" = 1'-0"



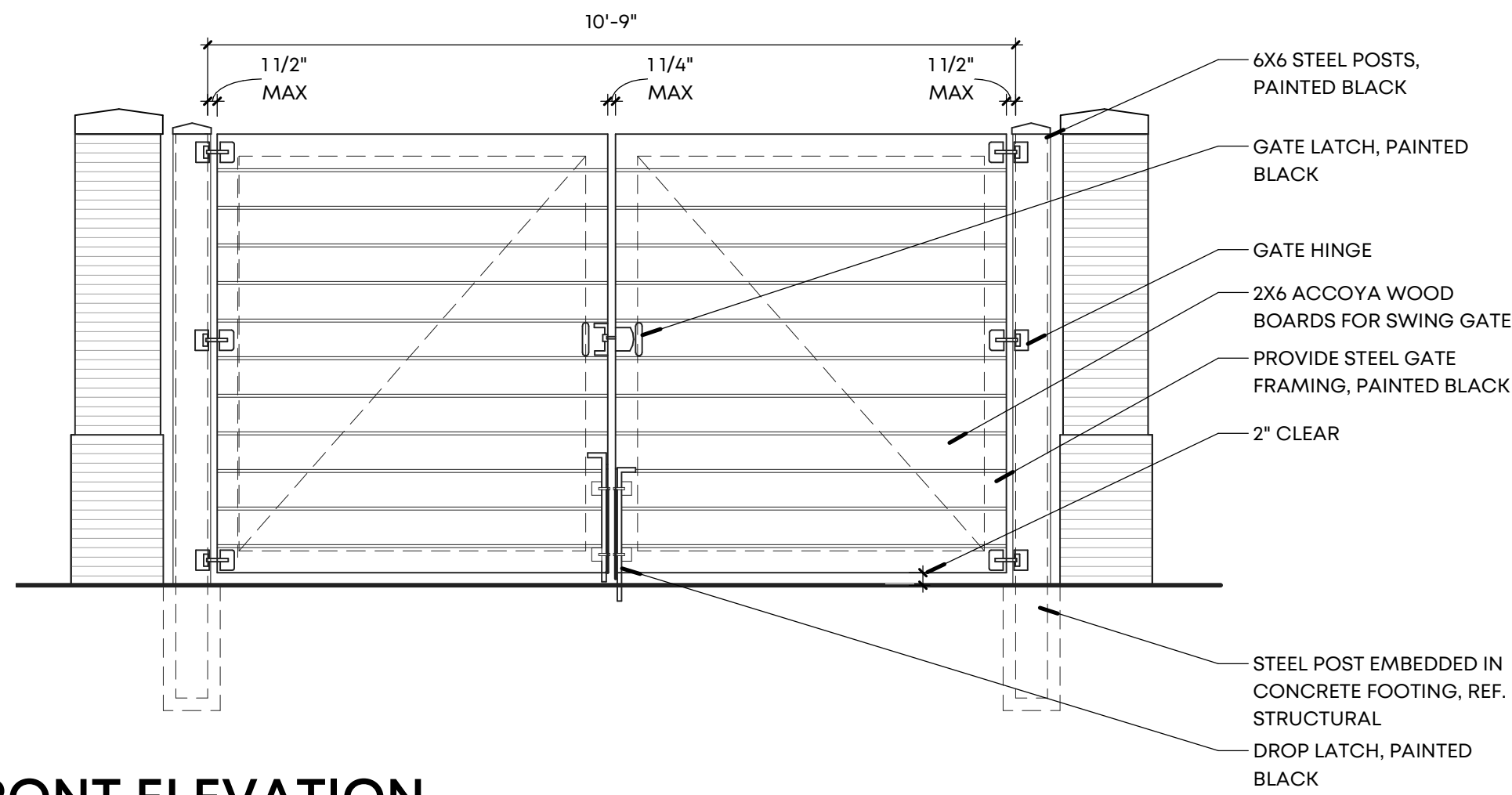
25 BRICK BASE OFFSET
SCALE: 3" = 1'-0"



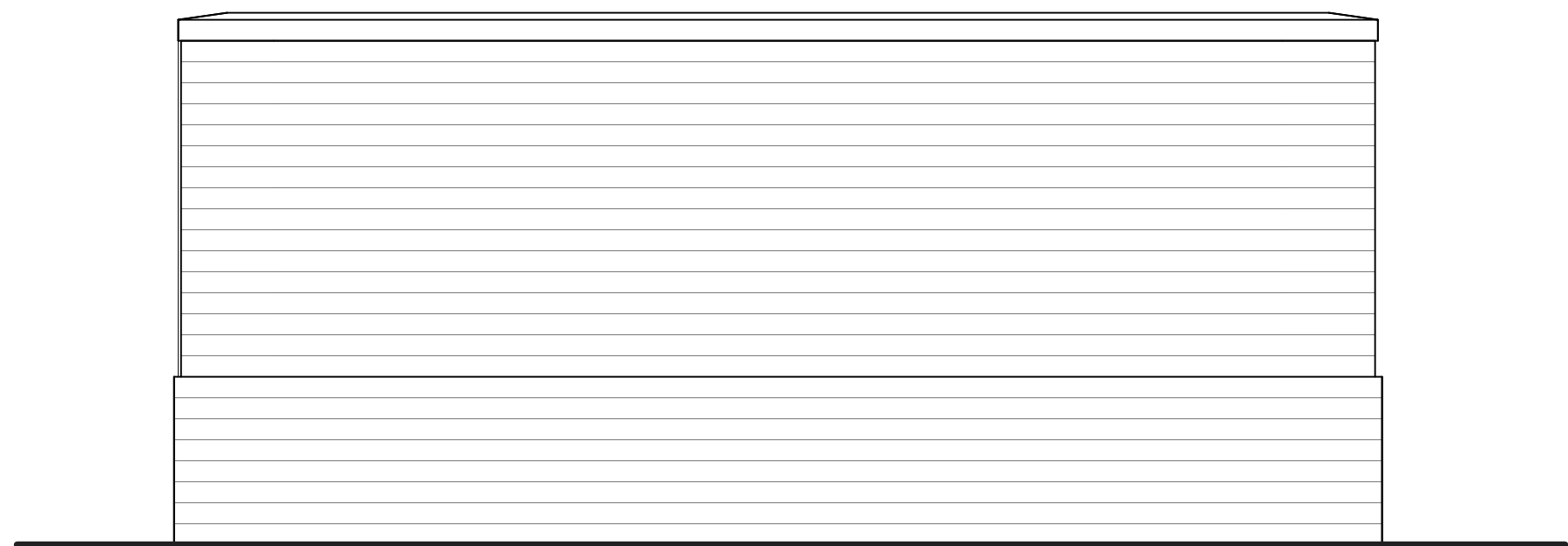
15 SIDE ELEVATION
SCALE: 1/2" = 1'-0"



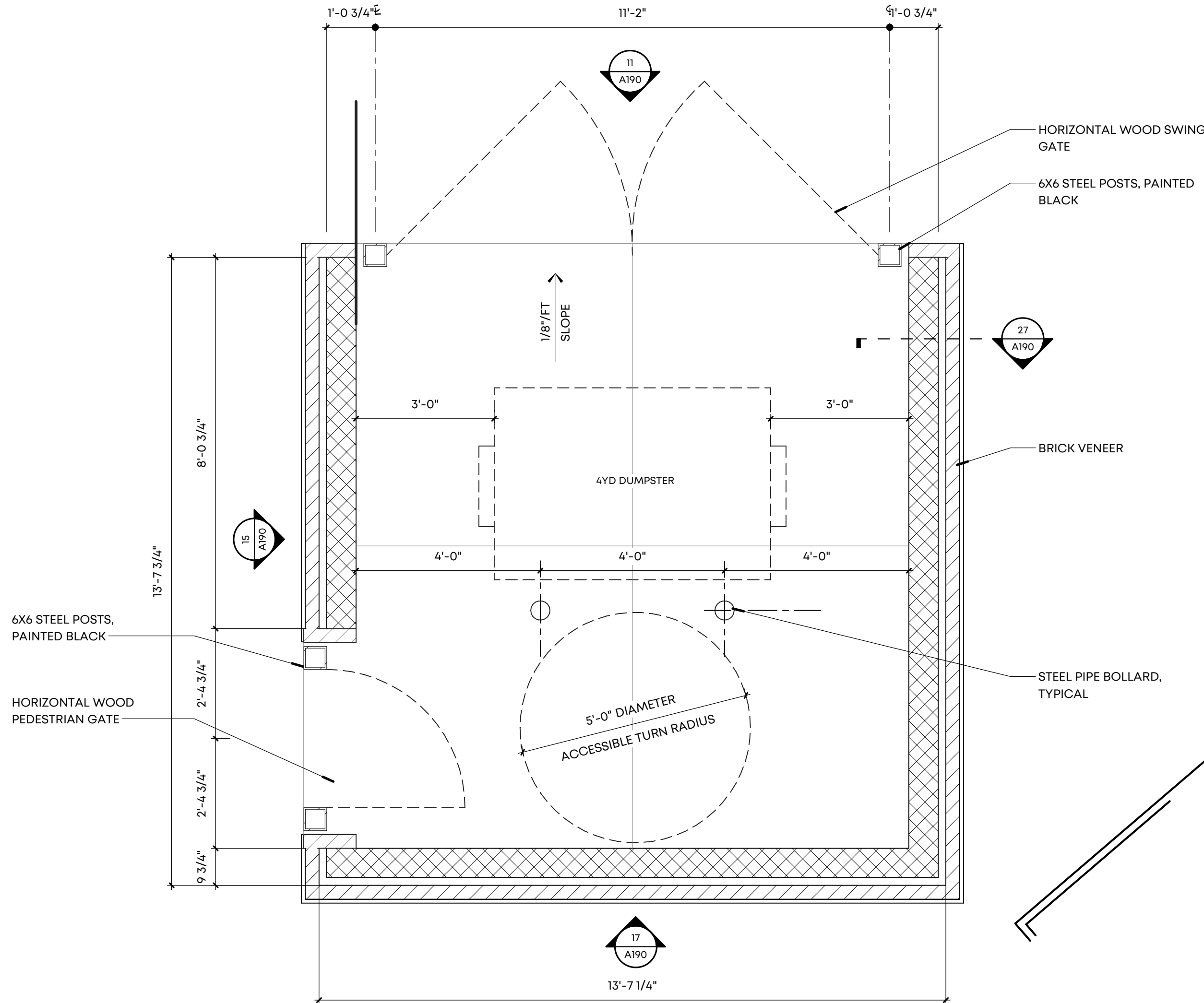
27 WALL SECTION
SCALE: 3/4" = 1'-0"



11 FRONT ELEVATION
SCALE: 1/2" = 1'-0"



17 REAR ELEVATION
SCALE: 1/2" = 1'-0"



29 FLOOR PLAN
SCALE: 1/2" = 1'-0"

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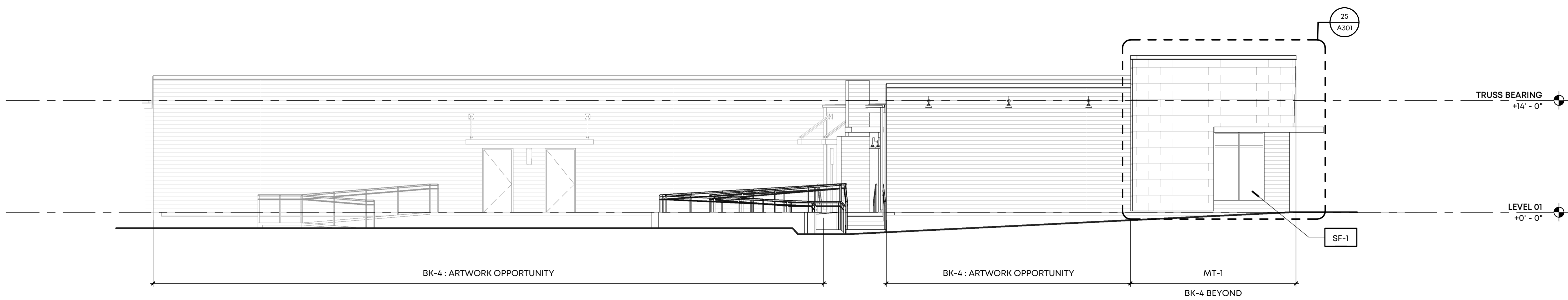
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Drawing Name:
DUMPSTER ENCLOSURE

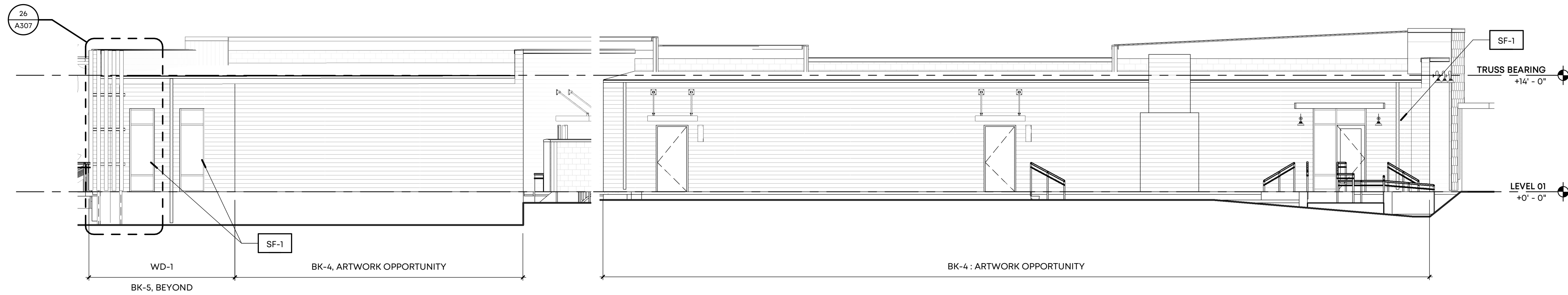
Drawn By: SWM

Checked By: VWB

A190

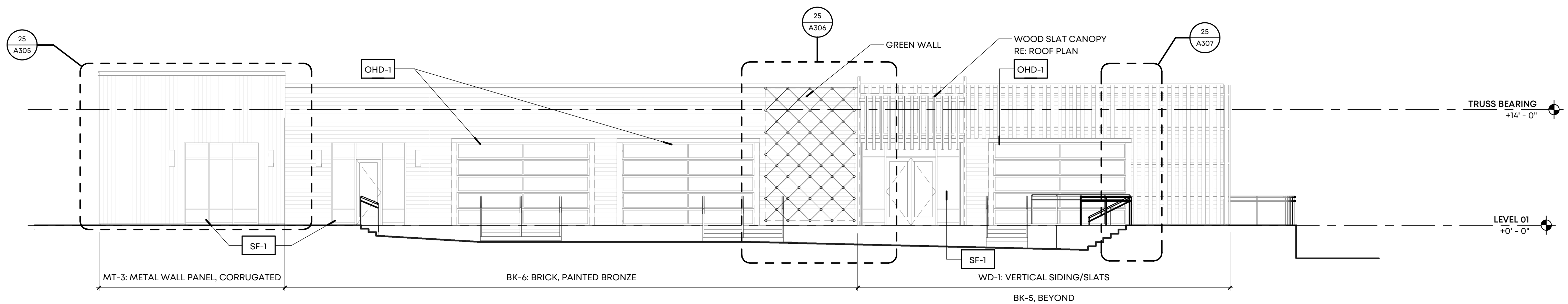


9 WEST ELEVATION
SCALE: 1/8" = 1'-0"

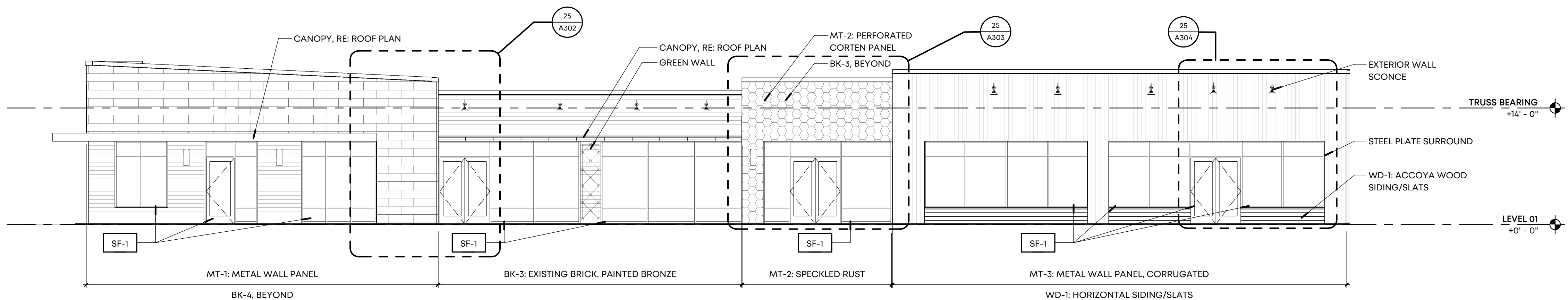


15 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

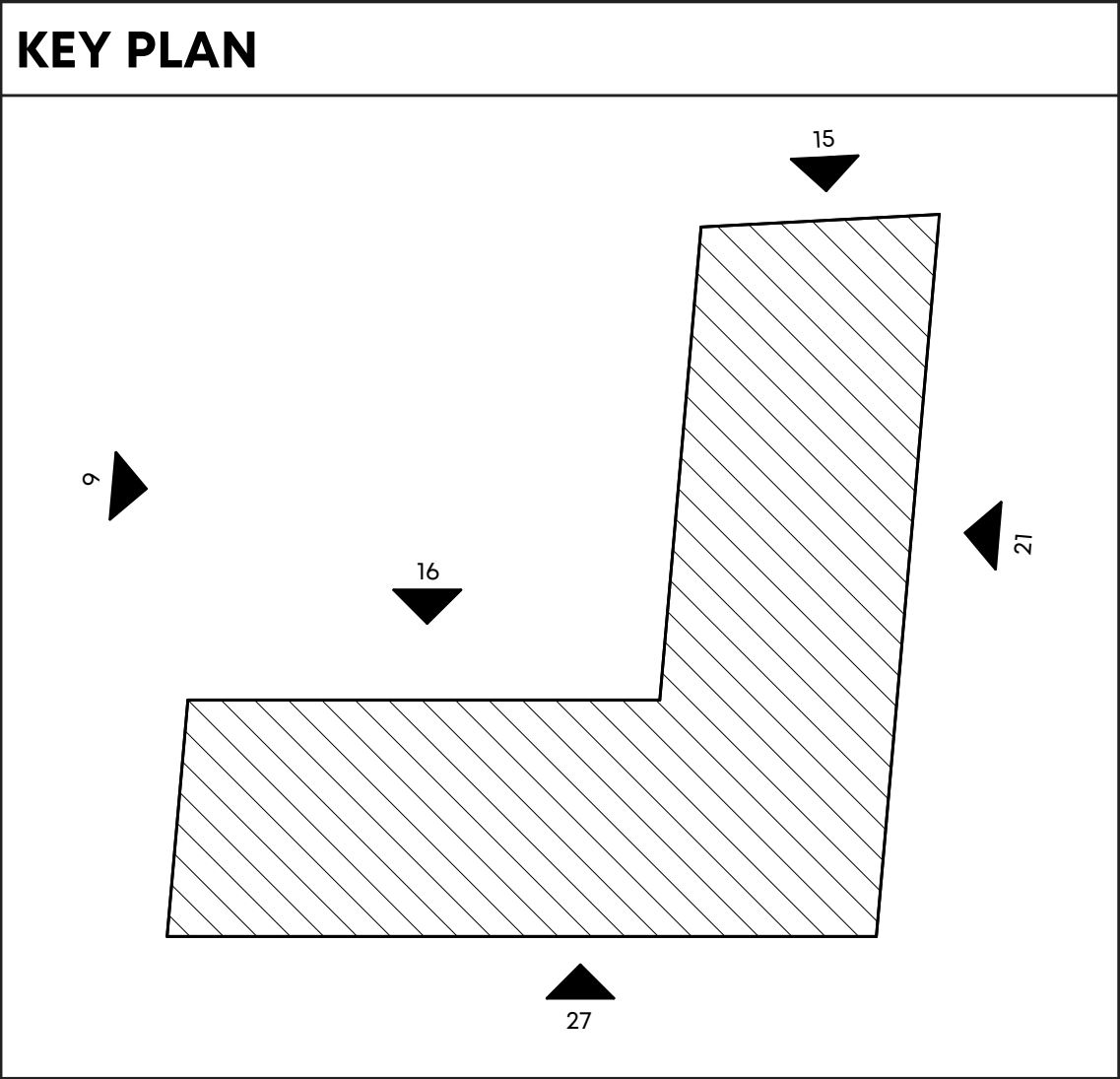
16 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



21 EAST ELEVATION
SCALE: 1/8" = 1'-0"



27 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



MATERIAL LEGEND			
SYMBOL	MATERIAL/FINISH	COLOR	STYLE
ROOF			
1/1	TPO ROOF	WHITE	
BRICK / PRECAST			
BK-1	SALVAGED BRICK	URBANE BRONZE SW 7048	
BK-2	SALVAGED BRICK	ALABASTER SW7008	
BK-3	EXISTING BRICK	URBANE BRONZE SW 7048	
BK-4	EXISTING BRICK	ALABASTER SW7008	
BK-5	BRICK	ALABASTER SW7008	
BK-6	BRICK	URBANE BRONZE SW 7048	
WOOD SIDING			
WD-1	ACCOYA WOOD SIDING/ SLATS	NATURAL WOOD	
METAL			
MT-1	VERSA-LOK SHINGLE WALL PANEL	CLASSIC STAINLESS STEEL	
MT-2	WESTERN STATES METAL ROOFING, PAINTED RUSTED ROOFING	SPECKLED RUST	THICKNESS: MIN. 12 GA.
MT-3	ALUMINUM CORRUGATED WALL PANELS	SILVER	SINEWAVE THICKNESS: MIN. 12 GA.
MT-4	STEEL FABRICATION	TO MATCH ADJACENT MATERIAL	
STOREFRONTS			
OHD-1	OVERHEAD ALUMINUM DOOR	BRONZE	
SF-1	ALUMINUM FRAMED STOREFRONT	BRONZE	KAWNEER 451T CENTER GLAZED
SF-2	ALUMINUM FRAMED ENTRANCE DOOR	BRONZE	KAWNEER 190 NARROW STILE

NOTE: METAL COPING AND FLASHING COLOR TO MATCH ADJACENT MATERIAL COLOR UNLESS NOTED OTHERWISE



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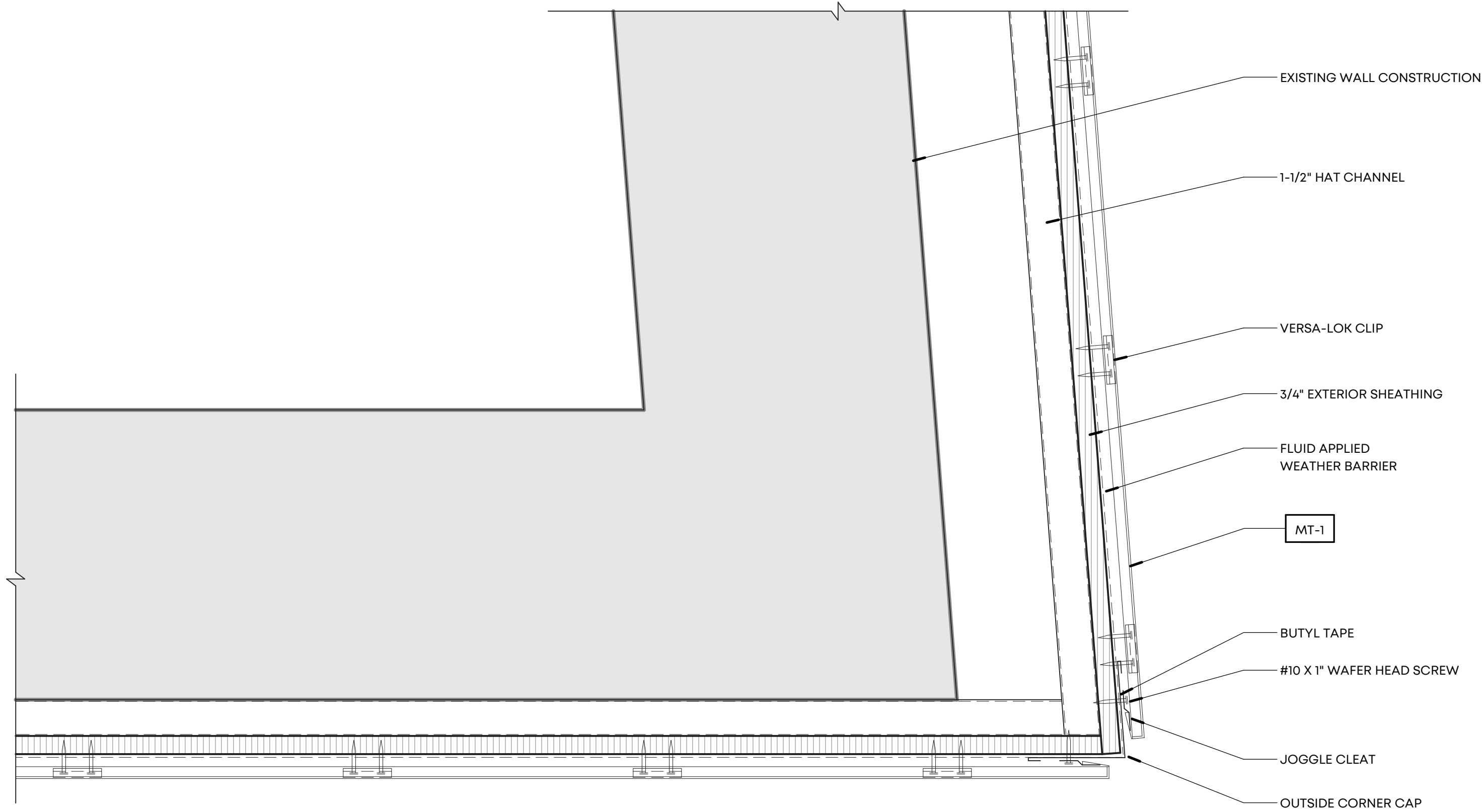
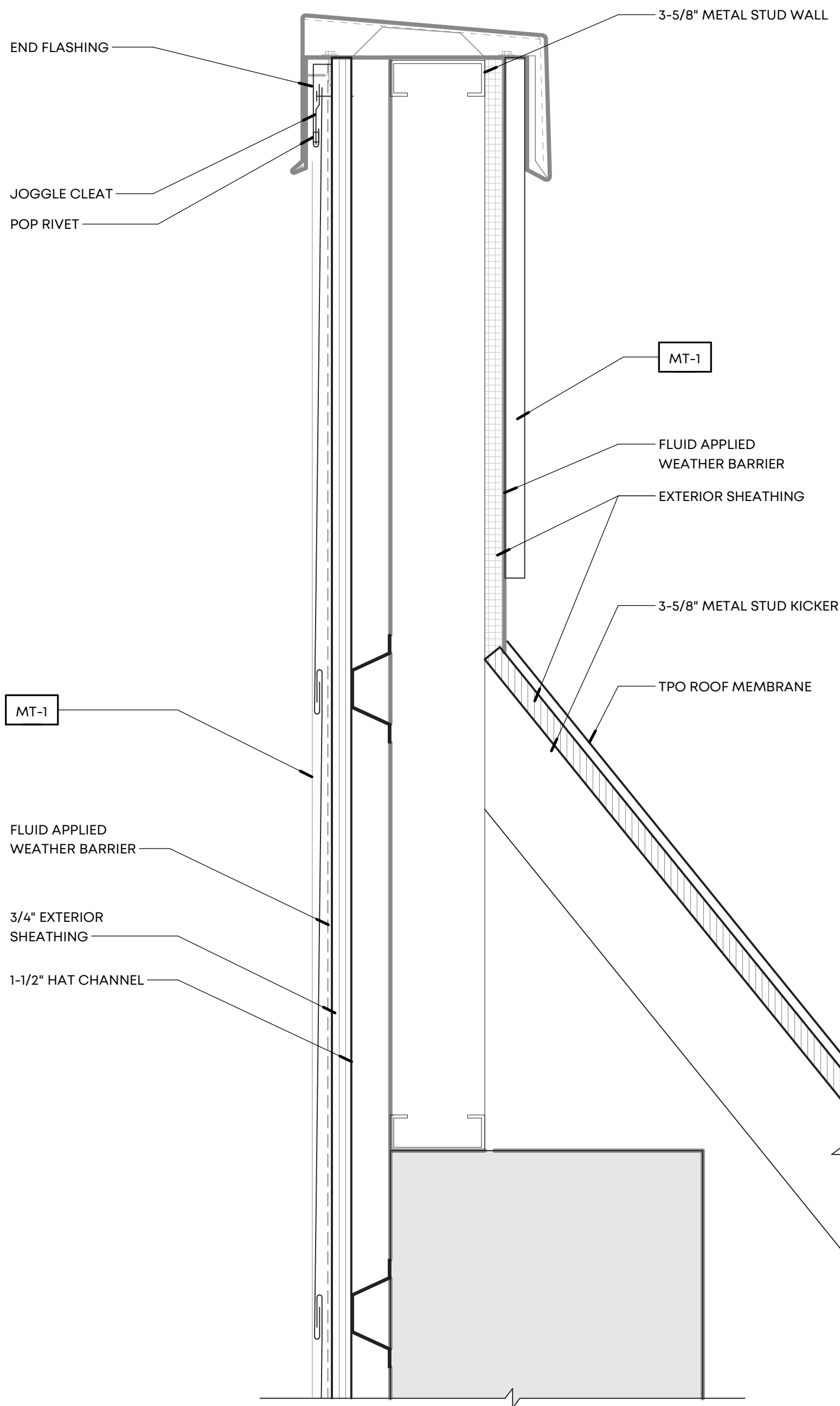
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Drawing Name:
BUILDING ELEVATIONS

Drawn By: RKH

Checked By: RCH

A201

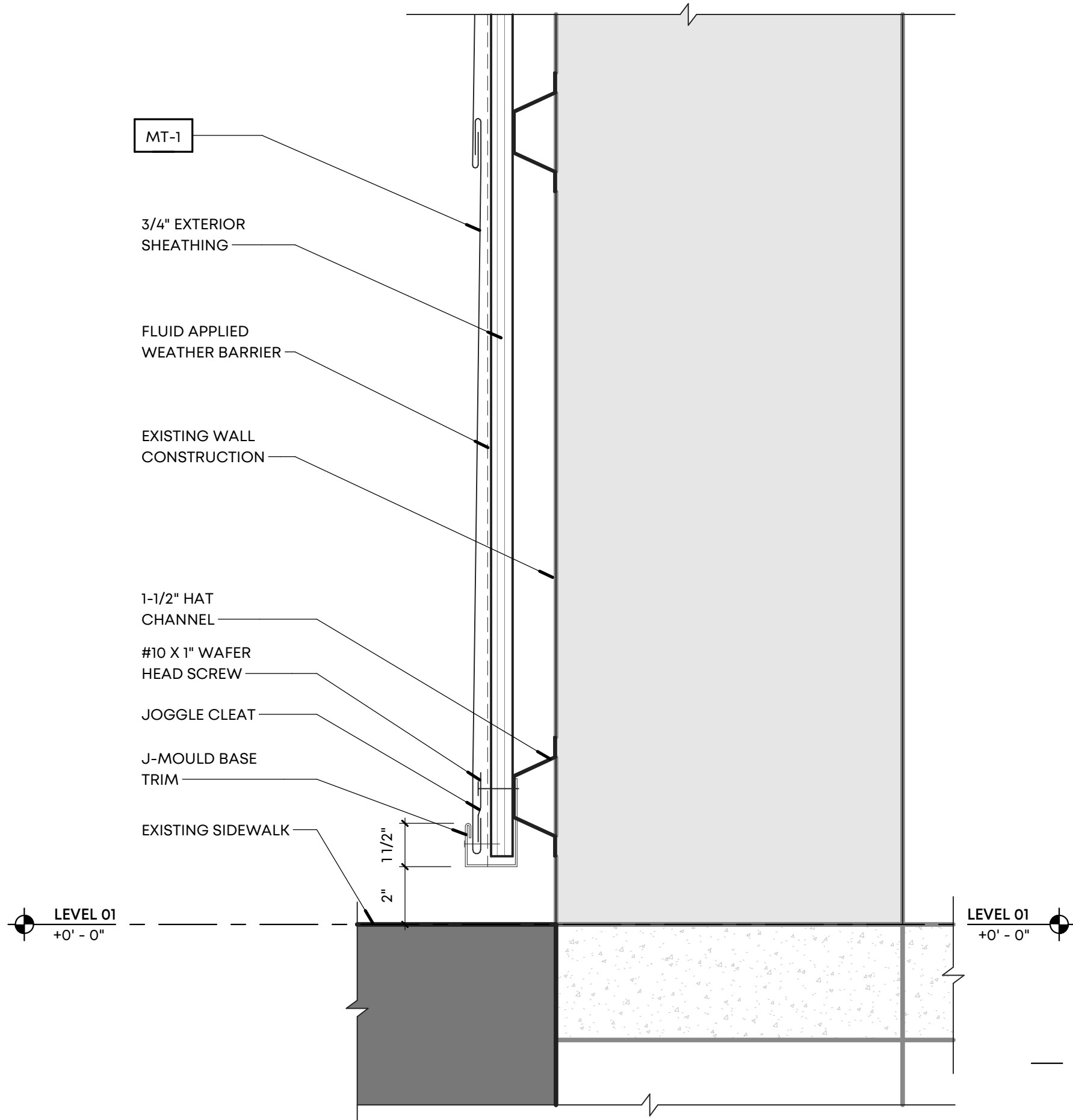


7 PLAN DETAIL - METAL WALL PANEL OUTSIDE CORNER
SCALE: 3" = 1'-0"

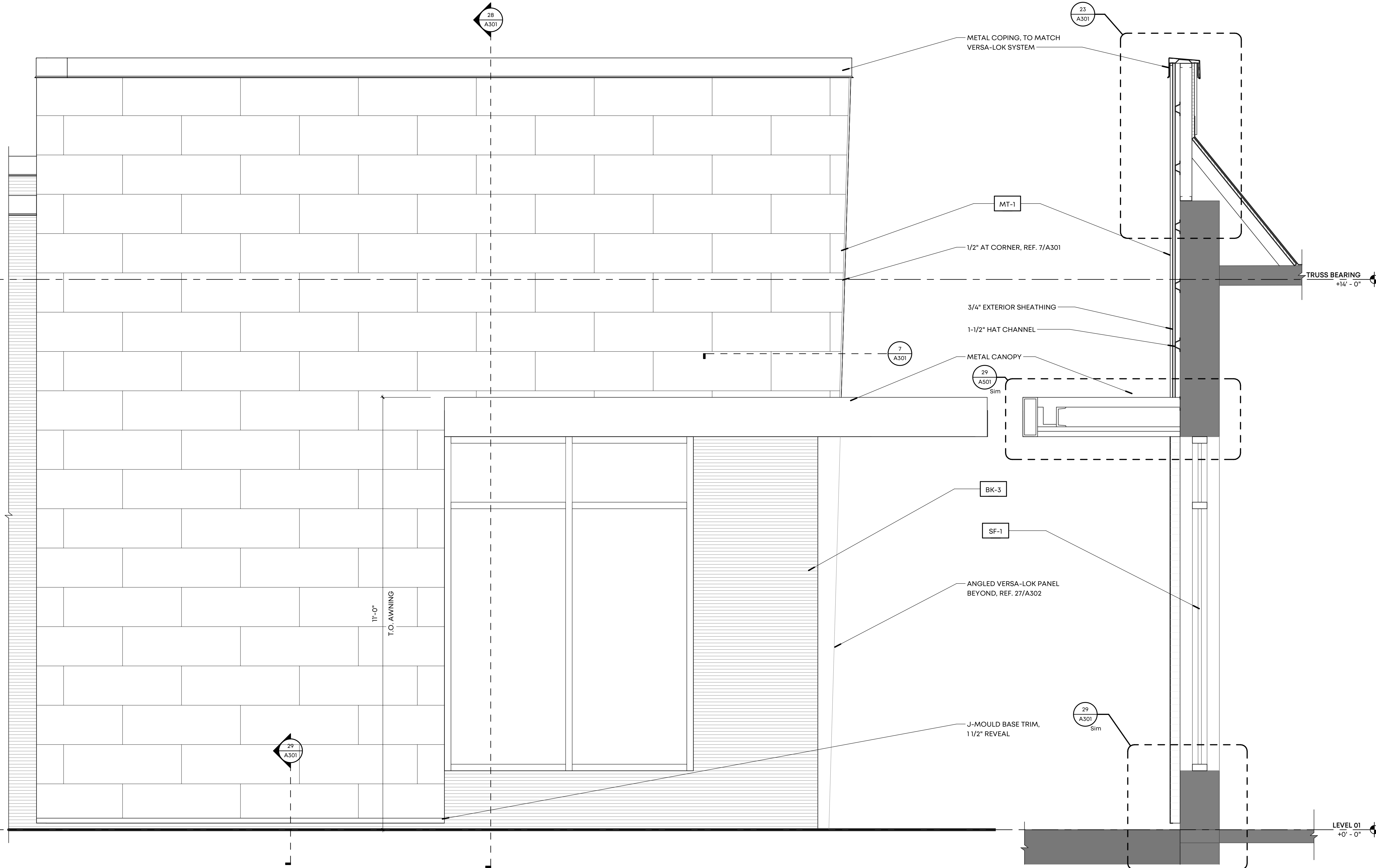
MATERIAL LEGEND			
SYMBOL	MATERIAL/FINISH	COLOR	STYLE
ROOF			
1-1	TPO ROOF	WHITE	
BRICK / PRECAST			
BK-1	SALVAGED BRICK	URBANE BRONZE SW 7048	
BK-2	SALVAGED BRICK	ALABASTER SW7008	
BK-3	EXISTING BRICK	URBANE BRONZE SW 7048	
BK-4	EXISTING BRICK	ALABASTER SW7008	
BK-5	BRICK	ALABASTER SW7008	
BK-6	BRICK	URBANE BRONZE SW 7048	
WOOD SIDING			
WD-1	ACCOYA WOOD SIDING/ SLATS	NATURAL WOOD	
METAL			
MT-1	VERSA-LOK SHINGLE WALL PANEL	CLASSIC STAINLESS STEEL	
MT-2	WESTERN STATES METAL ROOFING, PAINTED RUSTED ROOFING	SPECKLED RUST	THICKNESS: MIN. 12 GA.
MT-3	ALUMINUM CORRUGATED WALL PANELS	SILVER	SINEWAVE THICKNESS: MIN. 12 GA.
MT-4	STEEL FABRICATION	TO MATCH ADJACENT MATERIAL	
STOREFRONTS			
OHD-1	OVERHEAD ALUMINUM DOOR	BRONZE	KAWNEER 451T
SF-1	ALUMINUM FRAMED STOREFRONT	BRONZE	CENTER GLAZED
SF-2	ALUMINUM FRAMED ENTRANCE DOOR	BRONZE	KAWNEER 190 NARROW STILE

NOTE: METAL COPING AND FLASHING COLOR TO MATCH ADJACENT MATERIAL COLOR UNLESS NOTED OTHERWISE

23 ENLARGED DETAIL
SCALE: 3" = 1'-0"



29 ENLARGED DETAIL
SCALE: 3" = 1'-0"



25 ENLARGED ELEVATION
SCALE: 3/4" = 1'-0"

28 WALL SECTION
SCALE: 3/4" = 1'-0"



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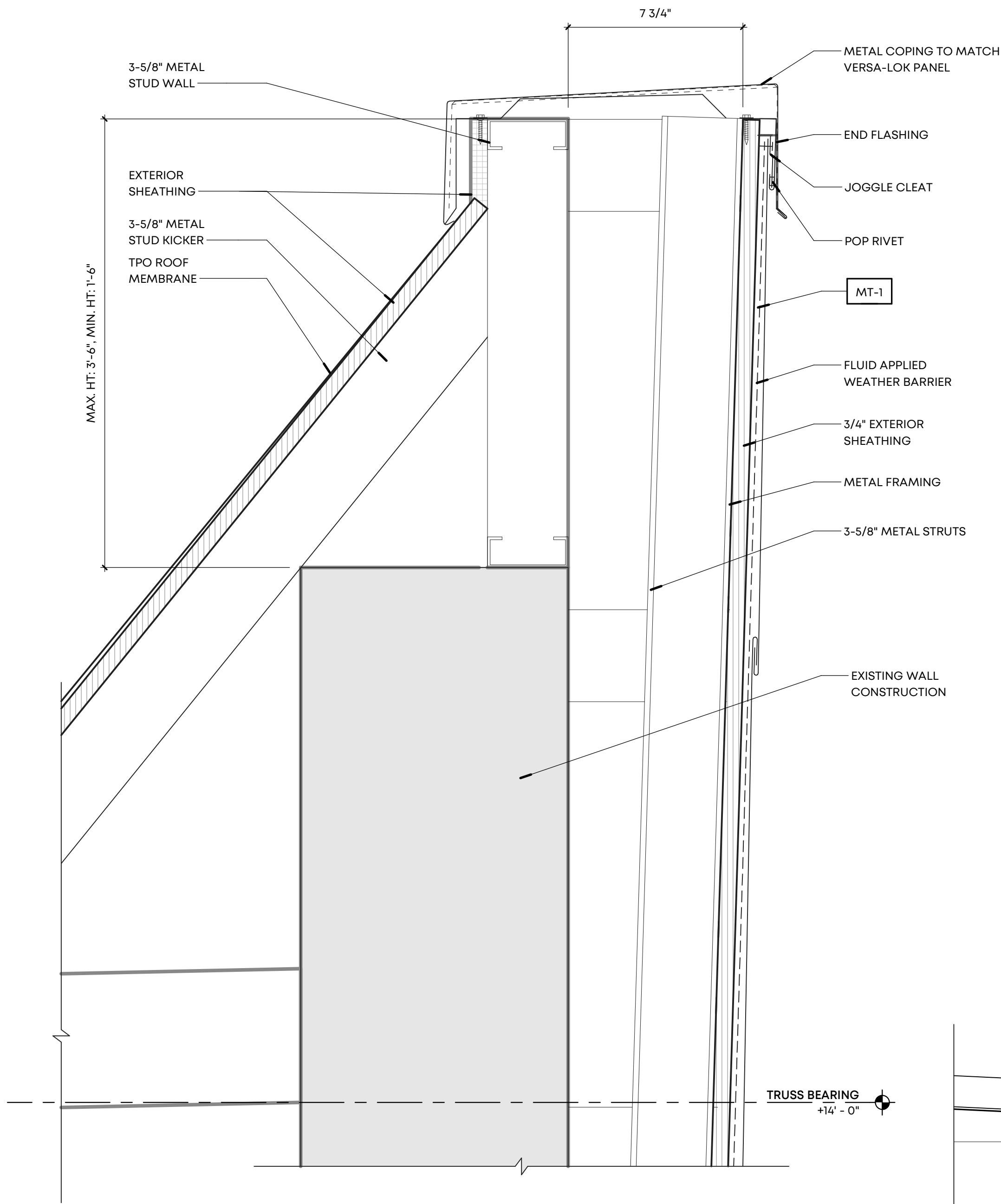
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Drawing Name:
ENLARGED ELEVATIONS

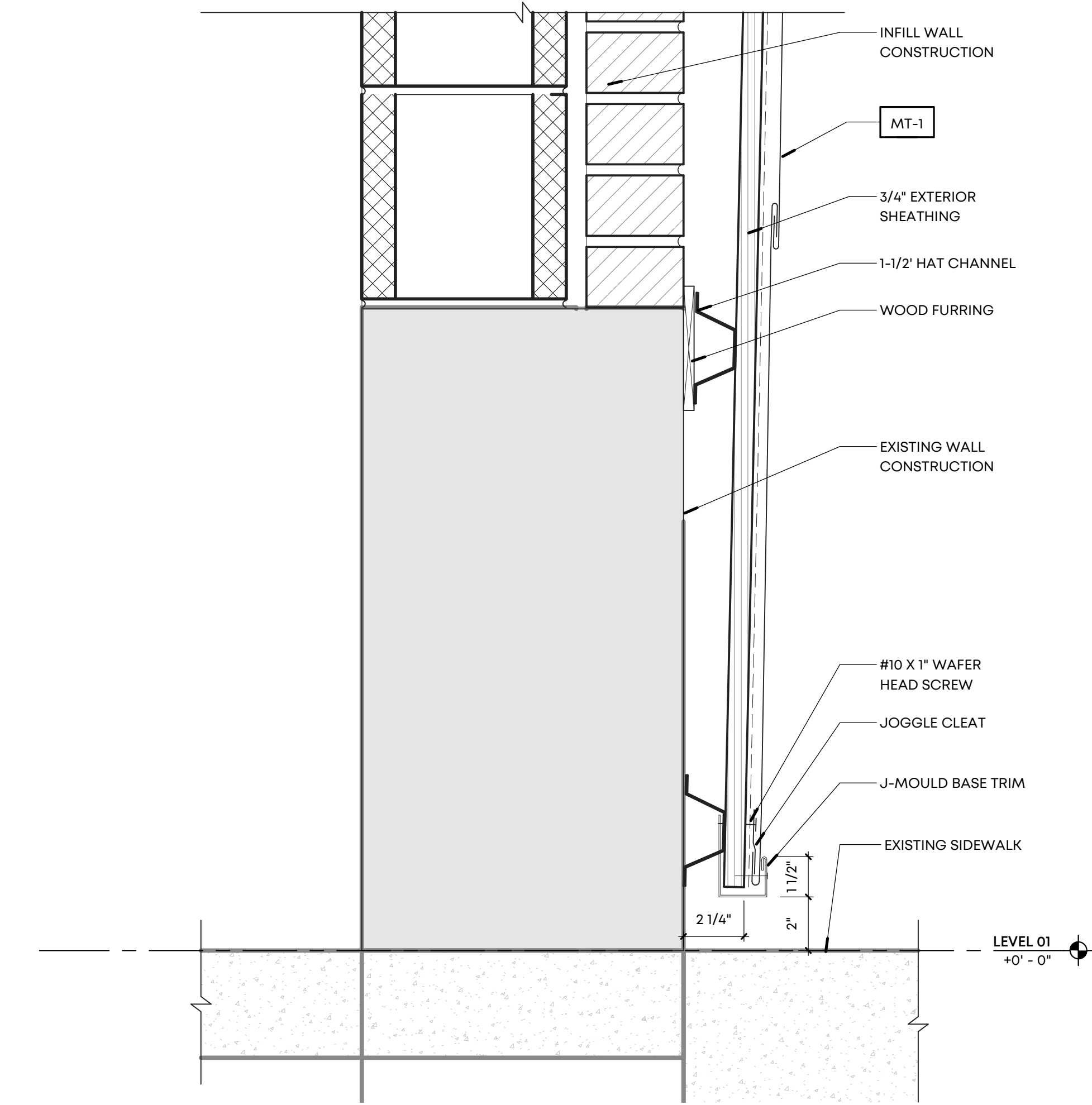
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Checked By: VWB

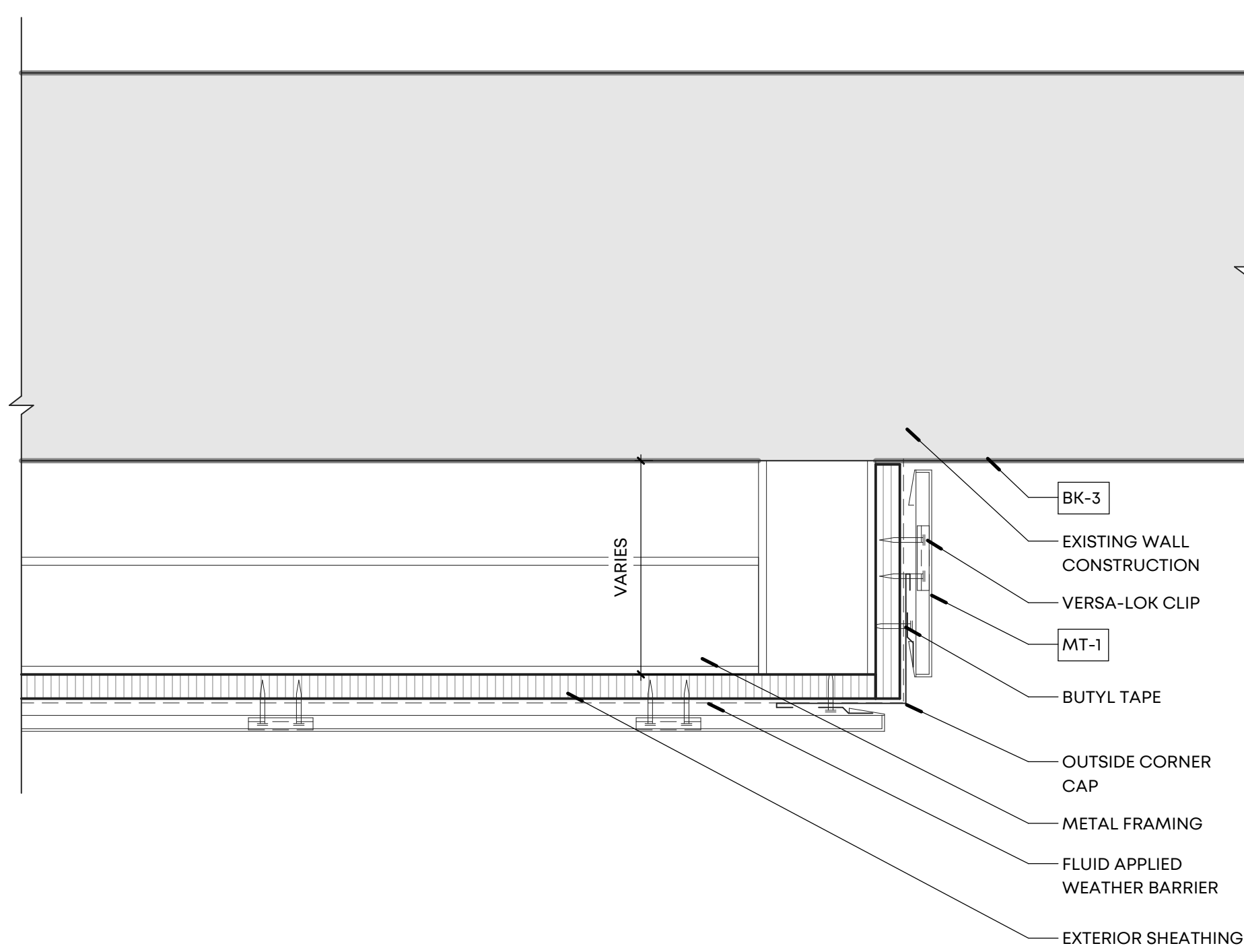
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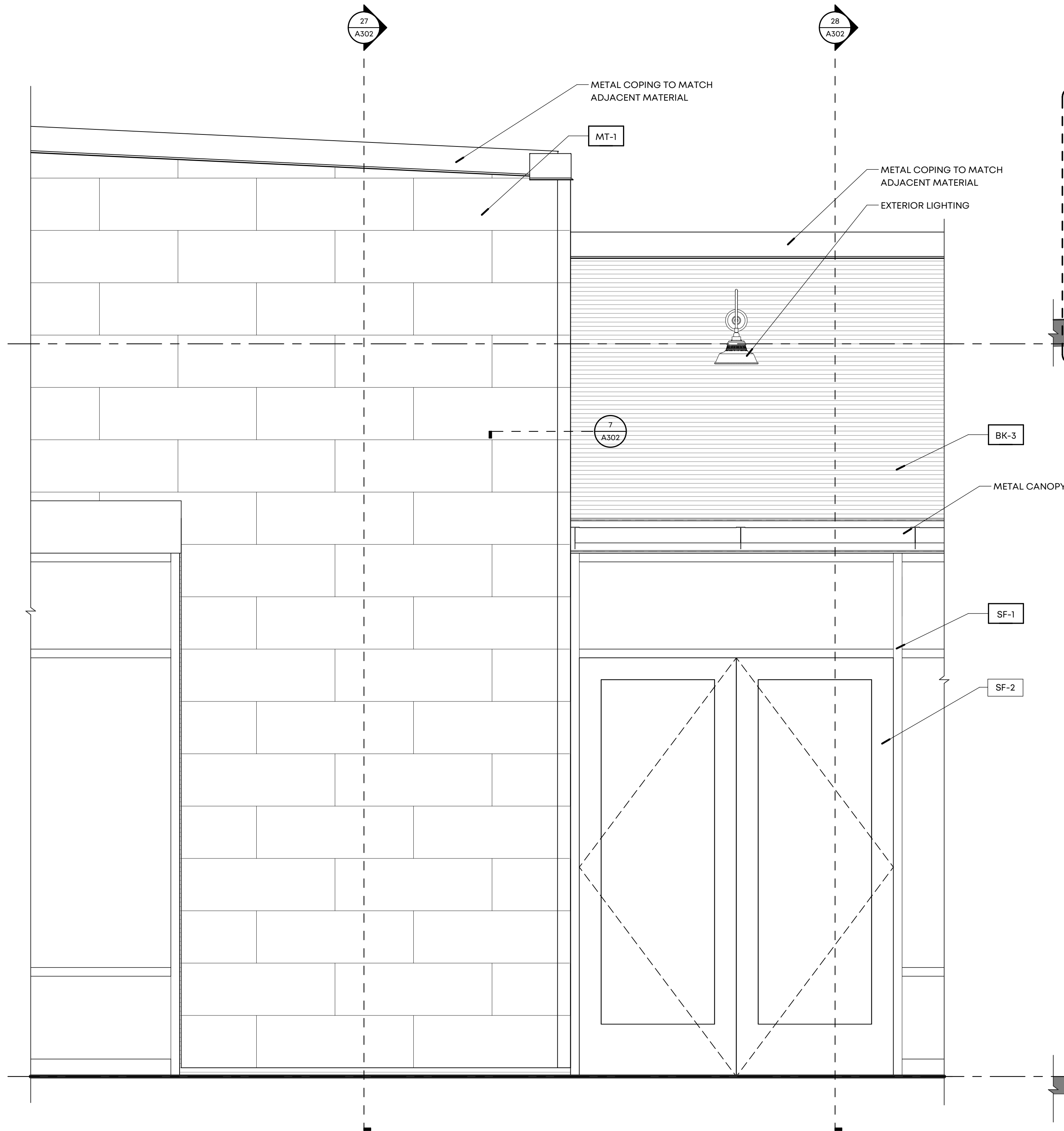
23 ENLARGED DETAIL
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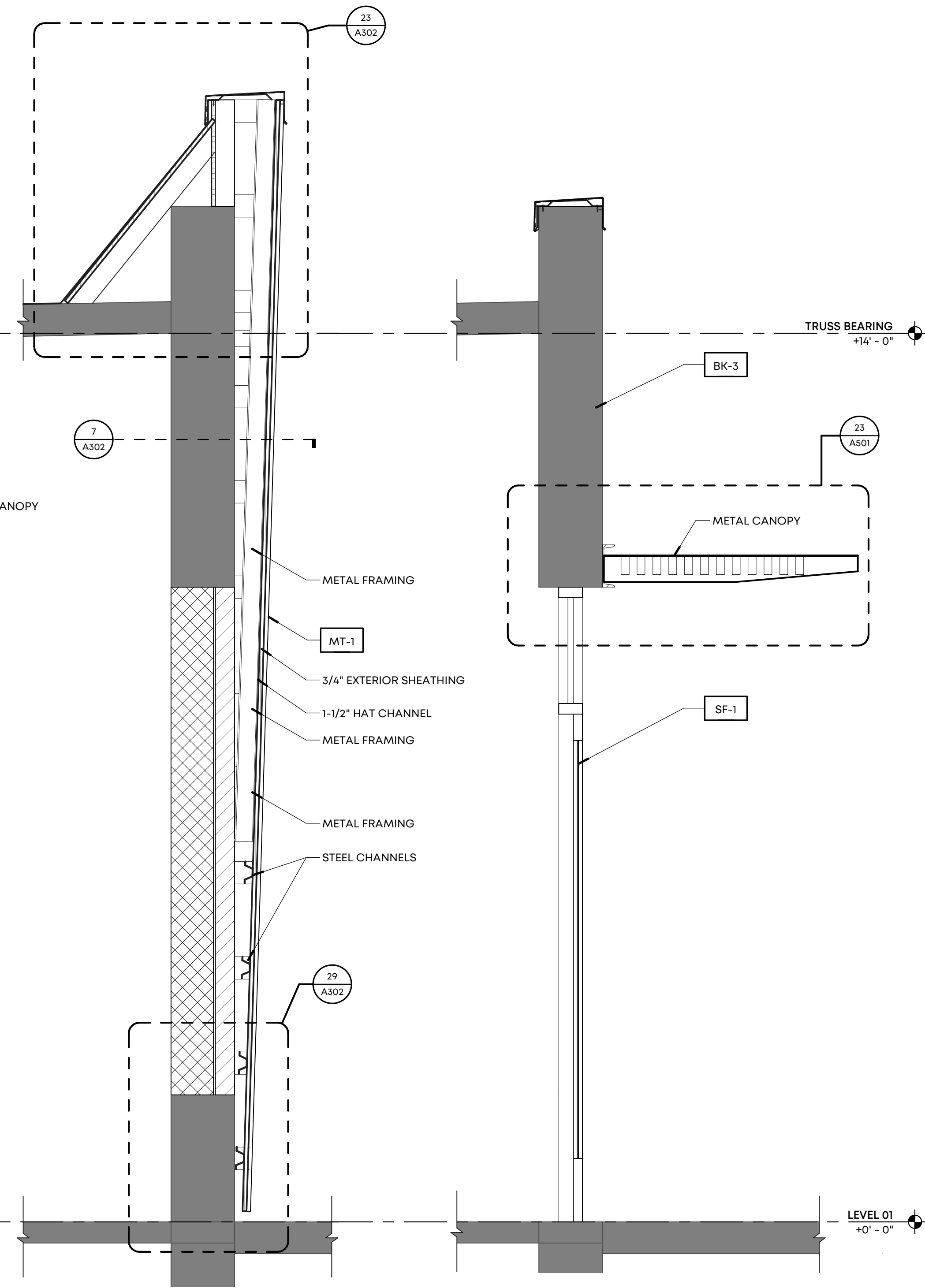
29 ENLARGED DETAIL
SCALE: 3" = 1'-0"



7 PLAN DETAIL - METAL WALL PANEL AT BRICK
SCALE: 3" = 1'-0"



25 ENLARGED ELEVATION
SCALE: 3/4" = 1'-0"



27 WALL SECTION
SCALE: 3/4" = 1'-0"

28 WALL SECTION
SCALE: 3/4" = 1'-0"

MATERIAL LEGEND			
SYMBOL	MATERIAL/FINISH	COLOR	STYLE
ROOF			
L1	TPO ROOF	WHITE	
BRICK / PRECAST			
BK-1	SALVAGED BRICK	URBANE BRONZE SW 7048	
BK-2	SALVAGED BRICK	ALABASTER SW7008	
BK-3	EXISTING BRICK	URBANE BRONZE SW 7048	
BK-4	EXISTING BRICK	ALABASTER SW7008	
BK-5	BRICK	ALABASTER SW7008	
BK-6	BRICK	URBANE BRONZE SW 7048	
WOOD SIDING			
WD-1	ACCOYA WOOD SIDING/ SLATS	NATURAL WOOD	
METAL			
MT-1	VERSA-LOK SHINGLE WALL PANEL	CLASSIC STAINLESS STEEL	
MT-2	WESTERN STATES METAL ROOFING, PAINTED RUSTED ROOFING	SPECKLED RUST	THICKNESS: MIN. 12 GA.
MT-3	ALUMINUM CORRUGATED WALL PANELS	SILVER	SINEWAVE THICKNESS: MIN. 12 GA.
MT-4	STEEL FABRICATION	TO MATCH ADJACENT MATERIAL	
STOREFRONTS			
OHD-1	OVERHEAD ALUMINUM DOOR	BRONZE	
SF-1	ALUMINUM FRAMED STOREFRONT	BRONZE	KAWNEER 45IT CENTER GLAZED
SF-2	ALUMINUM FRAMED ENTRANCE DOOR	BRONZE	KAWNEER 190 NARROW STILE

NOTE: METAL COPING AND FLASHING COLOR TO MATCH ADJACENT MATERIAL COLOR UNLESS NOTED OTHERWISE



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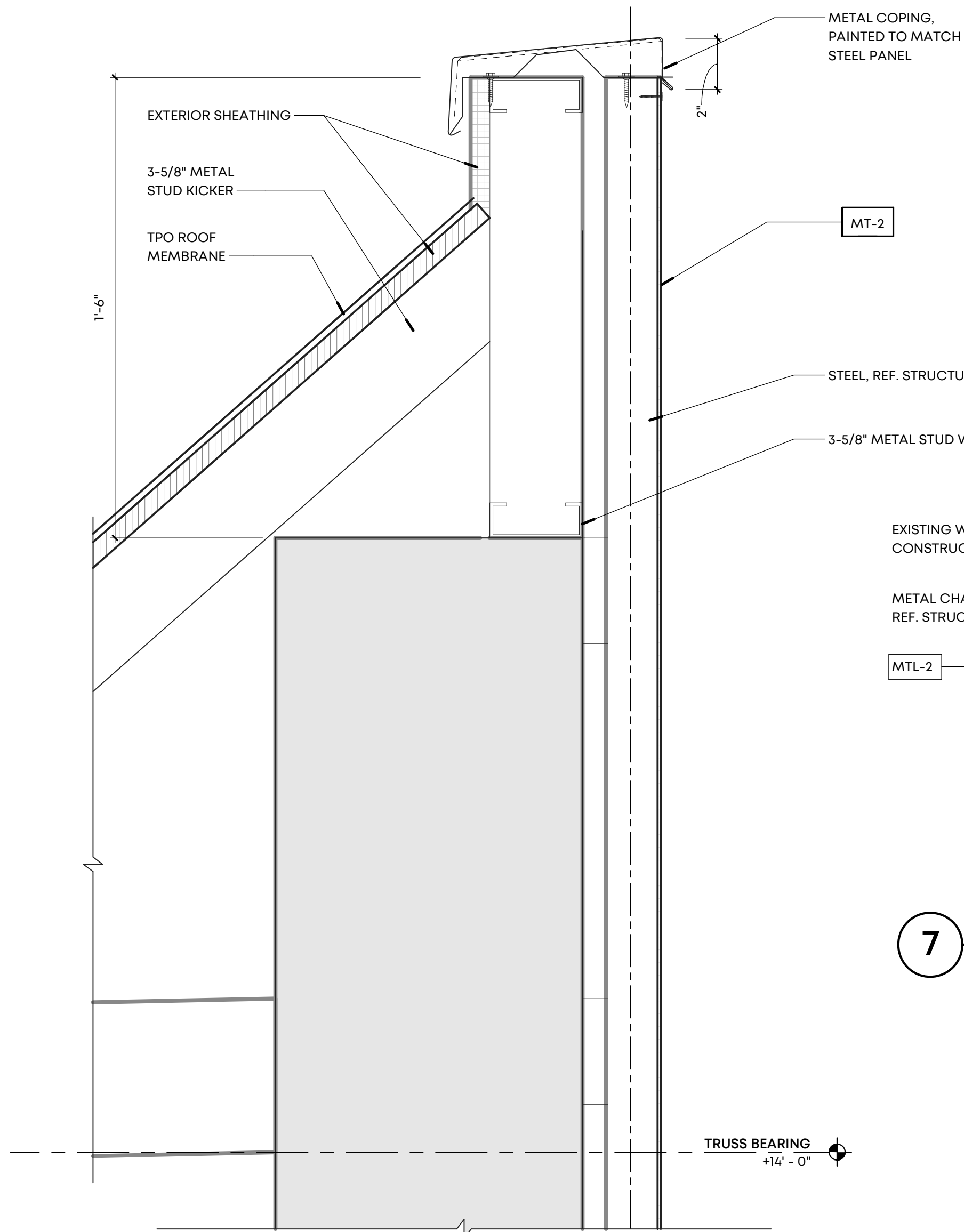
Drawing Name:

ENLARGED ELEVATIONS

Drawn By: RKH, SWM

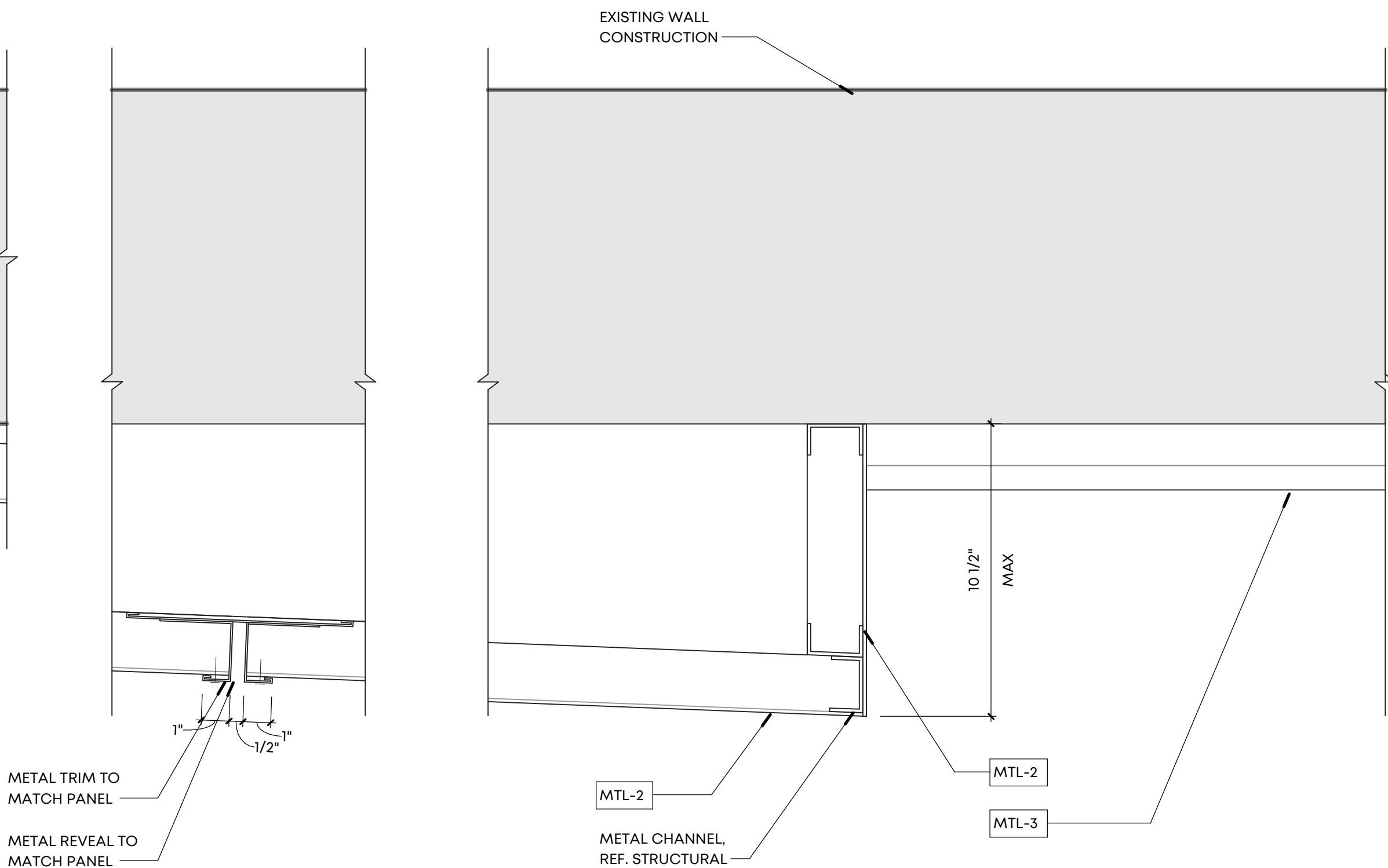
Checked By: VWB

A302



7 PLAN DETAIL - CORTEN AT BRICK

SCALE: 3" = 1'-0"



8 PLAN DETAIL - CORTEN AT CORRUGATED METAL

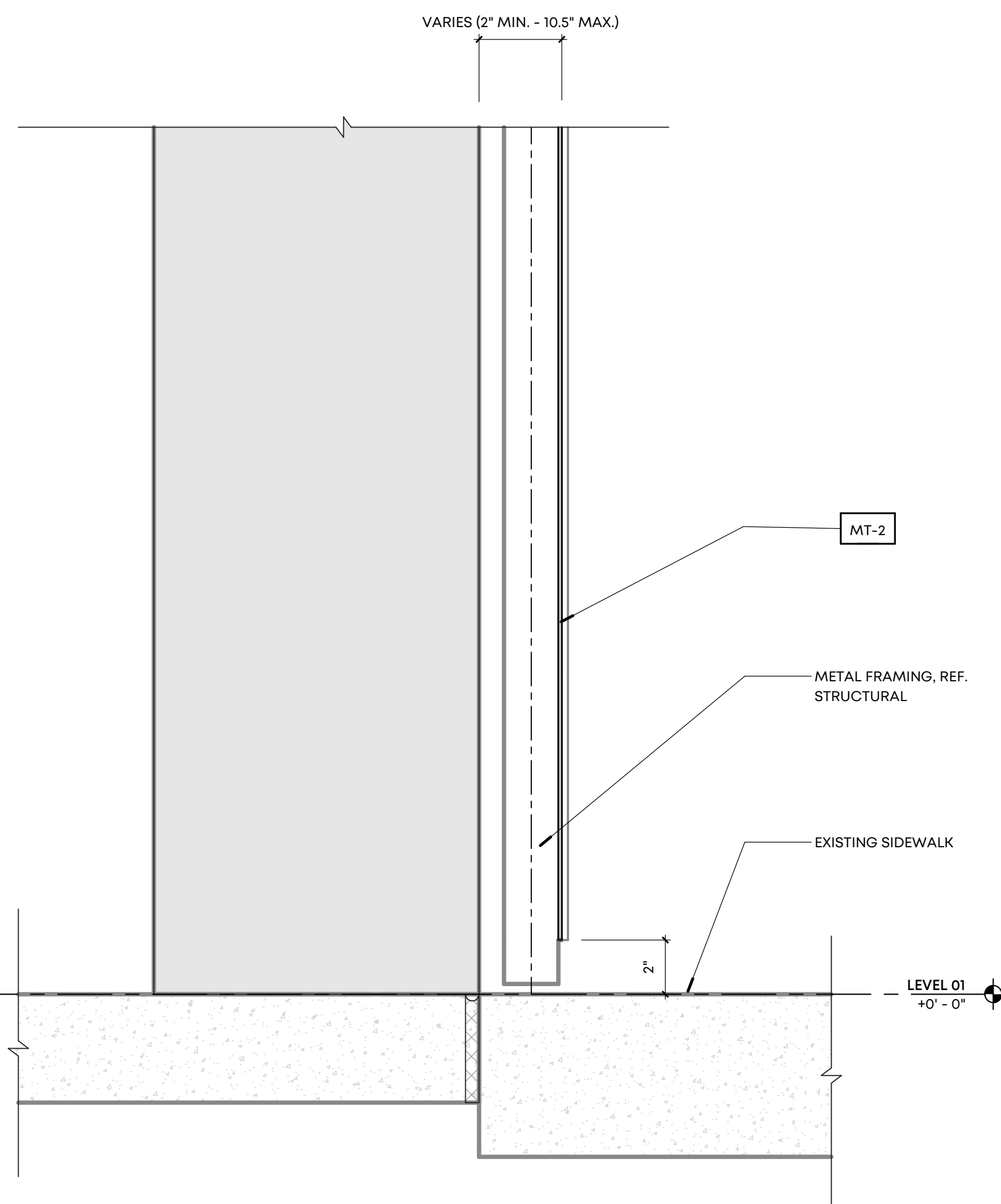
SCALE: 3" = 1'-0"

MATERIAL LEGEND			
SYMBOL	MATERIAL/FINISH	COLOR	STYLE
ROOF			
L1	TPO ROOF	WHITE	
BRICK / PRECAST			
BK-1	SALVAGED BRICK	URBANE BRONZE SW 7048	
BK-2	SALVAGED BRICK	ALABASTER SW7008	
BK-3	EXISTING BRICK	URBANE BRONZE SW 7048	
BK-4	EXISTING BRICK	ALABASTER SW7008	
BK-5	BRICK	ALABASTER SW7008	
BK-6	BRICK	URBANE BRONZE SW 7048	
WOOD SIDING			
WD-1	ACCOYA WOOD SIDING/ SLATS	NATURAL WOOD	
METAL			
MT-1	VERSA-LOK SHINGLE WALL PANEL	CLASSIC STAINLESS STEEL	
MT-2	WESTERN STATES METAL ROOFING, PAINTED RUSTED ROOFING	SPECKLED RUST	THICKNESS: MIN. 12 GA.
MT-3	ALUMINUM CORRUGATED WALL PANELS	SILVER	SINEWAVE THICKNESS: MIN. 12 GA.
MT-4	STEEL FABRICATION	TO MATCH ADJACENT MATERIAL	
STOREFRONTS			
OHD-1	OVERHEAD ALUMINUM DOOR	BRONZE	
SF-1	ALUMINUM FRAMED STOREFRONT	BRONZE	KAWNEER 451T CENTER GLAZED
SF-2	ALUMINUM FRAMED ENTRANCE DOOR	BRONZE	KAWNEER 190 NARROW STILE

NOTE: METAL COPING AND FLASHING COLOR TO MATCH ADJACENT MATERIAL COLOR UNLESS NOTED OTHERWISE

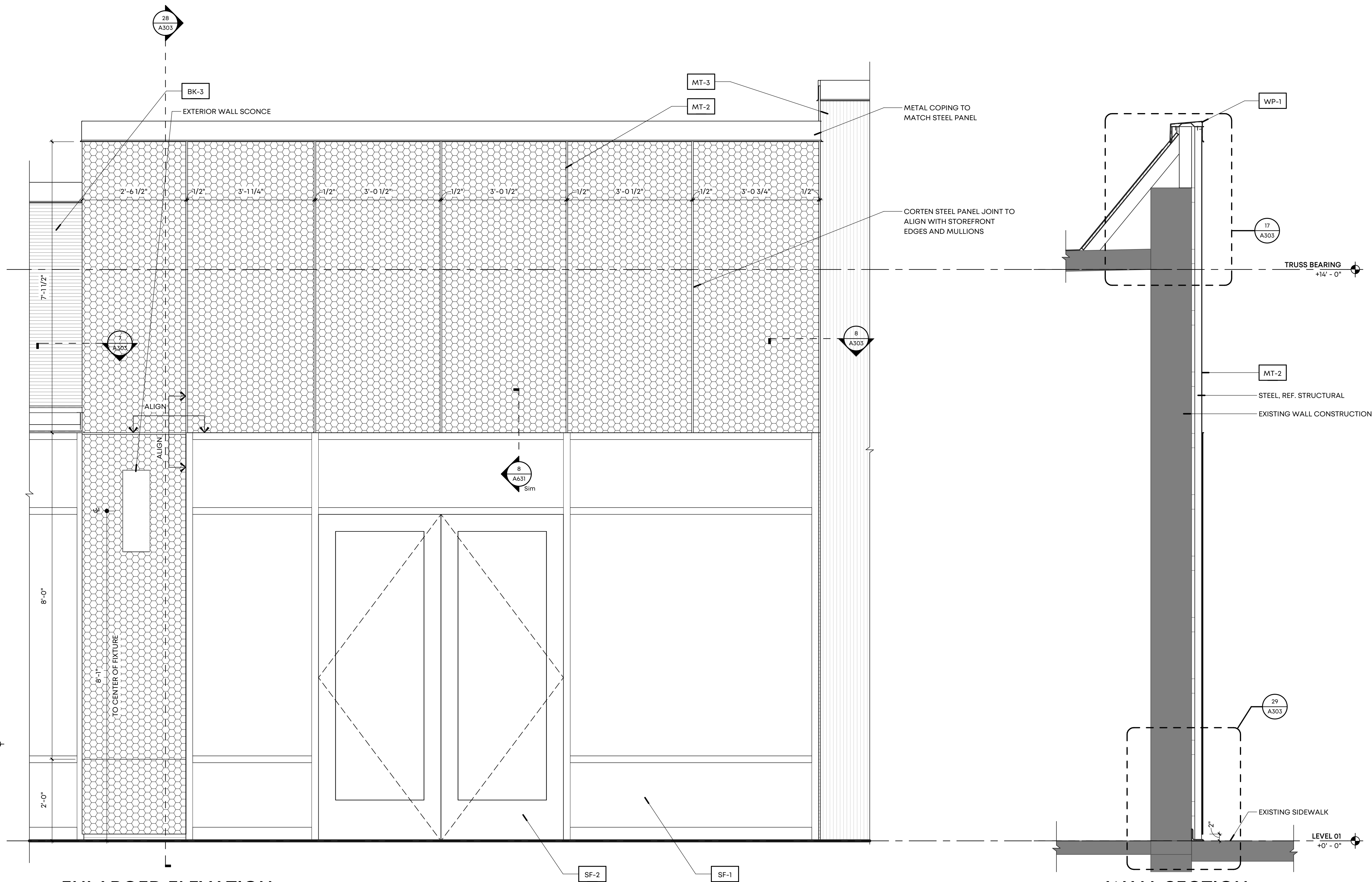
17 ENLARGED DETAIL

SCALE: 3" = 1'-0"



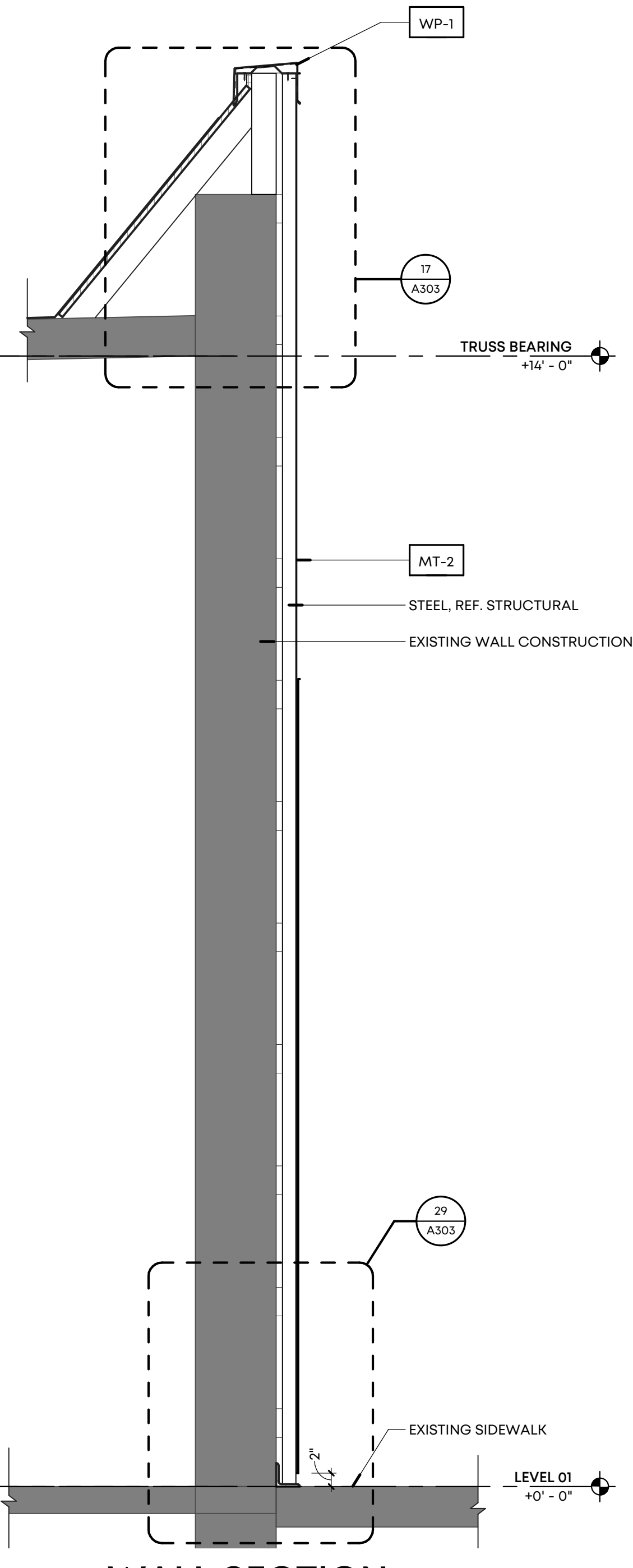
29 ENLARGED DETAIL

SCALE: 3" = 1'-0"



25 ENLARGED ELEVATION

SCALE: 3/4" = 1'-0"



28 WALL SECTION

SCALE: 3/4" = 1'-0"



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901.521.1440

Client:
Henry Turley
COMPANY

65 Union Avenue, 12th Floor
Memphis, TN 38103

Issues and Revisions

Date	Issued / Revised
2 06.09.21	25% Construction Progress Set
3 08.06.21	Permit Set

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Seal

LRK Project Number: 01.19036.00

Project Name:
Orleans Station Retail

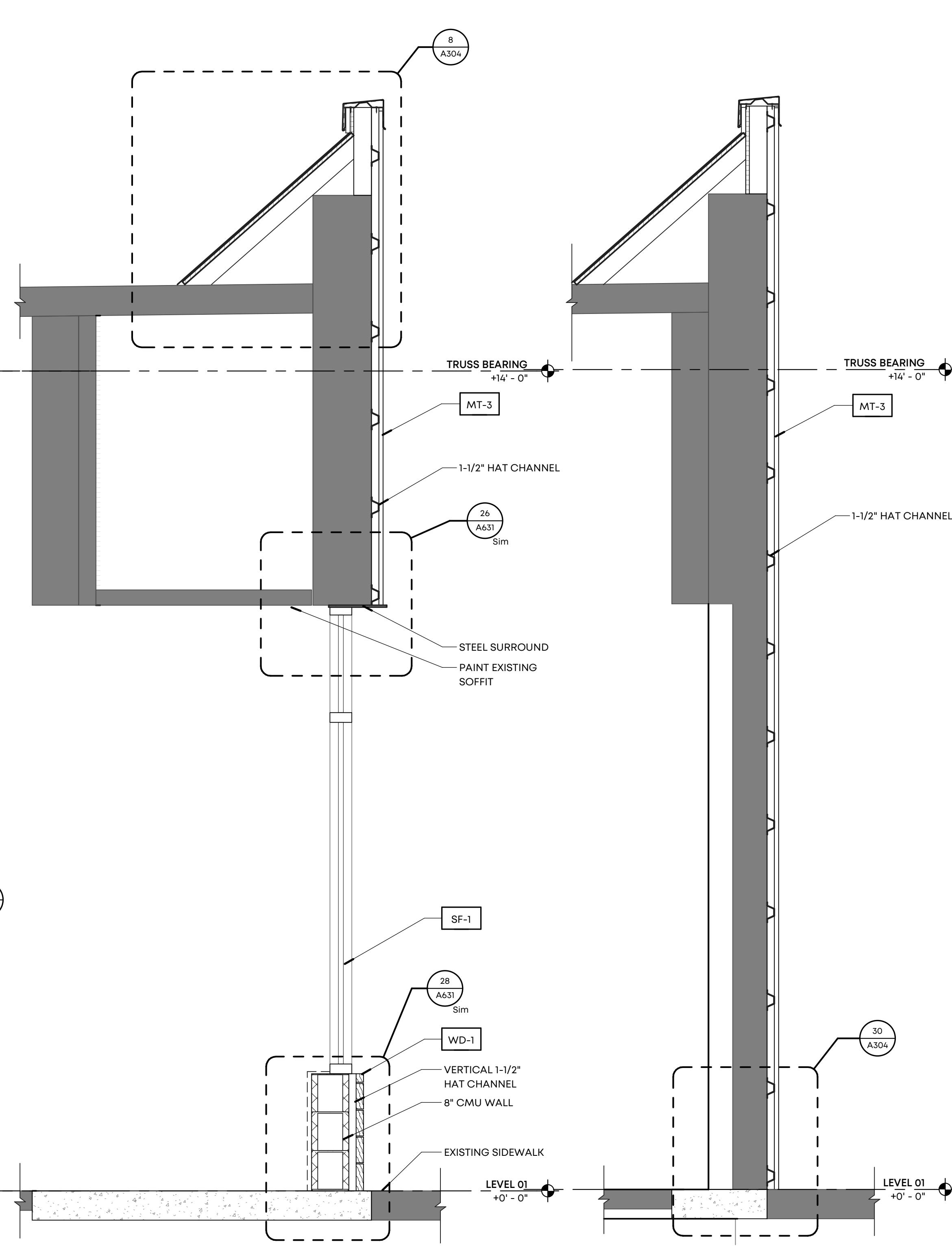
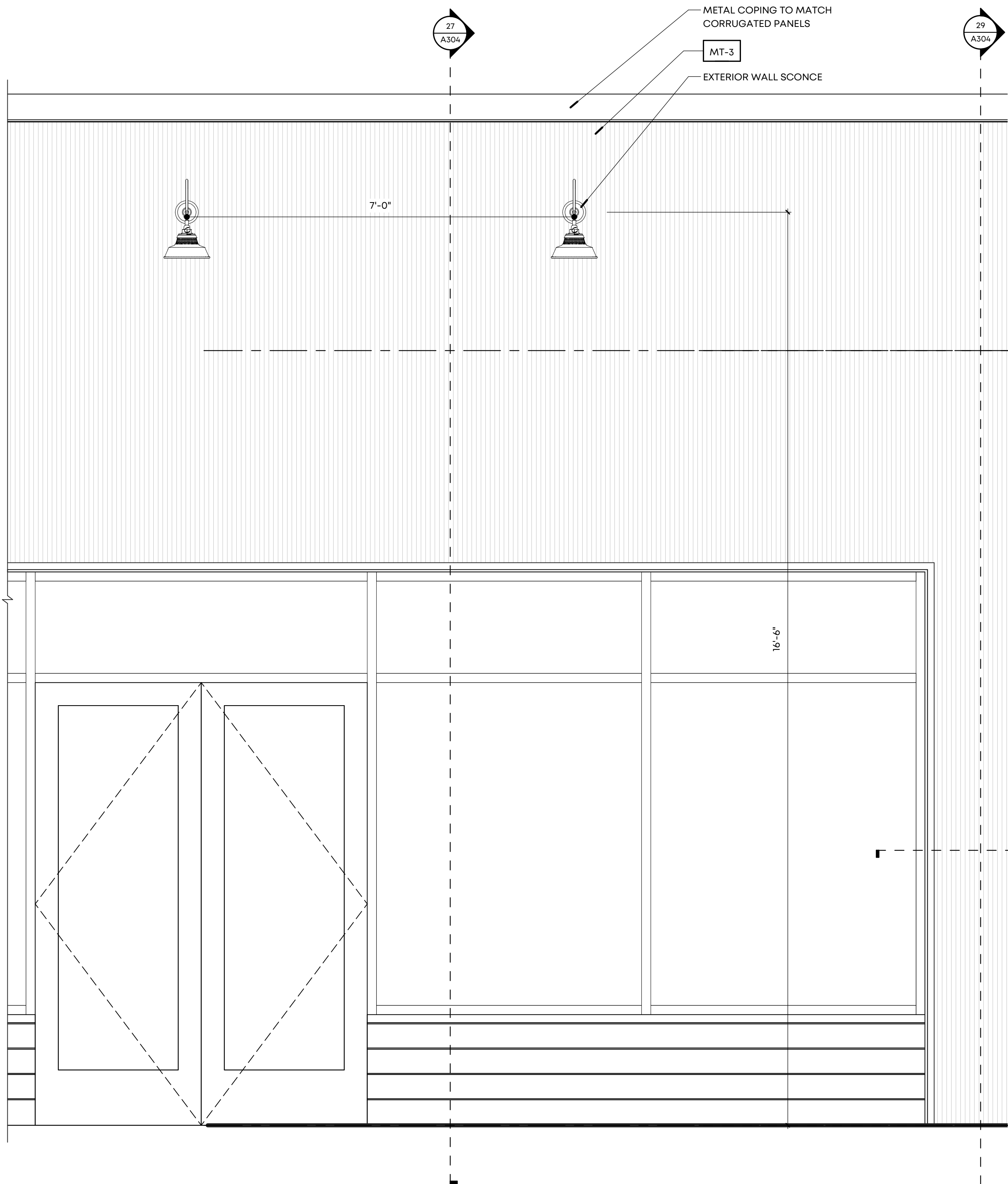
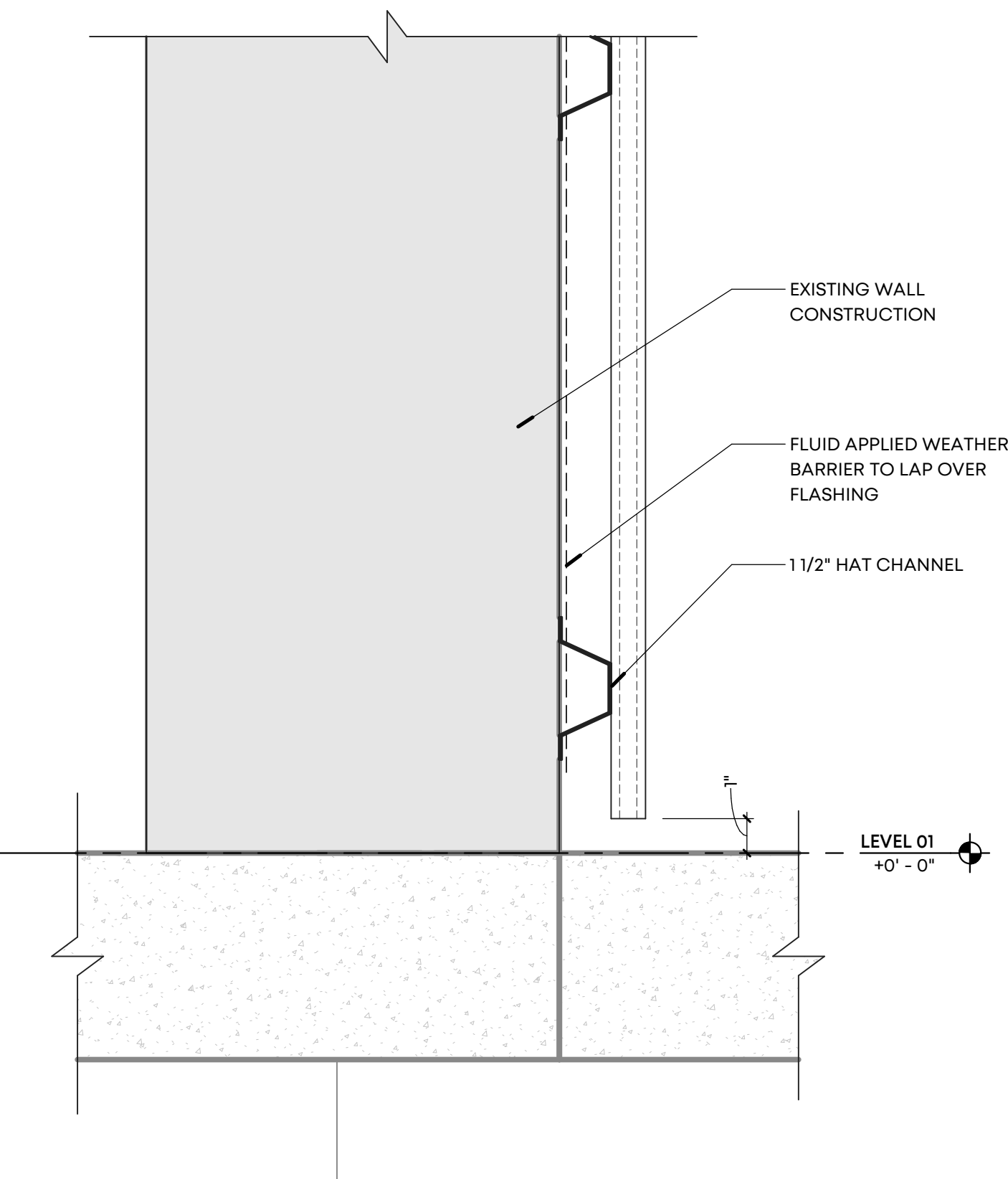
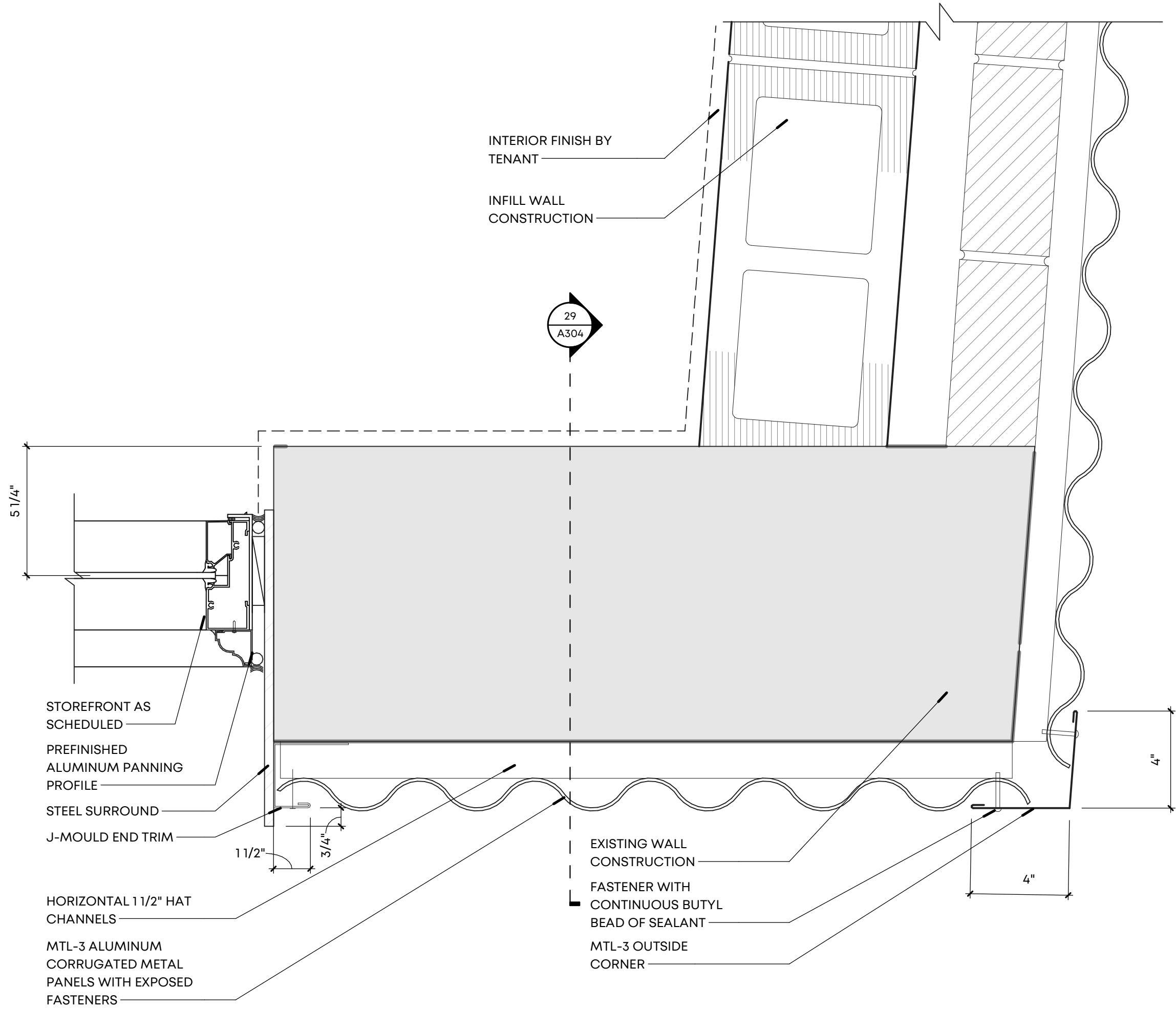
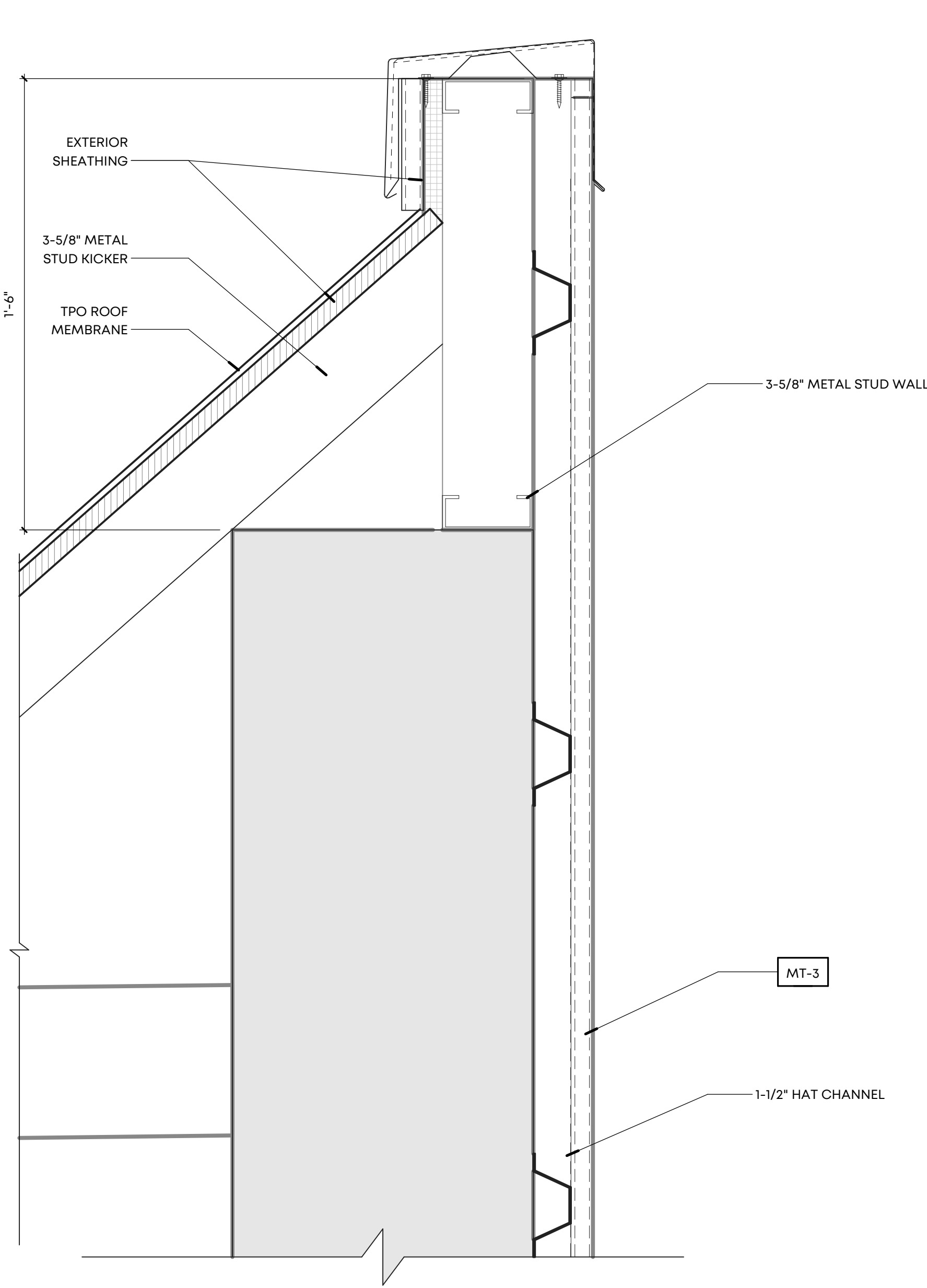
704 Madison Avenue
Memphis, TN 38103

Drawing Name:
ENLARGED ELEVATIONS

Drawn By: RKH, SWM

Checked By: VWB

A303



MATERIAL LEGEND			
SYMBOL	MATERIAL/FINISH	COLOR	STYLE
ROOF			
1-1	TPO ROOF	WHITE	
BRICK / PRECAST			
BK-1	SALVAGED BRICK	URBANE BRONZE SW 7048	
BK-2	SALVAGED BRICK	ALABASTER SW7008	
BK-3	EXISTING BRICK	URBANE BRONZE SW 7048	
BK-4	EXISTING BRICK	ALABASTER SW7008	
BK-5	BRICK	ALABASTER SW7008	
BK-6	BRICK	URBANE BRONZE SW 7048	
WOOD SIDING			
WD-1	ACCOYA WOOD SIDING/ SLATS	NATURAL WOOD	
METAL			
MT-1	VERSA-LOK SHINGLE WALL PANEL	CLASSIC STAINLESS STEEL	
MT-2	WESTERN STATES METAL ROOFING, PAINTED RUSTED ROOFING	SPECKLED RUST	THICKNESS: MIN. 12 GA.
MT-3	ALUMINUM CORRUGATED WALL PANELS	SILVER	SINEWAVE THICKNESS: MIN. 12 GA.
MT-4	STEEL FABRICATION	TO MATCH ADJACENT MATERIAL	
STOREFRONTS			
OHD-1	OVERHEAD ALUMINUM DOOR	BRONZE	
SF-1	ALUMINUM FRAMED STOREFRONT	BRONZE	KAWNEER 651T CENTER GLAZED
SF-2	ALUMINUM FRAMED ENTRANCE DOOR	BRONZE	KAWNEER 190 NARROW STILE

NOTE: METAL COPING AND FLASHING COLOR TO MATCH ADJACENT MATERIAL COLOR UNLESS NOTED OTHERWISE



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Seal

LRK Project Number: 01.19036.00

Project Name:
Orleans Station Retail

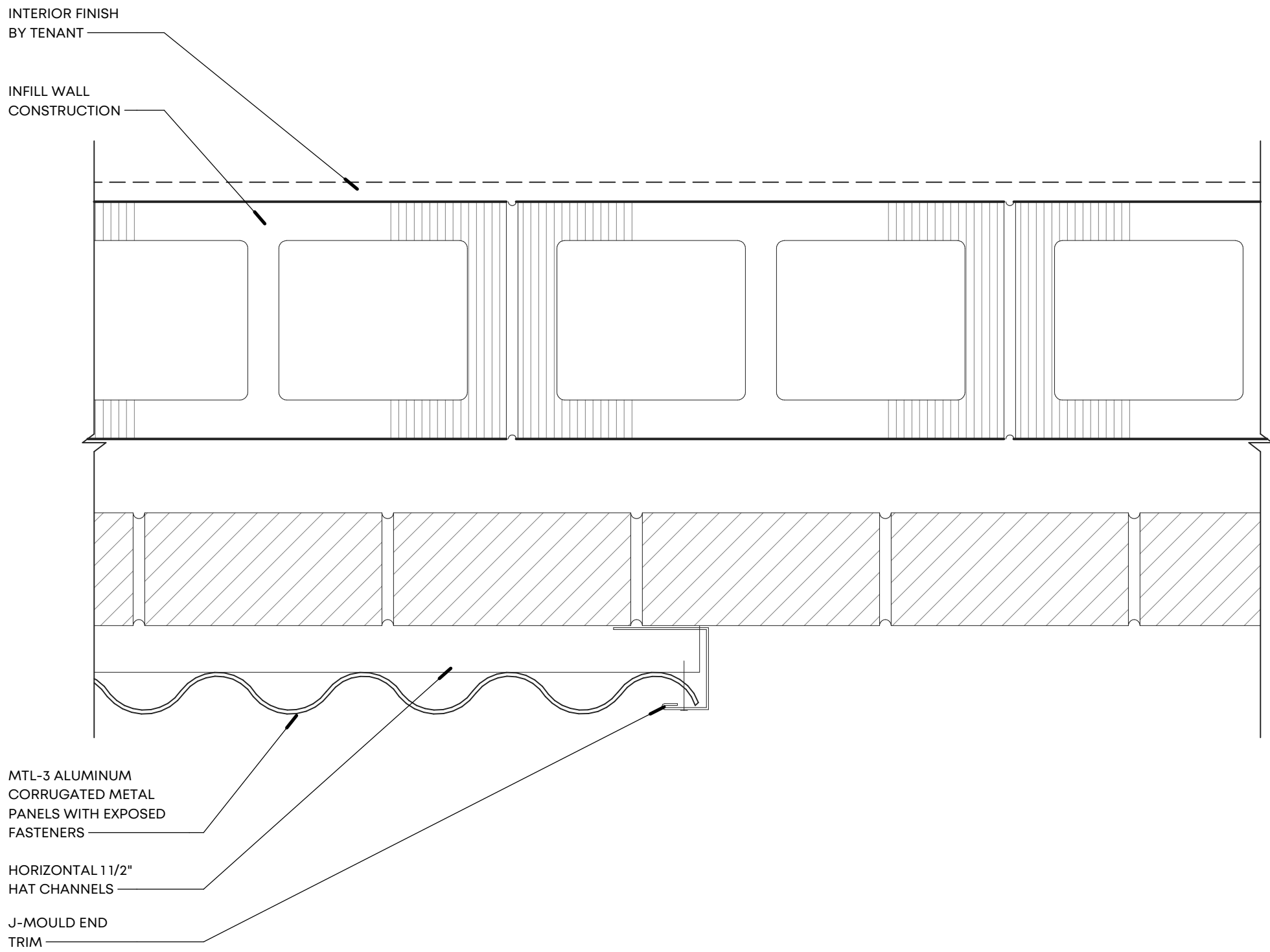
704 Madison Avenue
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Drawing Name:
ENLARGED ELEVATIONS

Drawn By: RKH, SWM

Checked By: VWB

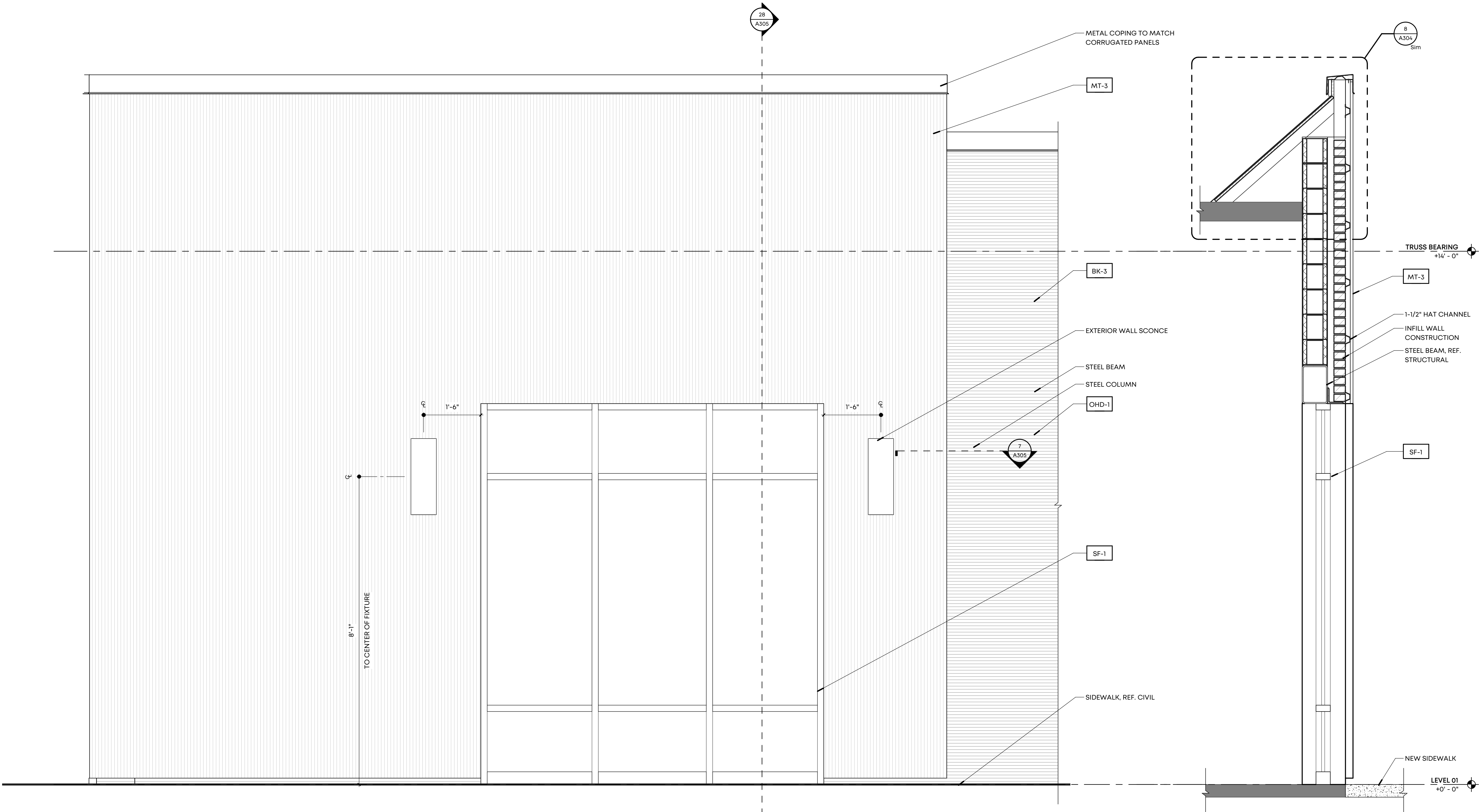
A304



7 PLAN DETAIL - CORRUGATED METAL AT BRICK
SCALE: 3" = 1'-0"

MATERIAL LEGEND			
SYMBOL	MATERIAL/FINISH	COLOR	STYLE
ROOF			
1:1	TPO ROOF	WHITE	
BRICK / PRECAST			
BK-1	SALVAGED BRICK	URBANE BRONZE SW 7048	
BK-2	SALVAGED BRICK	ALABASTER SW7008	
BK-3	EXISTING BRICK	URBANE BRONZE SW 7048	
BK-4	EXISTING BRICK	ALABASTER SW7008	
BK-5	BRICK	ALABASTER SW7008	
BK-6	BRICK	URBANE BRONZE SW 7048	
WOOD SIDING			
WD-1	ACCOYA WOOD SIDING/ SLATS	NATURAL WOOD	
METAL			
MT-1	VERSA-LOK SHINGLE WALL PANEL	CLASSIC STAINLESS STEEL	
MT-2	WESTERN STATES METAL ROOFING, PAINTED RUSTED ROOFING	SPECKLED RUST	THICKNESS: MIN. 12 GA.
MT-3	ALUMINUM CORRUGATED WALL PANELS	SILVER	SINEWAVE THICKNESS: MIN. 12 GA.
MT-4	STEEL FABRICATION	TO MATCH ADJACENT MATERIAL	
STOREFRONTS			
OHD-1	OVERHEAD ALUMINUM DOOR	BRONZE	
SF-1	ALUMINUM FRAMED STOREFRONT	BRONZE	KAWNEER 451T CENTER GLAZED
SF-2	ALUMINUM FRAMED ENTRANCE DOOR	BRONZE	KAWNEER 190 NARROW STILE

NOTE: METAL COPING AND FLASHING COLOR TO MATCH ADJACENT MATERIAL COLOR UNLESS NOTED OTHERWISE



25 ENLARGED ELEVATION
SCALE: 3/4" = 1'-0"

28 WALL SECTION
SCALE: 3/4" = 1'-0"



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Seal

LRK Project Number: 01.19036.00

Project Name:
Orleans Station Retail

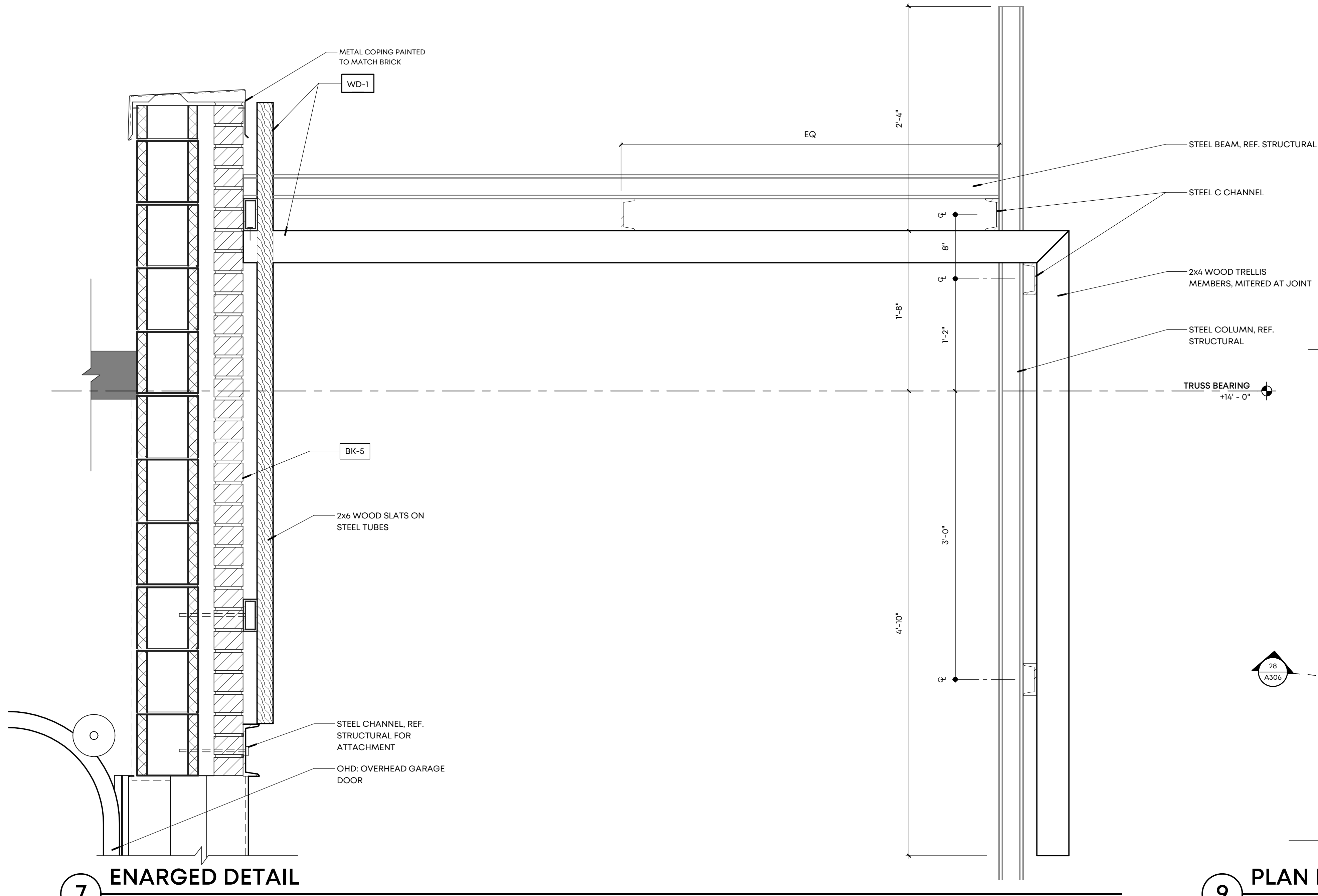
704 Madison Avenue
Memphis, TN 38103

Drawing Name:
ENLARGED ELEVATIONS

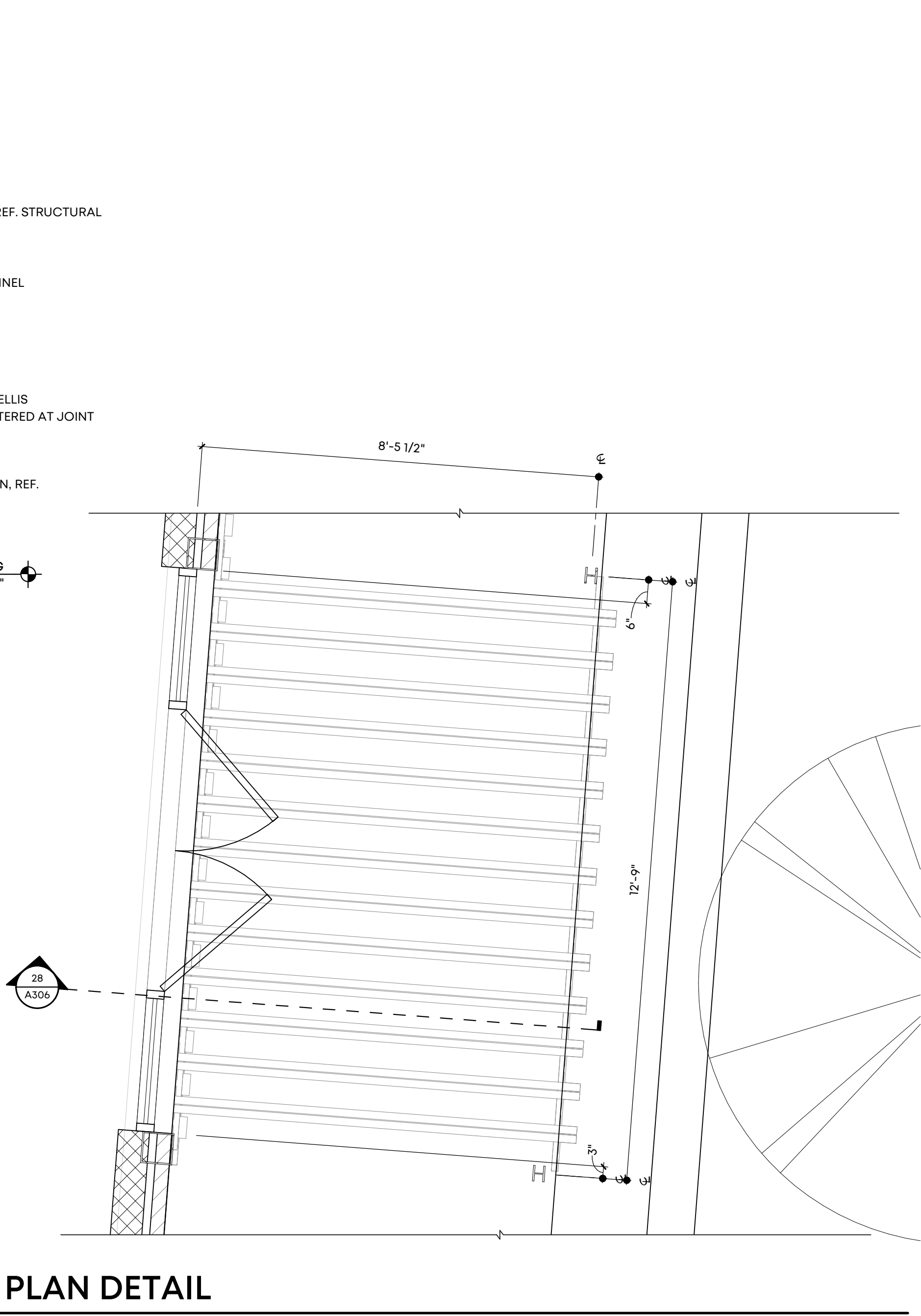
Drawn By: RKH, SWM

Checked By: VWB

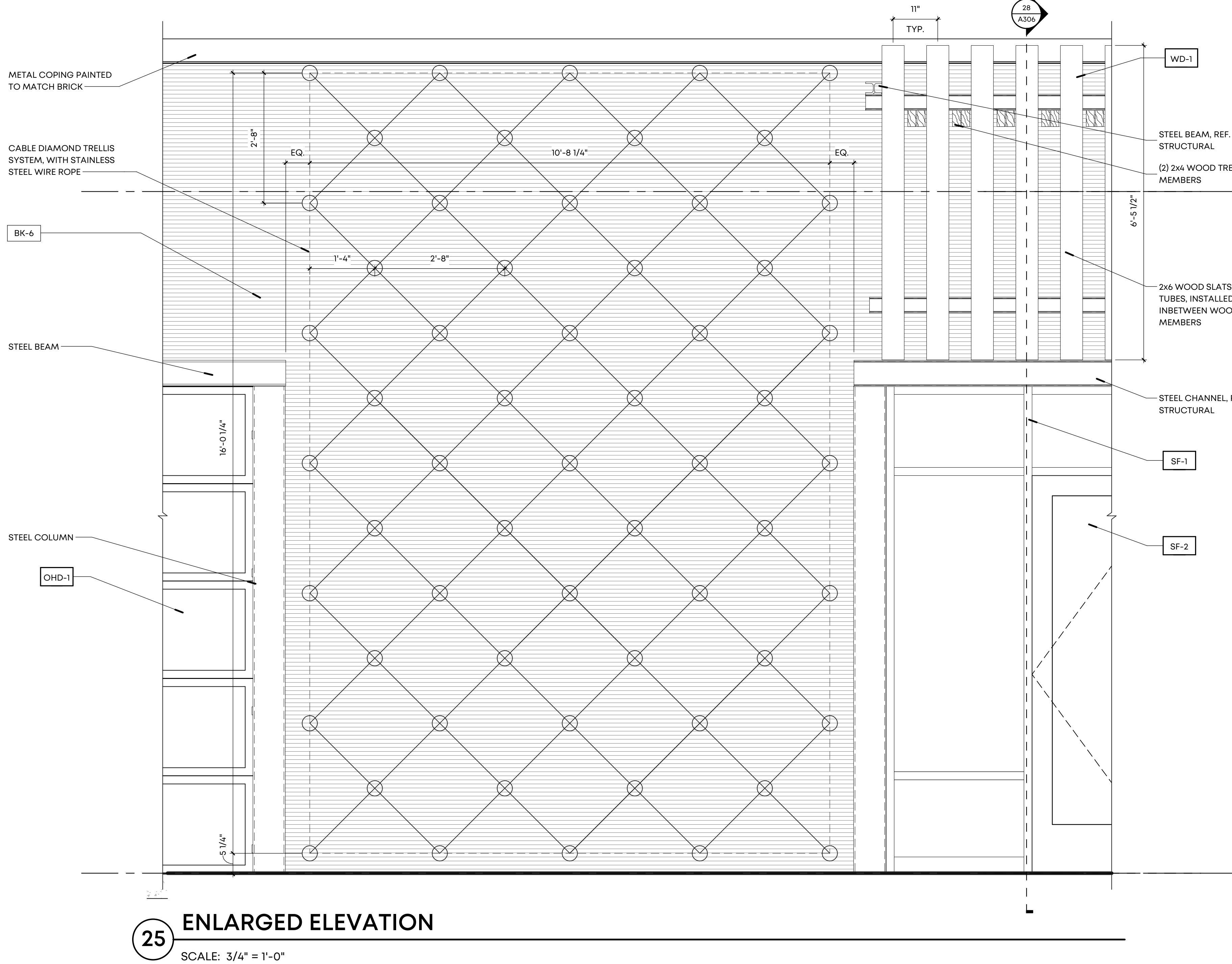
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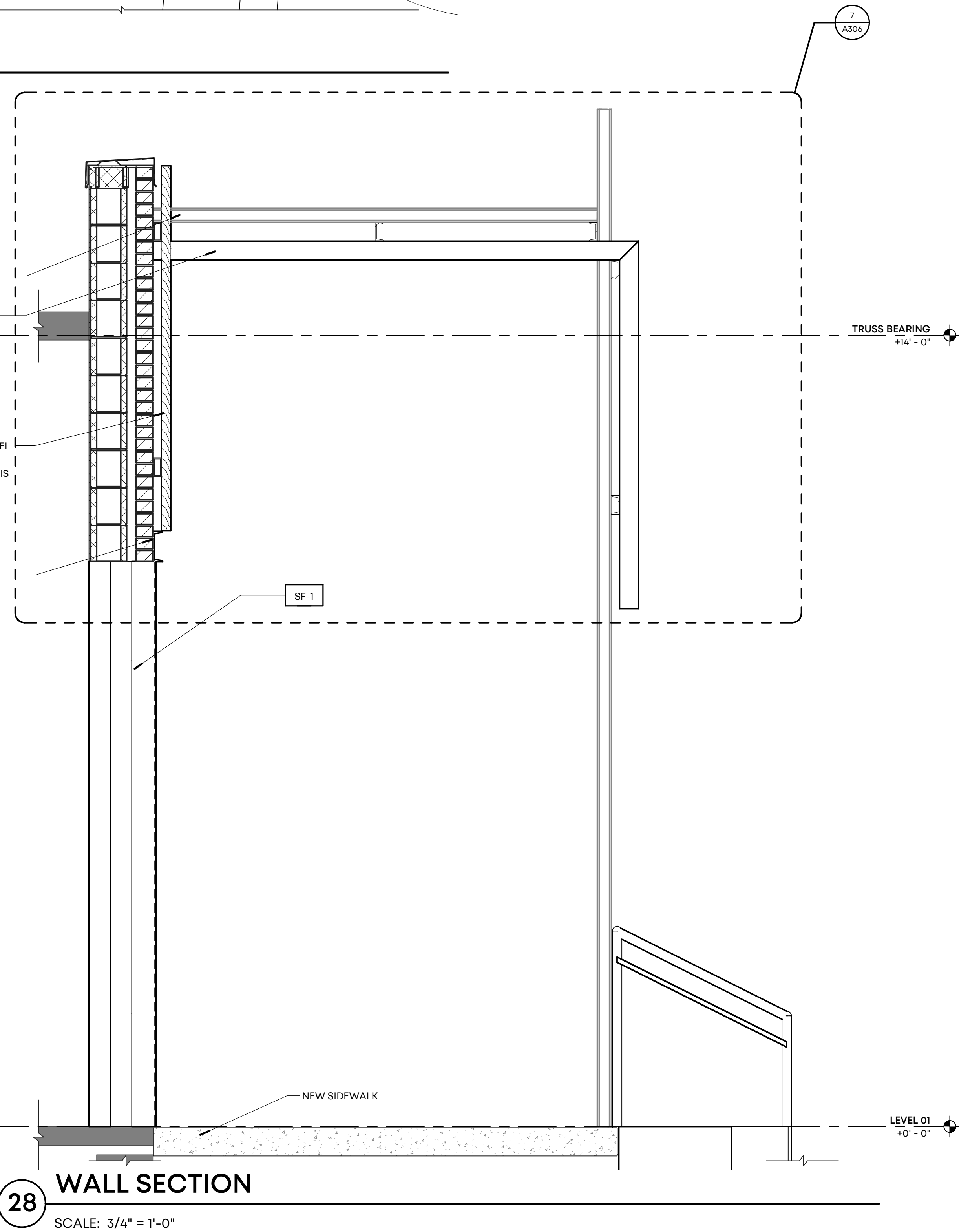
7 ENARGED DETAIL
SCALE: 1 1/2" = 1'-0"



9 PLAN DETAIL
SCALE: 1/2" = 1'-0"



25 ENLARGED ELEVATION
SCALE: 3/4" = 1'-0"



28 WALL SECTION
SCALE: 3/4" = 1'-0"

MATERIAL LEGEND			
SYMBOL	MATERIAL/FINISH	COLOR	STYLE
ROOF			
1.1	TPO ROOF	WHITE	
BRICK / PRECAST			
BK-1	SALVAGED BRICK	URBANE BRONZE SW 7048	
BK-2	SALVAGED BRICK	ALABASTER SW7008	
BK-3	EXISTING BRICK	URBANE BRONZE SW 7048	
BK-4	EXISTING BRICK	ALABASTER SW7008	
BK-5	BRICK	ALABASTER SW7008	
BK-6	BRICK	URBANE BRONZE SW 7048	
WOOD SIDING			
WD-1	ACCOYA WOOD SIDING/ SLATS	NATURAL WOOD	
METAL			
MT-1	VERSA-LOK SHINGLE WALL PANEL	CLASSIC STAINLESS STEEL	
MT-2	WESTERN STATES METAL ROOFING, PAINTED RUSTED ROOFING	SPECKLED RUST	THICKNESS: MIN. 12 GA.
MT-3	ALUMINUM CORRUGATED WALL PANELS	SILVER	SINEWAVE THICKNESS: MIN. 12 GA.
MT-4	STEEL FABRICATION	TO MATCH ADJACENT MATERIAL	
STOREFRONTS			
OHD-1	OVERHEAD ALUMINUM DOOR	BRONZE	KAWNEER 451T
SF-1	ALUMINUM FRAMED STOREFRONT	BRONZE	CENTER GLAZED
SF-2	ALUMINUM FRAMED ENTRANCE DOOR	BRONZE	KAWNEER 190 NARROW STILE

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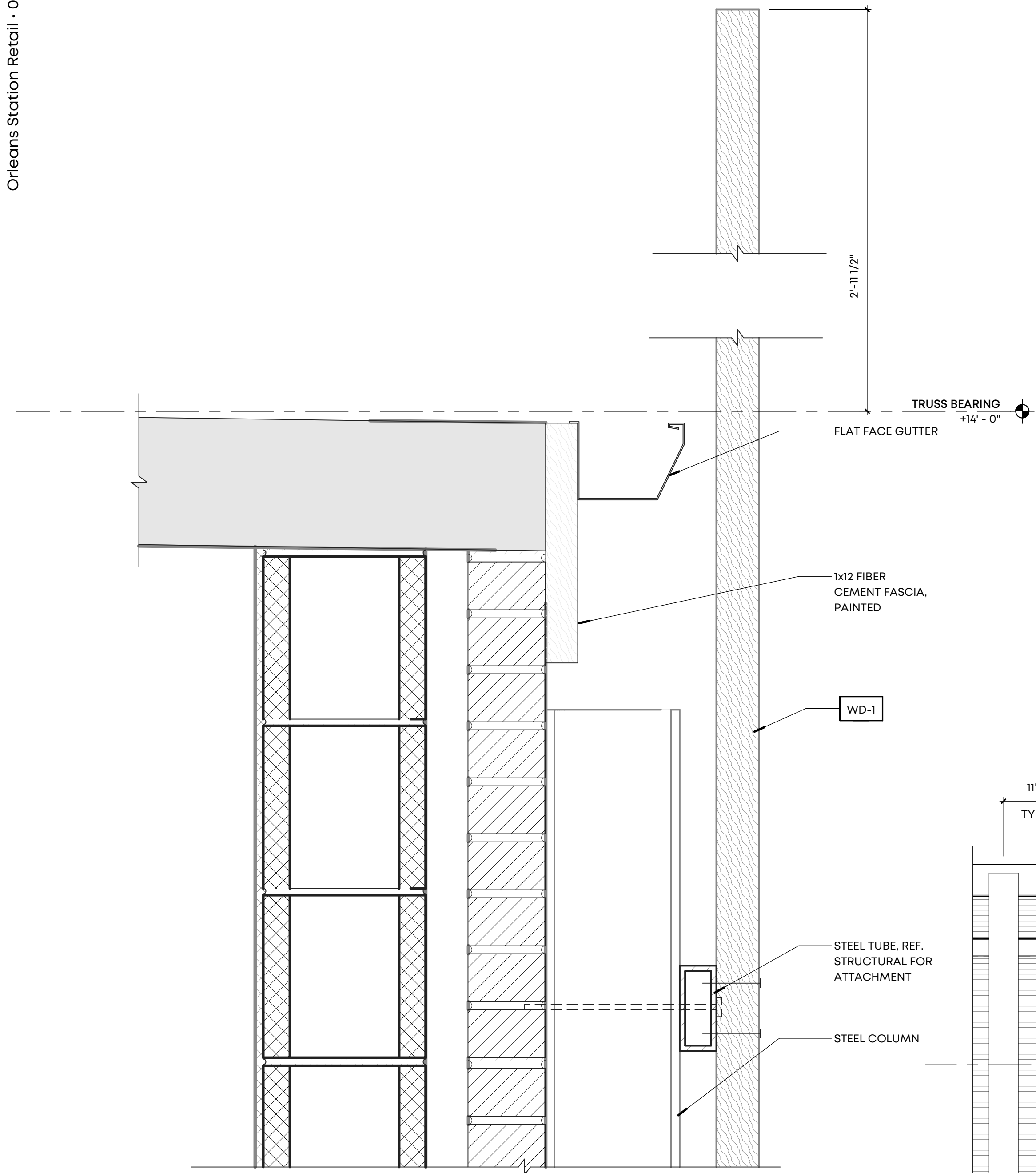
Project Name:
Orleans Station Retail

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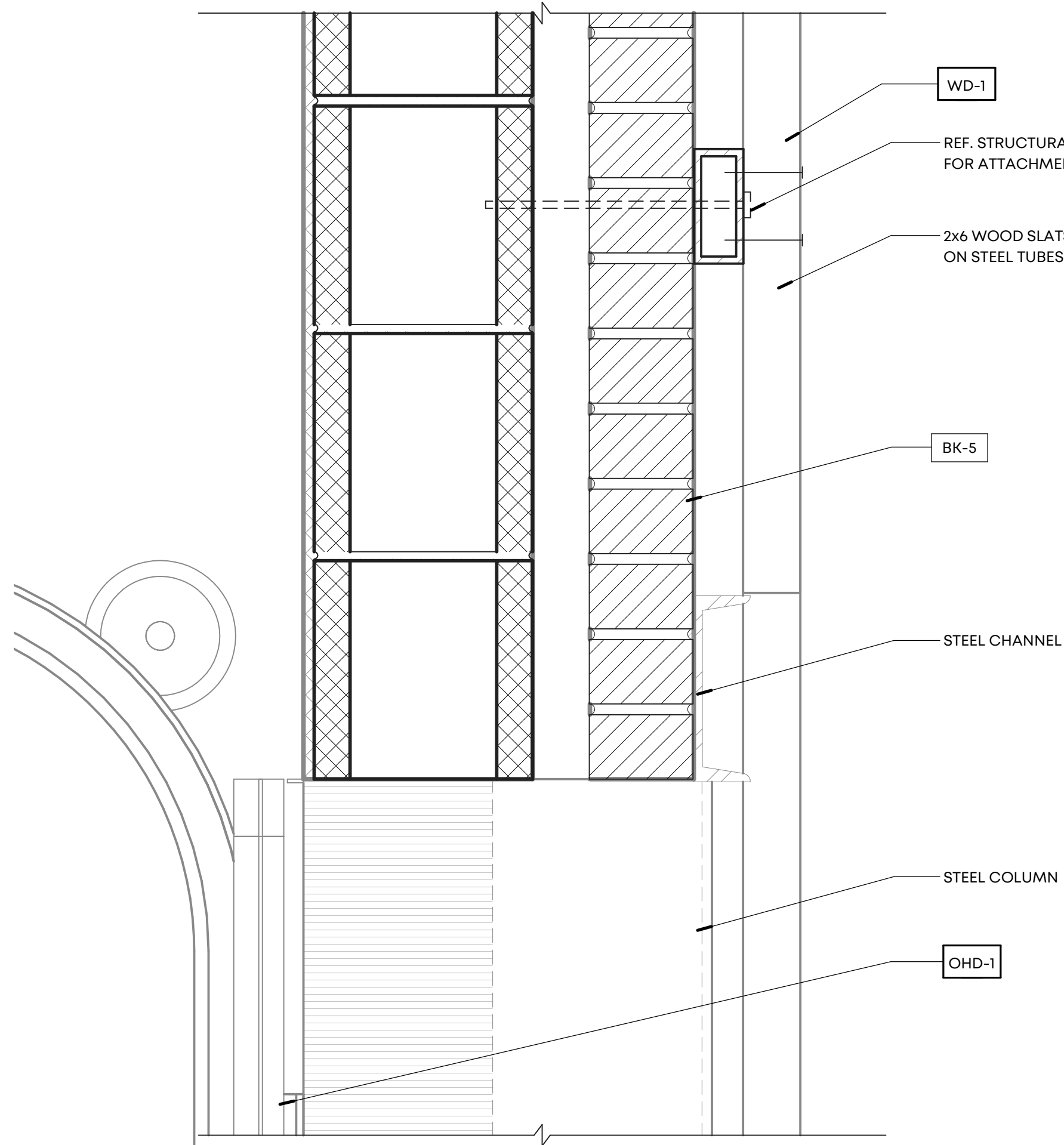
Drawing Name:
ENLARGED ELEVATIONS

Drawn By: RKH, SWM
Checked By: RCH

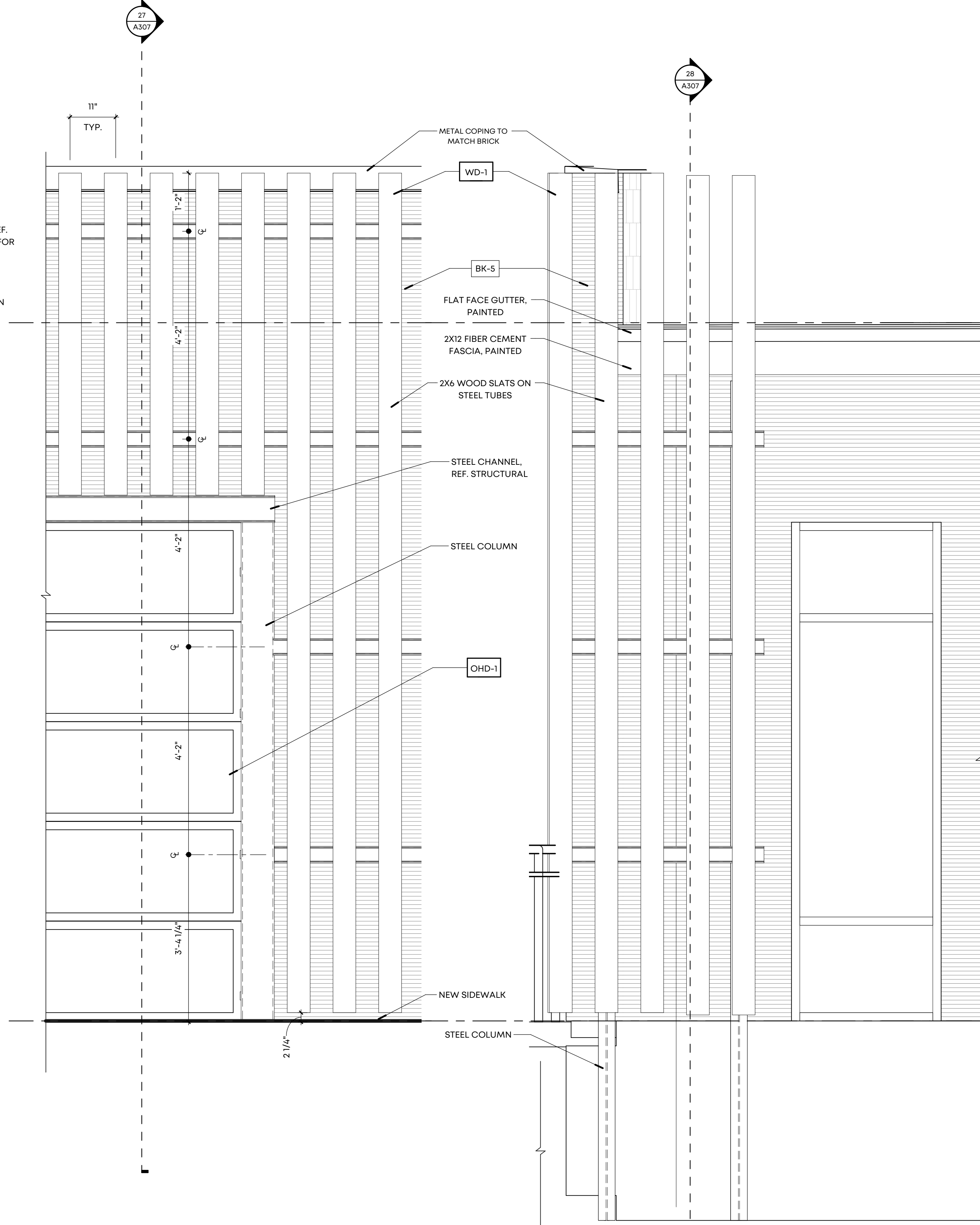
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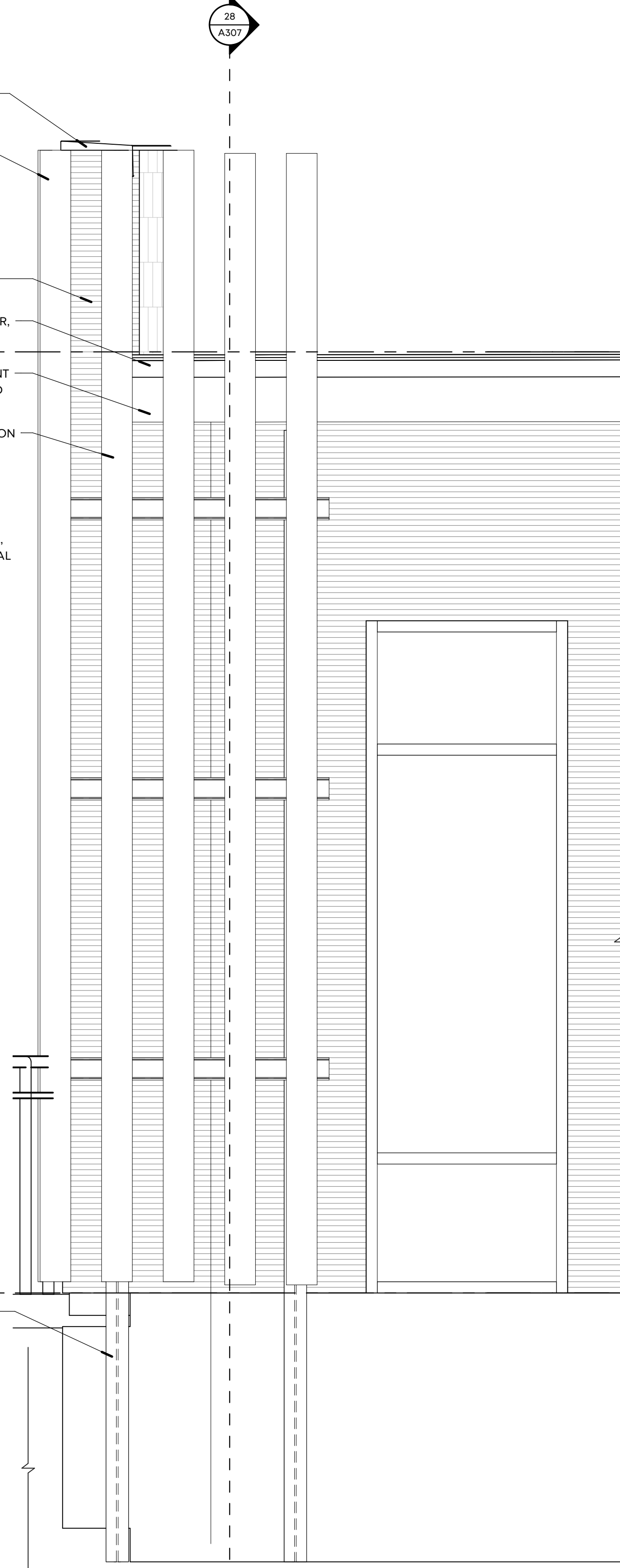
29 ENLARGED DETAIL
SCALE: 3" = 1'-0"



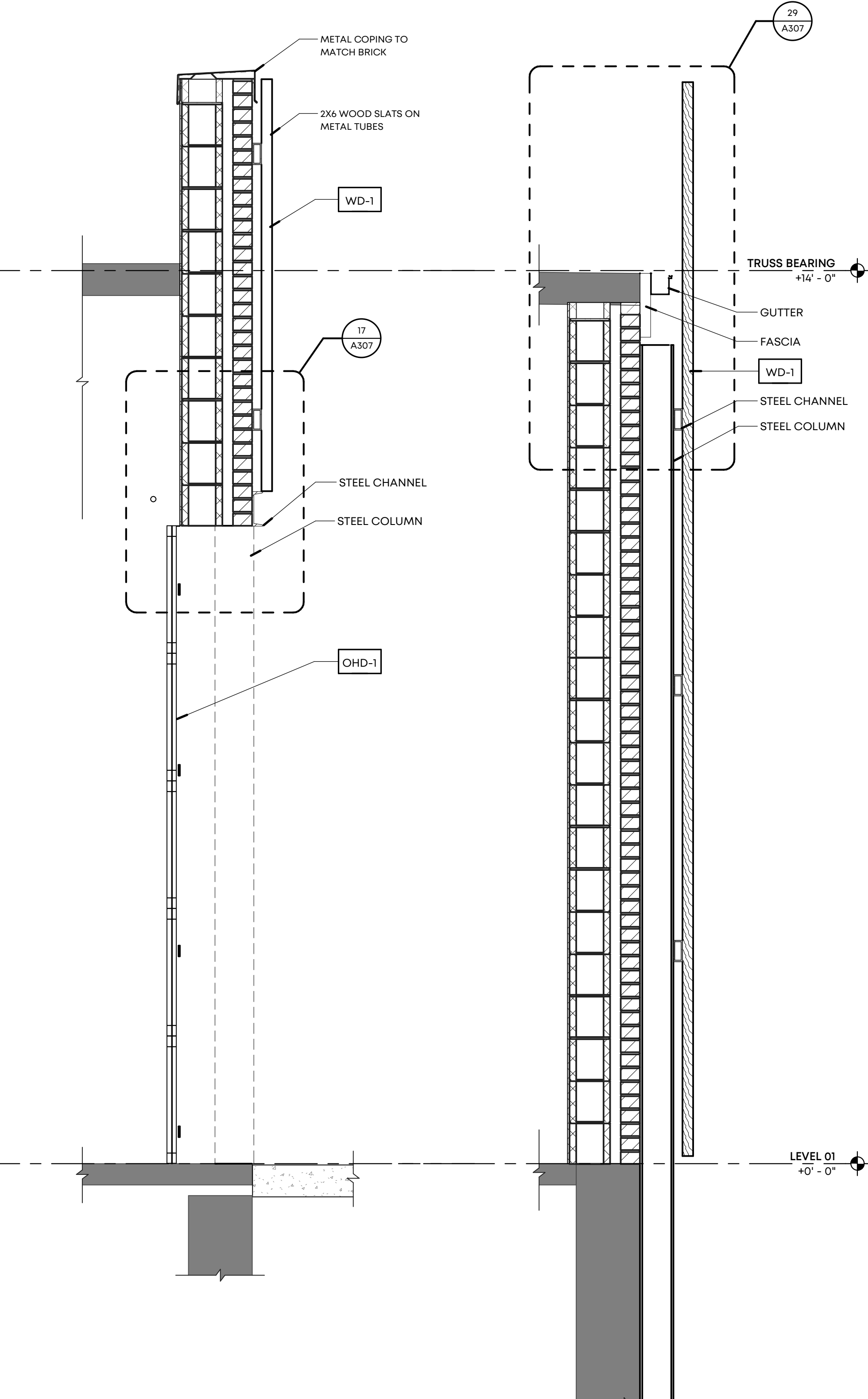
17 ENLARGED DETAIL
SCALE: 3" = 1'-0"



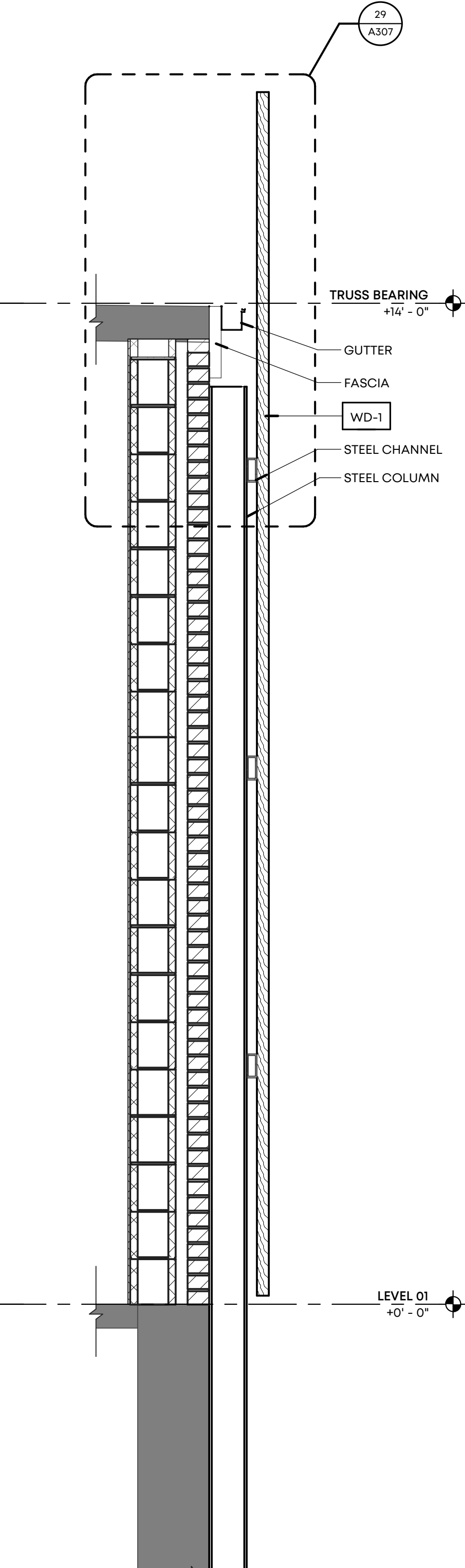
25 ENLARGED ELEVATION
SCALE: 3/4" = 1'-0"



26 ENLARGED ELEVATION
SCALE: 3/4" = 1'-0"



27 WALL SECTION
SCALE: 3/4" = 1'-0"



28 WALL SECTION
SCALE: 3/4" = 1'-0"

MATERIAL LEGEND			
SYMBOL	MATERIAL/FINISH	COLOR	STYLE
ROOF			
1.1	TPO ROOF	WHITE	
BRICK / PRECAST			
BK-1	SALVAGED BRICK	URBANE BRONZE SW 7048	
BK-2	SALVAGED BRICK	ALABASTER SW7008	
BK-3	EXISTING BRICK	URBANE BRONZE SW 7048	
BK-4	EXISTING BRICK	ALABASTER SW7008	
BK-5	BRICK	ALABASTER SW7008	
BK-6	BRICK	URBANE BRONZE SW 7048	
WOOD SIDING			
WD-1	ACCOYA WOOD SIDING/ SLATS	NATURAL WOOD	
METAL			
MT-1	VERSA-LOK SHINGLE WALL PANEL	CLASSIC STAINLESS STEEL	
MT-2	WESTERN STATES METAL ROOFING, PAINTED RUSTED ROOFING	SPECKLED RUST	THICKNESS: MIN. 12 GA.
MT-3	ALUMINUM CORRUGATED WALL PANELS	SILVER	SINEWAVE THICKNESS: MIN. 12 GA.
MT-4	STEEL FABRICATION	TO MATCH ADJACENT MATERIAL	
STOREFRONTS			
OHD-1	OVERHEAD ALUMINUM DOOR	BRONZE	
SF-1	ALUMINUM FRAMED STOREFRONT	BRONZE	KAWNEER 451T CENTER GLAZED
SF-2	ALUMINUM FRAMED ENTRANCE DOOR	BRONZE	KAWNEER 190 NARROW STILE

NOTE: METAL COPING AND FLASHING COLOR TO MATCH ADJACENT MATERIAL COLOR UNLESS NOTED OTHERWISE



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LRK Project Number: 01.19036.00

Project Name:
Orleans Station Retail

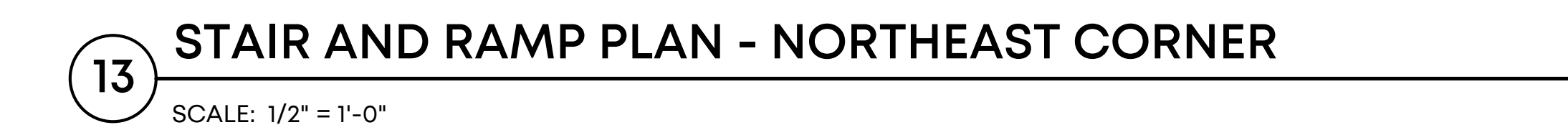
704 Madison Avenue
Memphis, TN 38103

Drawing Name:
ENLARGED ELEVATIONS

Drawn By: RKH, SWM

Checked By: VWB

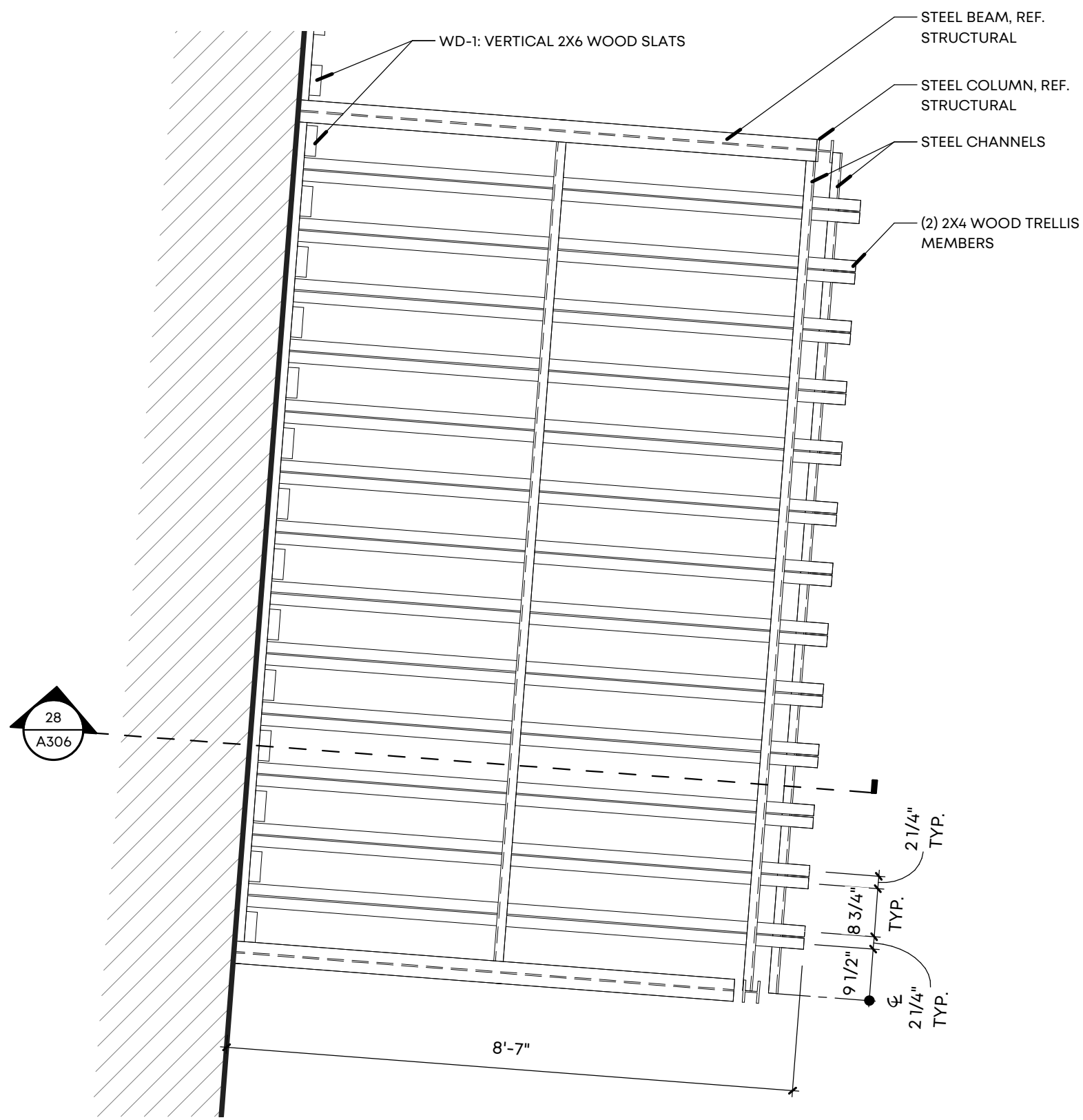
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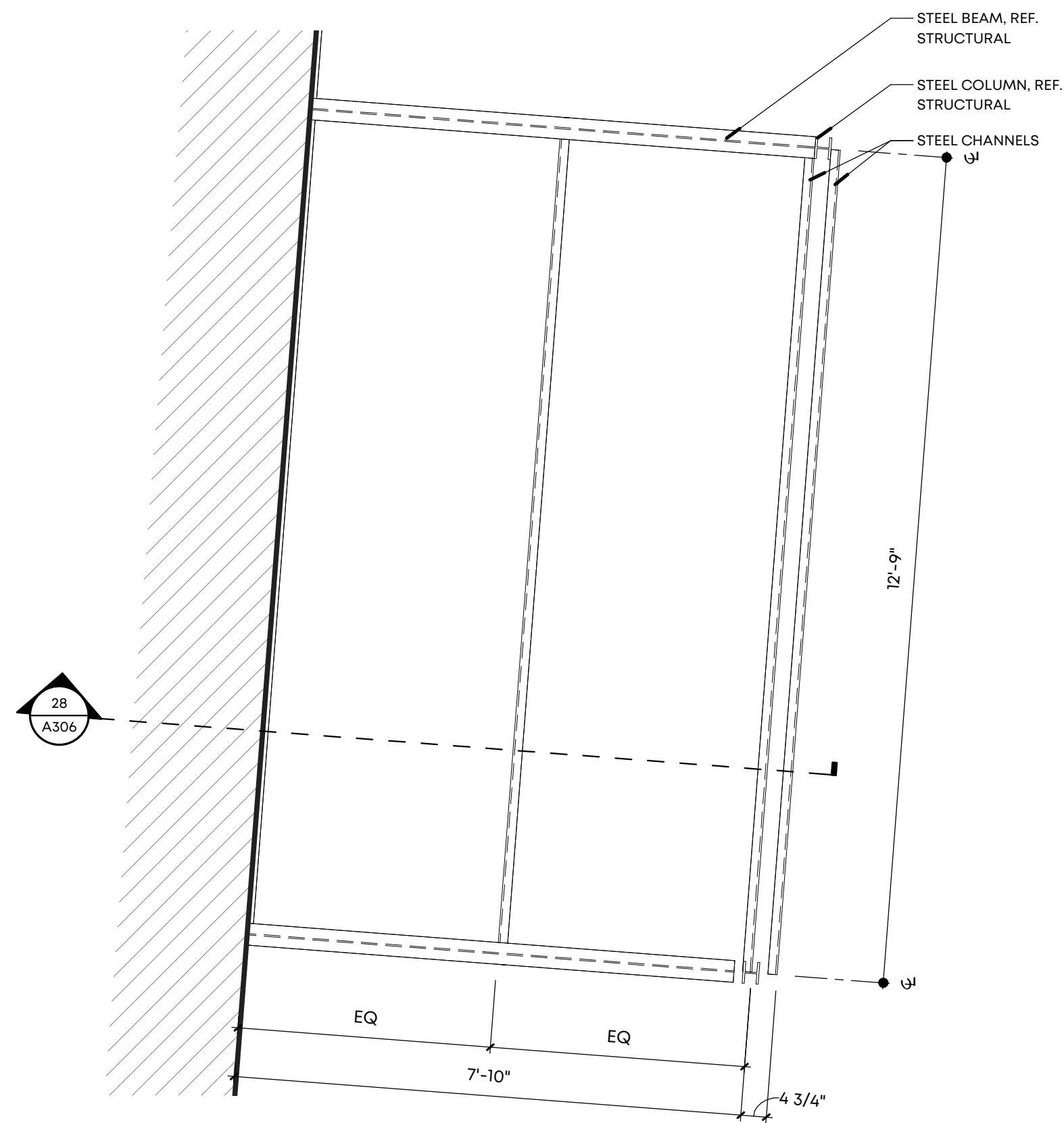
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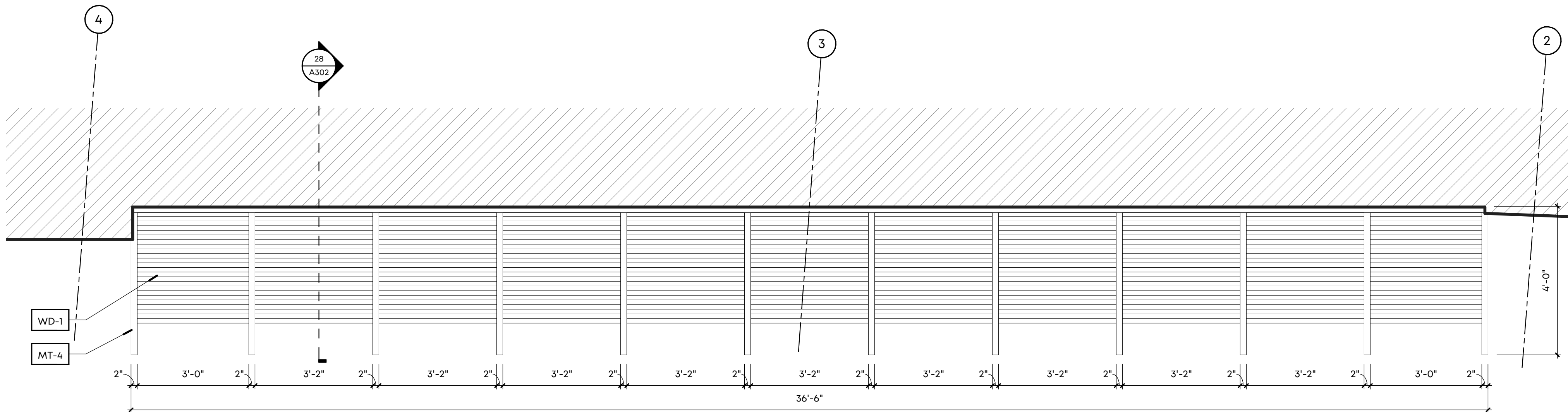
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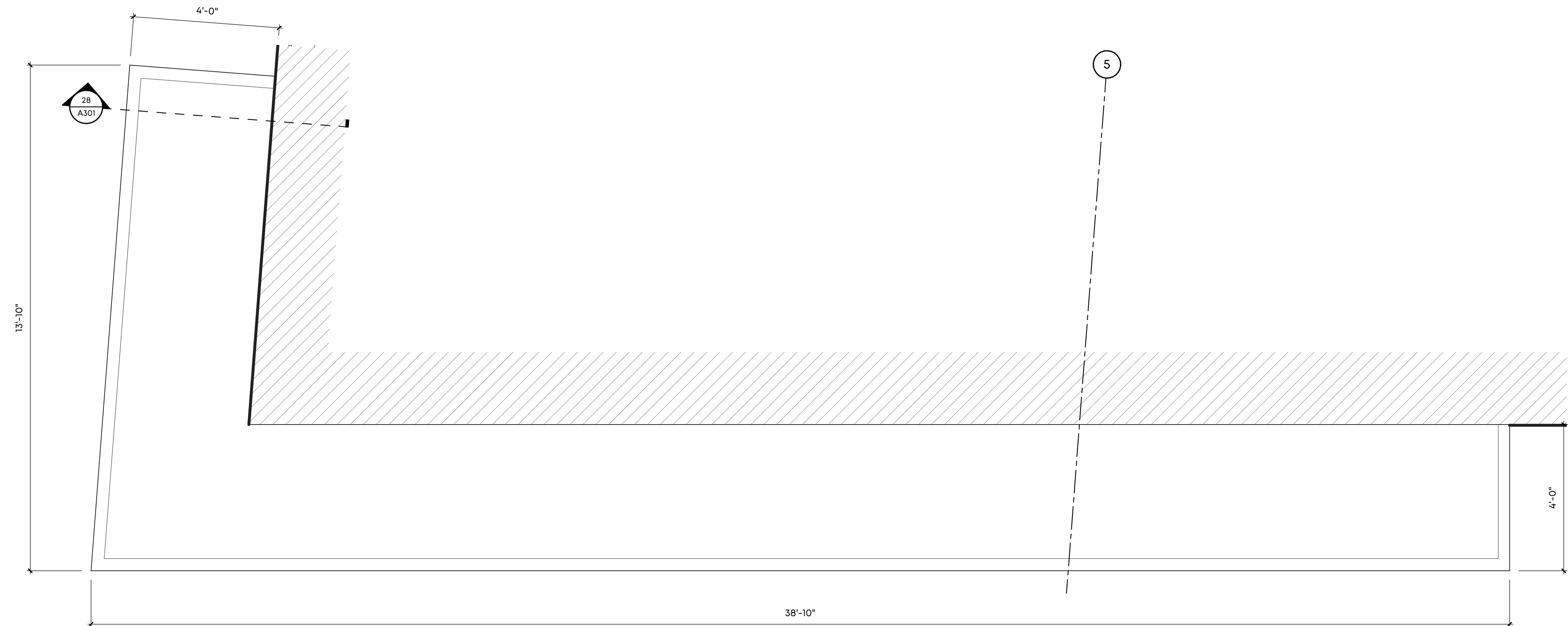
7 WOOD CANOPY
SCALE: 1/2" = 1'-0"



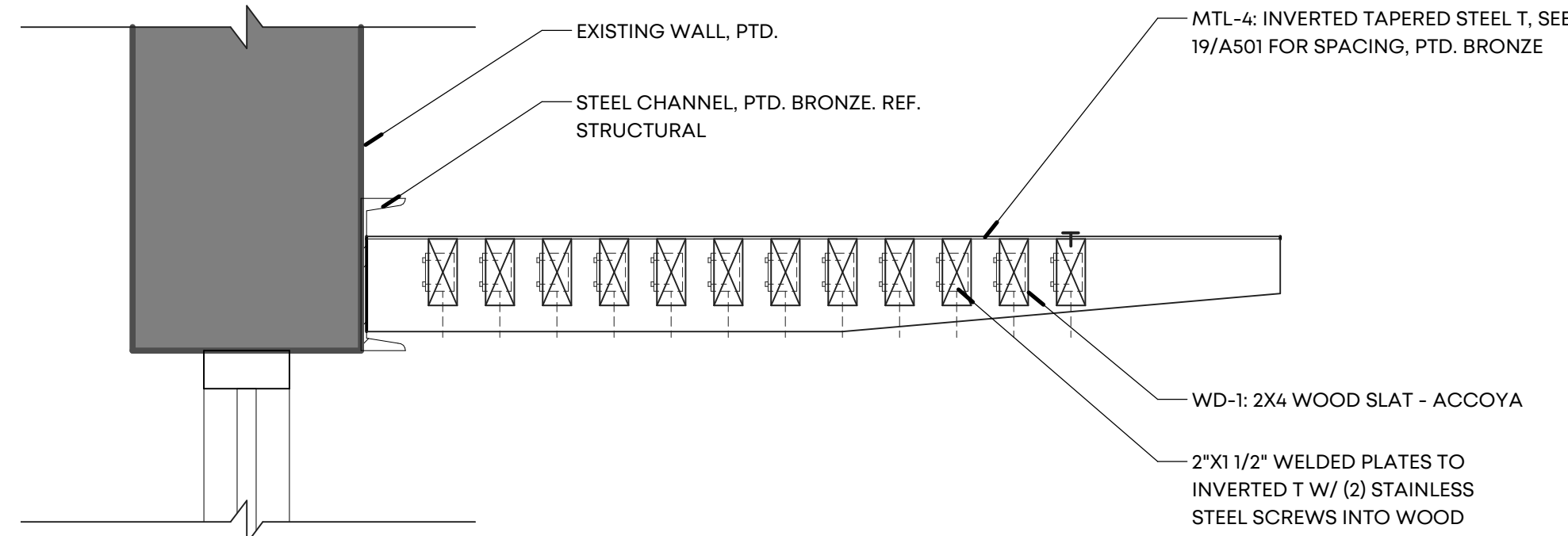
9 WOOD CANOPY - STRUCTURE
SCALE: 1/2" = 1'-0"



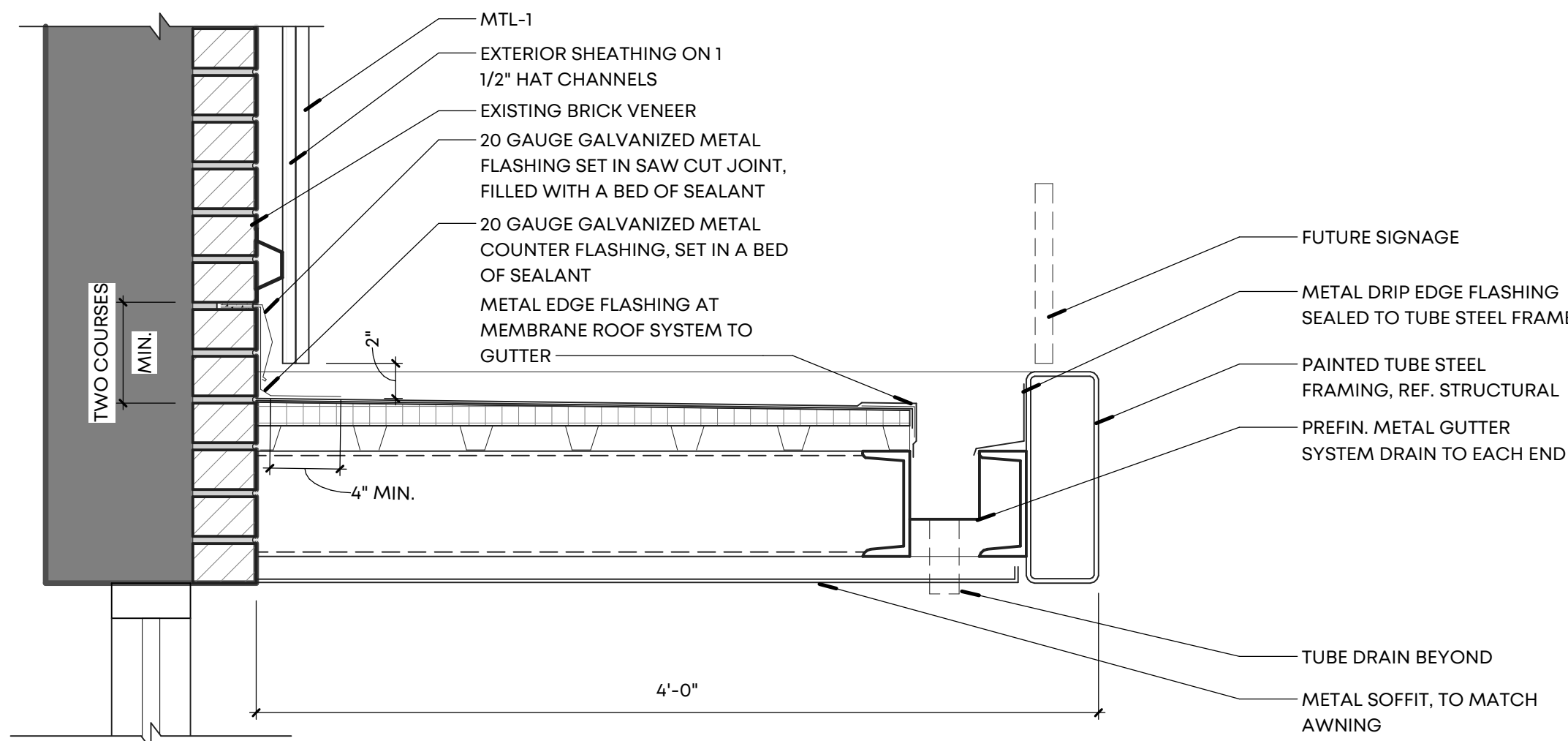
19 METAL CANOPY - LOUVER
SCALE: 1/2" = 1'-0"



25 METAL CANOPY - CANTILEVER
SCALE: 1/2" = 1'-0"



23 METAL CANOPY SECTION - LOUVER
SCALE: 1 1/2" = 1'-0"



29 METAL CANOPY - CANTILEVER
SCALE: 1 1/2" = 1'-0"

MATERIAL LEGEND			
SYMBOL	MATERIAL/FINISH	COLOR	STYLE
ROOF			
1,1	TPO ROOF	WHITE	
BRICK / PRECAST			
BK-1	SALVAGED BRICK	URBANE BRONZE SW 7048	
BK-2	SALVAGED BRICK	ALABASTER SW7008	
BK-3	EXISTING BRICK	URBANE BRONZE SW 7048	
BK-4	EXISTING BRICK	ALABASTER SW7008	
BK-5	BRICK	ALABASTER SW7008	
BK-6	BRICK	URBANE BRONZE SW 7048	
WOOD SIDING			
WD-1	ACCOYA WOOD SIDING/ SLATS	NATURAL WOOD	
METAL			
MT-1	VERSA-LOK SHINGLE WALL PANEL	CLASSIC STAINLESS STEEL	
MT-2	WESTERN STATES METAL ROOFING, PAINTED RUSTED ROOFING	SPECKLED RUST	THICKNESS: MIN. 12 GA.
MT-3	ALUMINUM CORRUGATED WALL PANELS	SILVER	SINEWAVE THICKNESS: MIN. 12 GA.
MT-4	STEEL FABRICATION	TO MATCH ADJACENT MATERIAL	
STOREFRONTS			
OHD-1	OVERHEAD ALUMINUM DOOR	BRONZE	
SF-1	ALUMINUM FRAMED STOREFRONT	BRONZE	KAWNEER 651T CENTER GLAZED
SF-2	ALUMINUM FRAMED ENTRANCE DOOR	BRONZE	KAWNEER 190 NARROW STILE

NOTE: METAL COPING AND FLASHING COLOR TO MATCH ADJACENT MATERIAL COLOR UNLESS NOTED OTHERWISE



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Seal

LRK Project Number: 01.19036.00

Project Name:

Orleans Station
Retail

704 Madison Avenue
Memphis, TN 38103

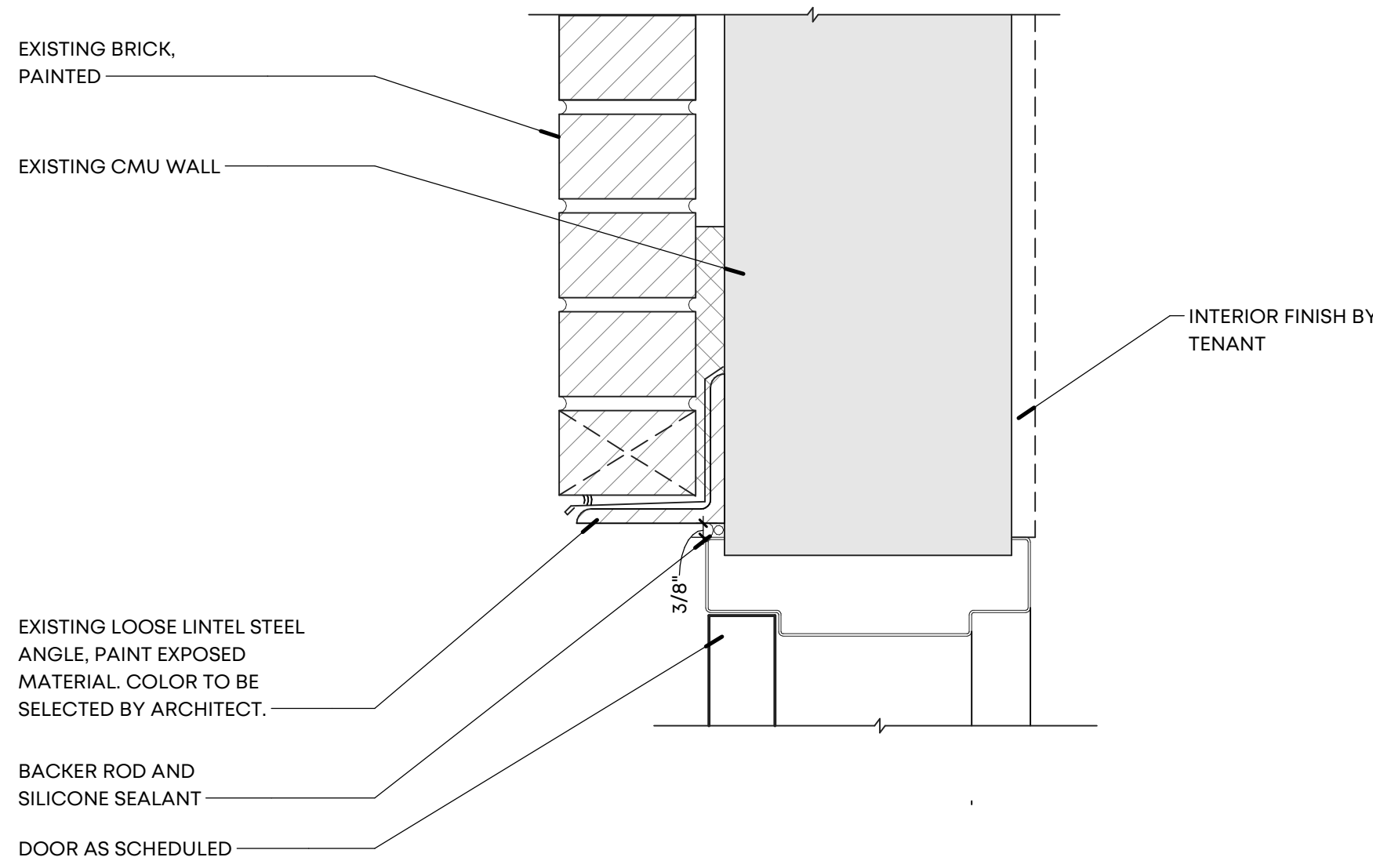
Drawing Name:

AWNING DETAILS

Drawn By: RKH, SWM

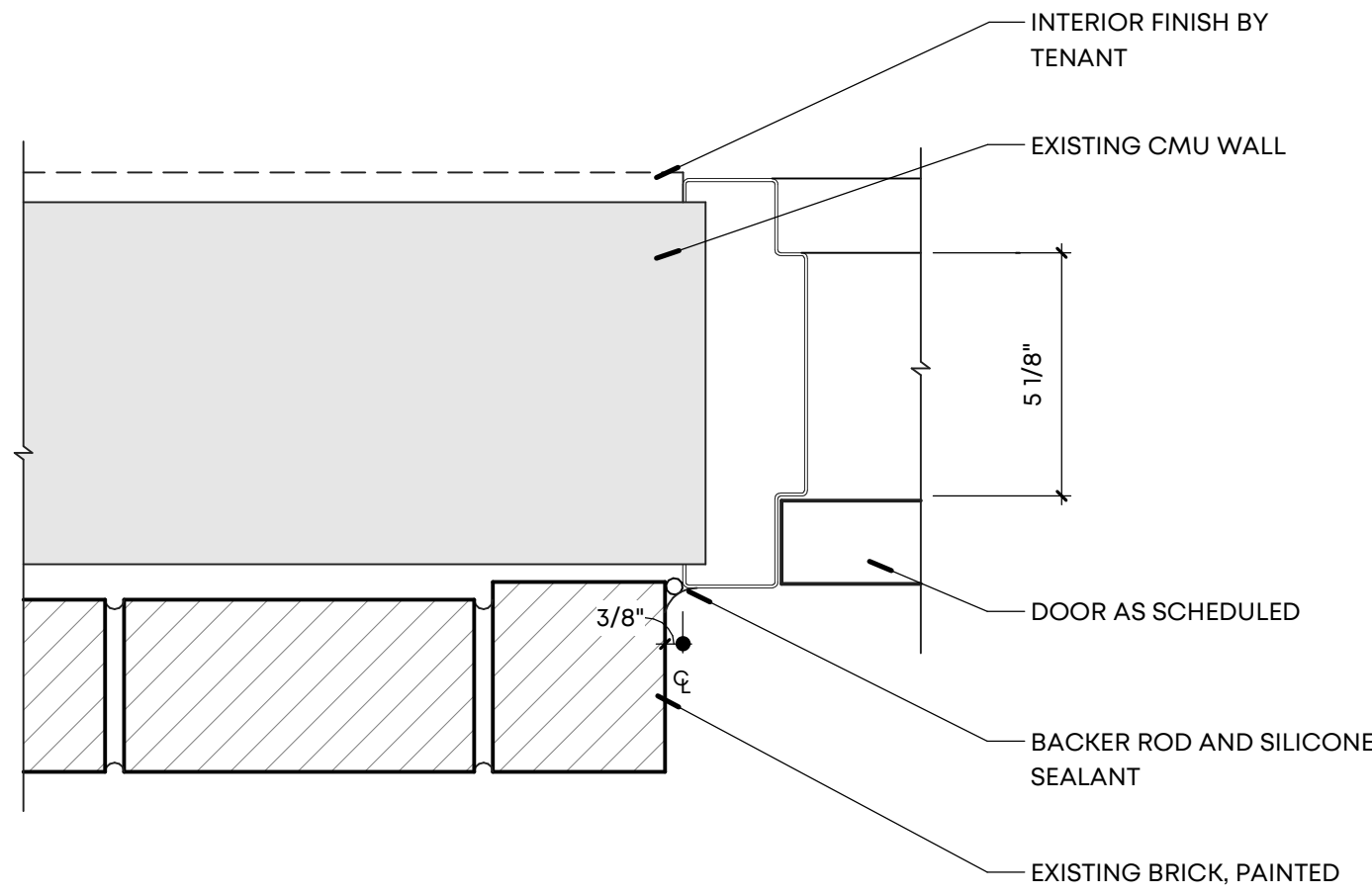
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A501



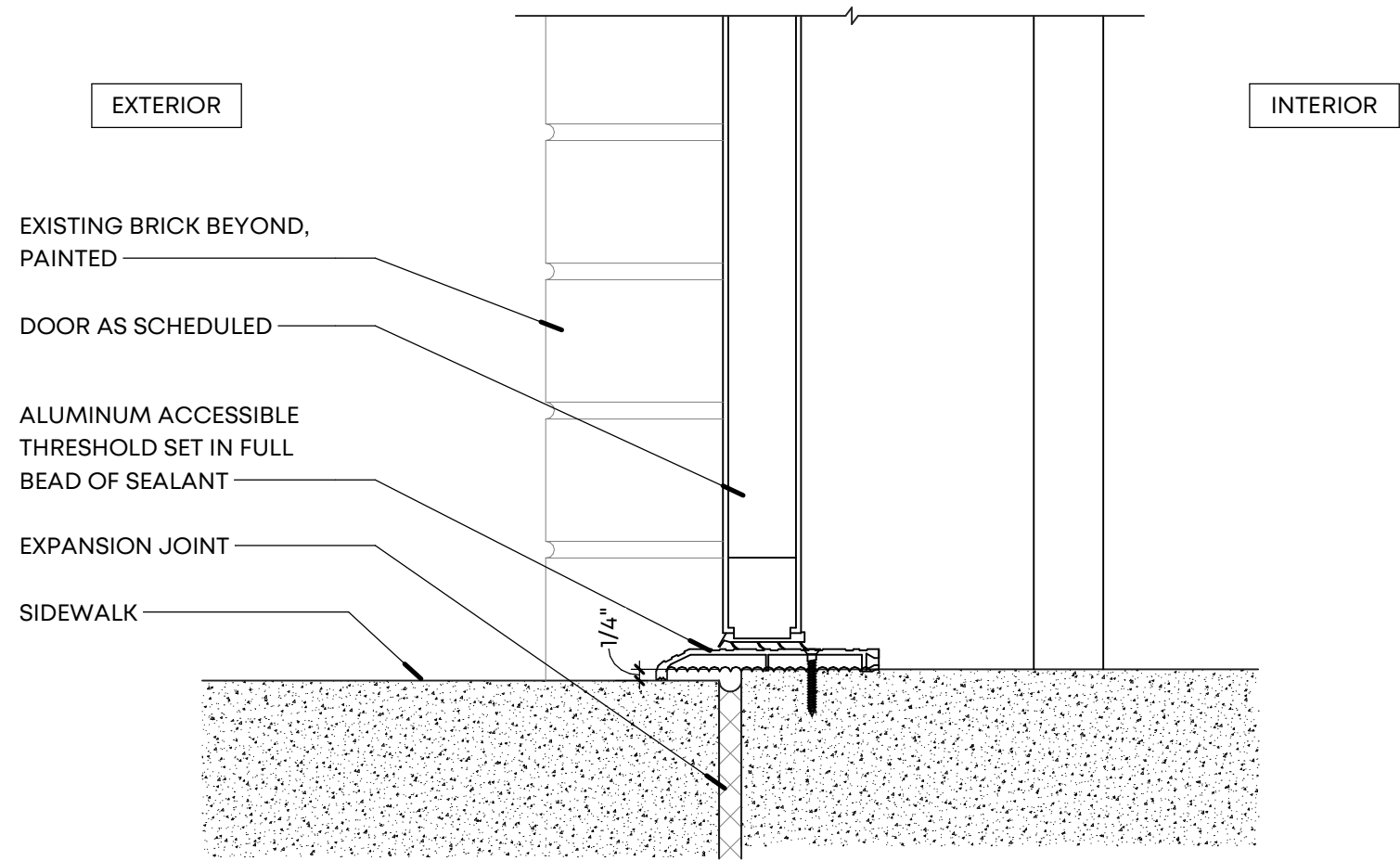
7 DOOR HEAD DETAIL

SCALE: 3" = 1'-0"



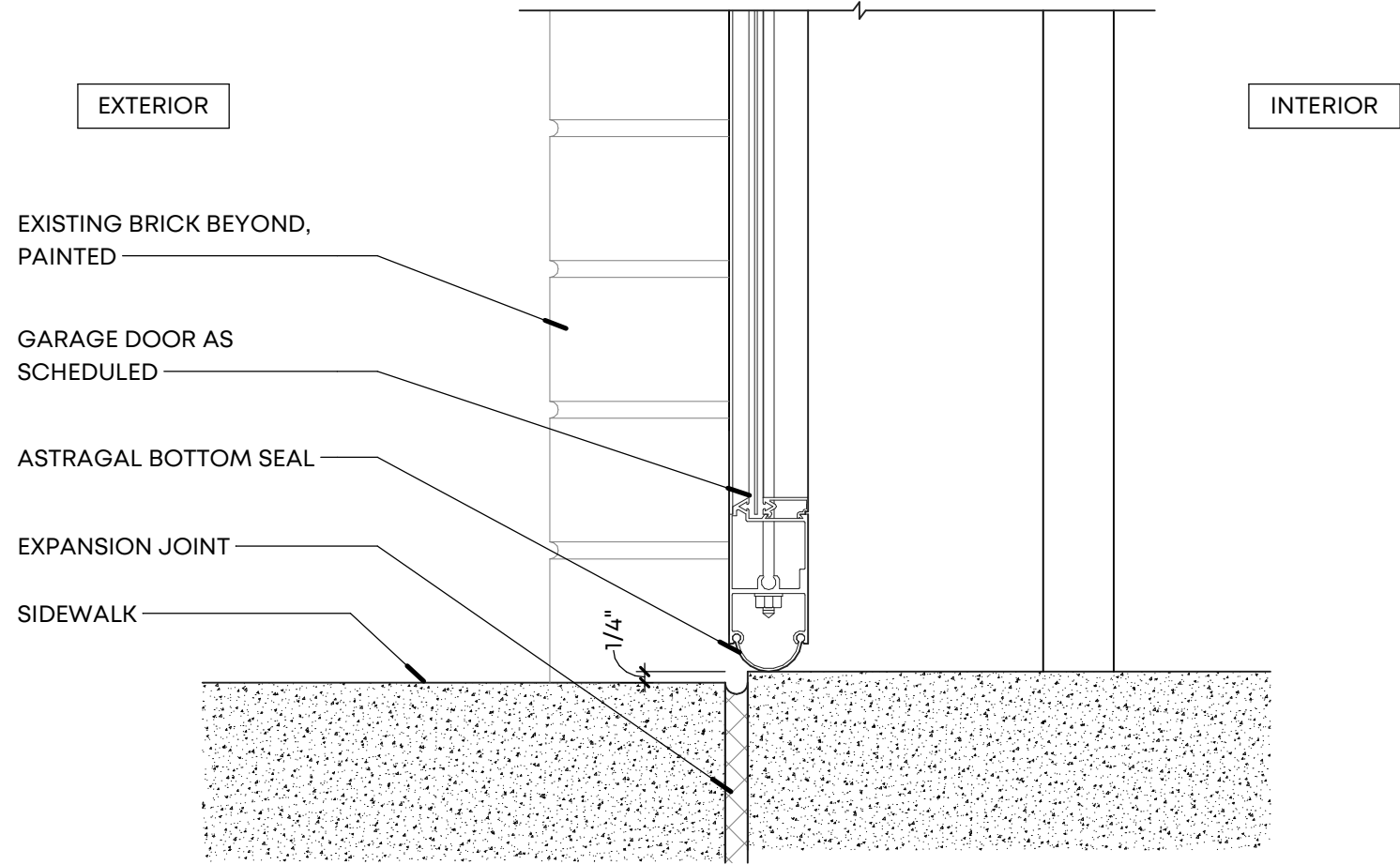
13 DOOR JAMB DETAIL

SCALE: 3" = 1'-0"



19 DOOR SILL DETAIL

SCALE: 3" = 1'-0"



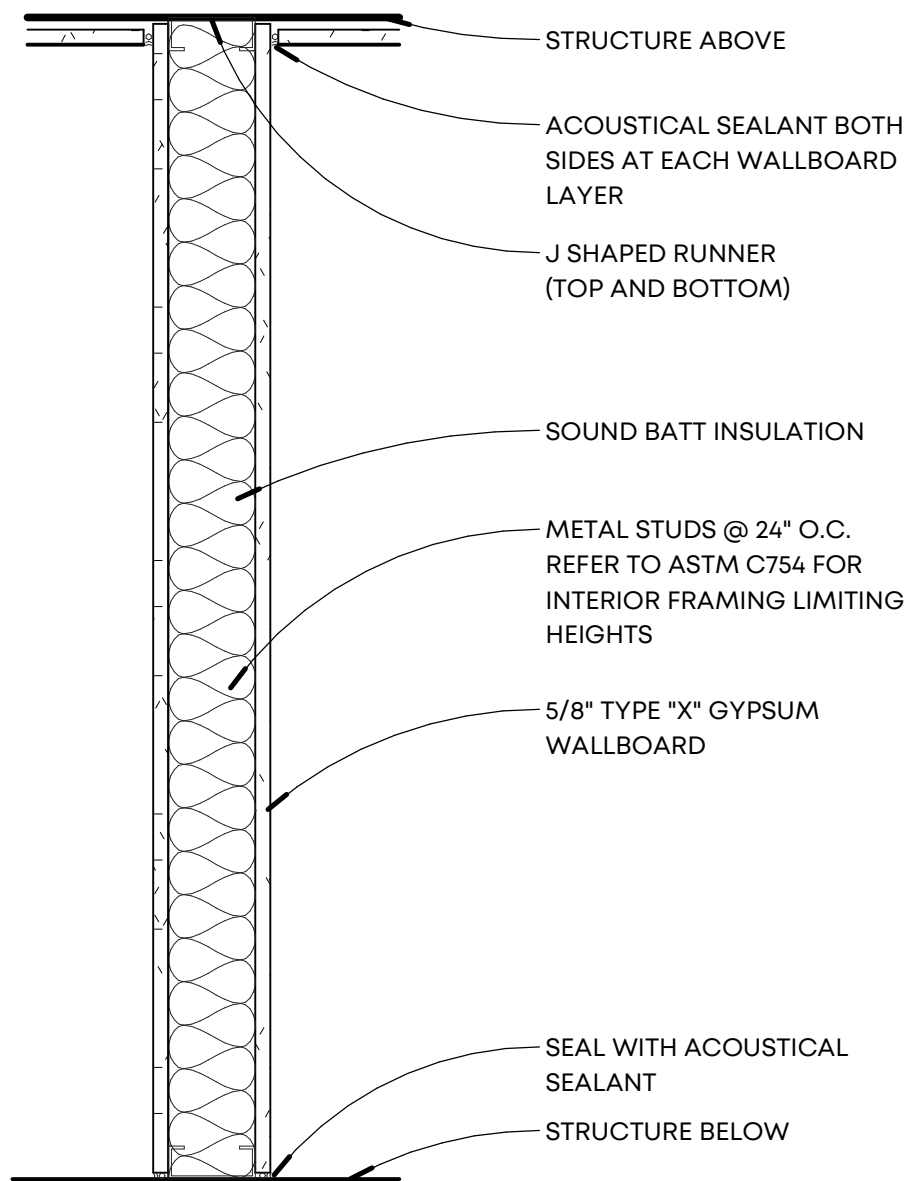
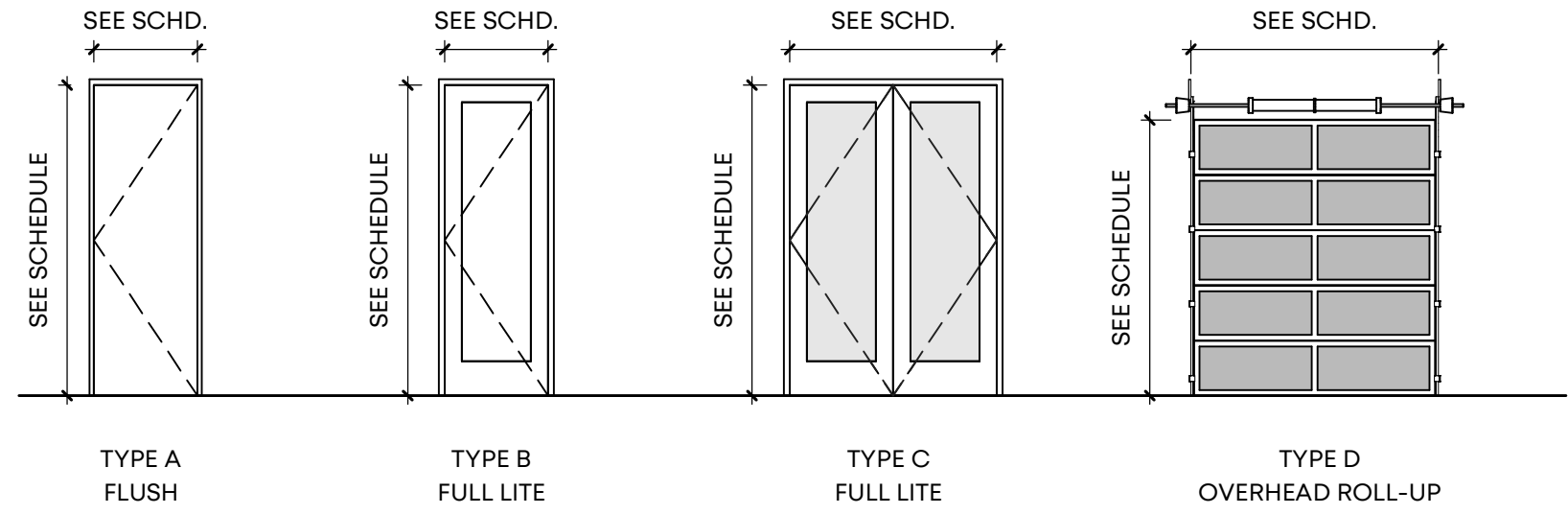
25 GARAGE DOOR SILL DETAIL

SCALE: 3" = 1'-0"

DOOR AND OPENING SCHEDULE - NEW

MARK		SIZE			RATING	TYPE	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	REMARKS
		WIDTH	HEIGHT	THICK						
01	PR	3'-0"	8'-0"	1 3/4"	-	C	ALUM/ GLASS	-	BRONZE ANODIZED	
02	PR	3'-0"	8'-0"	1 3/4"	-	C	ALUM/GLASS	-	BRONZE ANODIZED	
03	PR	3'-0"	8'-0"	1 3/4"	-	C	ALUM/GLASS	-	BRONZE ANODIZED	
04		3'-4"	8'-0"	1 3/4"	-	B	ALUM/GLASS	-	BRONZE ANODIZED	
04A		3'-0"	6'-8"	1 3/8"	-	A	WD	PTD	PTD	INTERIOR DOOR
04B		3'-0"	6'-8"	1 3/8"	-	A	WD	PTD	PTD	INTERIOR DOOR
04C		2'-4"	6'-8"	1 3/8"	-	A	WD	PTD	PTD	INTERIOR DOOR
04D		3'-0"	6'-8"	1 3/8"	-	A	WD	PTD	PTD	INTERIOR DOOR
04E		3'-0"	6'-8"	1 3/4"	-	A	HM	PTD	PTD	INTERIOR DOOR
05		3'-4"	8'-0"	1 3/4"	-	B	ALUM/GLASS	-	BRONZE ANODIZED	
06		3'-6"	8'-0"	1 3/4"	-	A	HM	PTD	PTD	
07		3'-6"	8'-0"	1 3/4"	-	A	HM	PTD	PTD	
08		3'-6"	8'-0"	1 3/4"	-	A	HM	PTD	PTD	
09		3'-6"	8'-0"	1 3/4"	-	A	HM	PTD	PTD	
10		16'-0"	10'-0"	1 3/4"	-	D	ALUM/ GLASS	-	BRONZE ANODIZED	OVERHEAD GARAGE DOOR
11	PR	3'-0"	8'-2"	1 3/4"	-	C	ALUM/GLASS	-	BRONZE ANODIZED	
12		16'-0"	10'-0"	1 3/4"	-	D	ALUM/ GLASS	-	BRONZE ANODIZED	OVERHEAD GARAGE DOOR
13		16'-0"	10'-0"	1 3/4"	-	D	ALUM/ GLASS	-	BRONZE ANODIZED	OVERHEAD GARAGE DOOR
14		3'-0"	8'-0"	1 3/4"	-	B	ALUM/ GLASS	-	BRONZE ANODIZED	

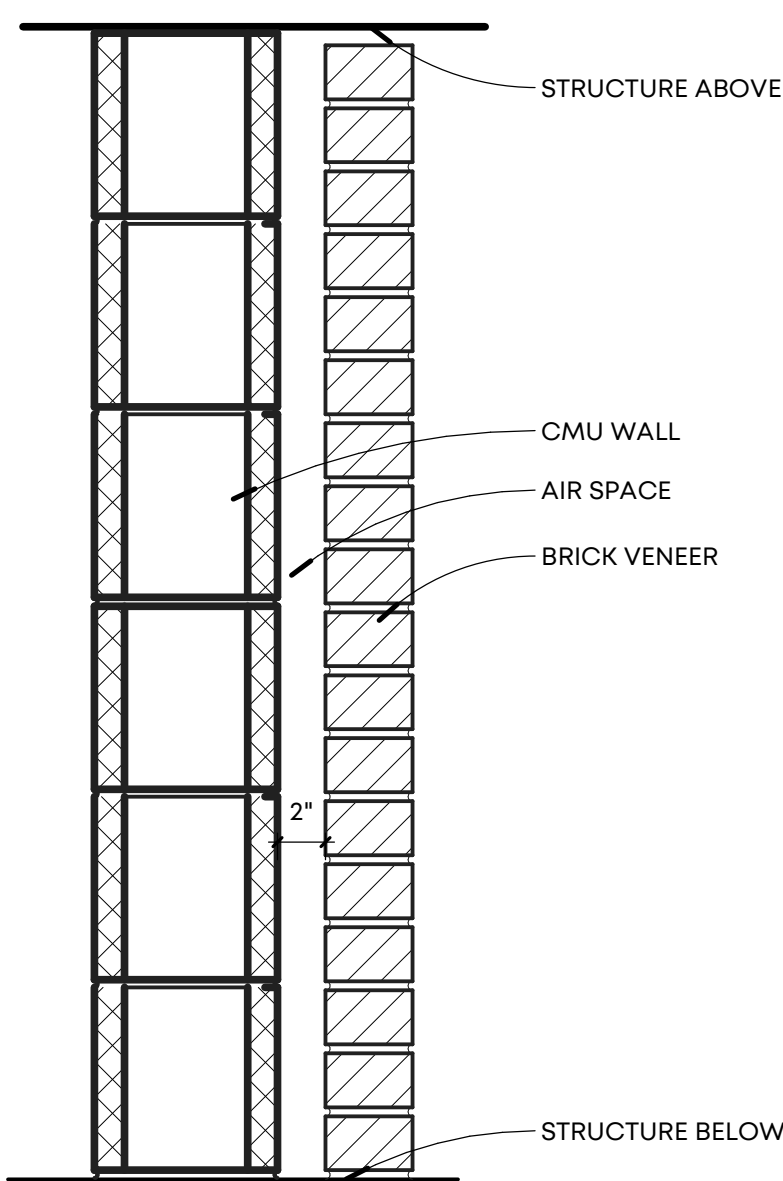
DOOR TYPES



MARK	RATING	STUD SIZE	UL NUMBER	STC RATING
A1	-	3 5/8"	-	-
A2	1 HR.	6"	U305	-

*NOTE: MUST USE 18 GAUGE FOR WALLS TALLER THAN 14'-0"

A PARTITION TYPE A



MARK	RATING	UL NUMBER	STC RATING
B1	2 HR.	U905	STC-50 MIN

B PARTITION TYPE B

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Issues and Revisions

A	Date	Issued / Revised
2	06.09.21	25% Construction Progress Set
3	08.06.21	Permit Set

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Seal

LRK Project Number: 01.19036.00

Project Name:

Orleans Station
Retail

704 Madison Avenue
Memphis, TN 38103

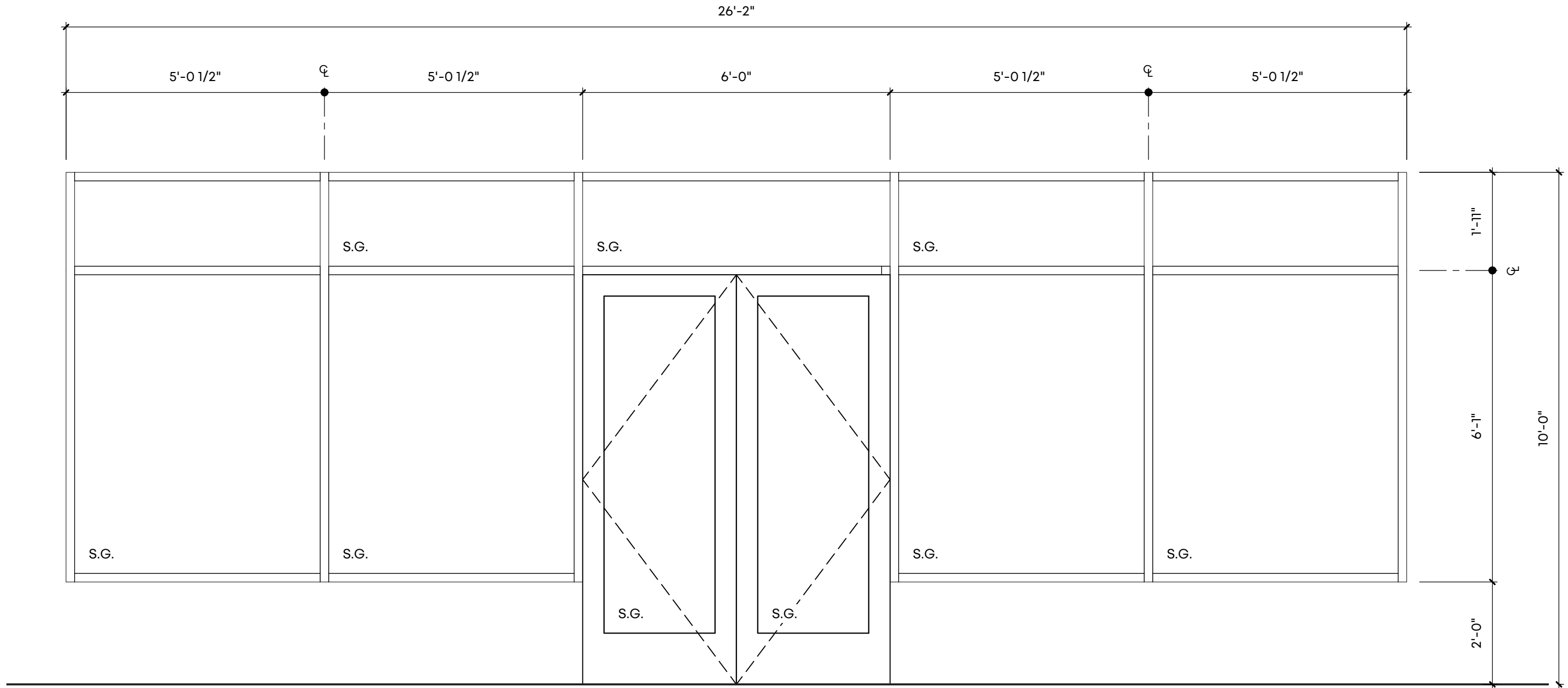
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CONSTRUCTION
ASSEMBLIES, DOOR
SCHEDULES AND DETAILS

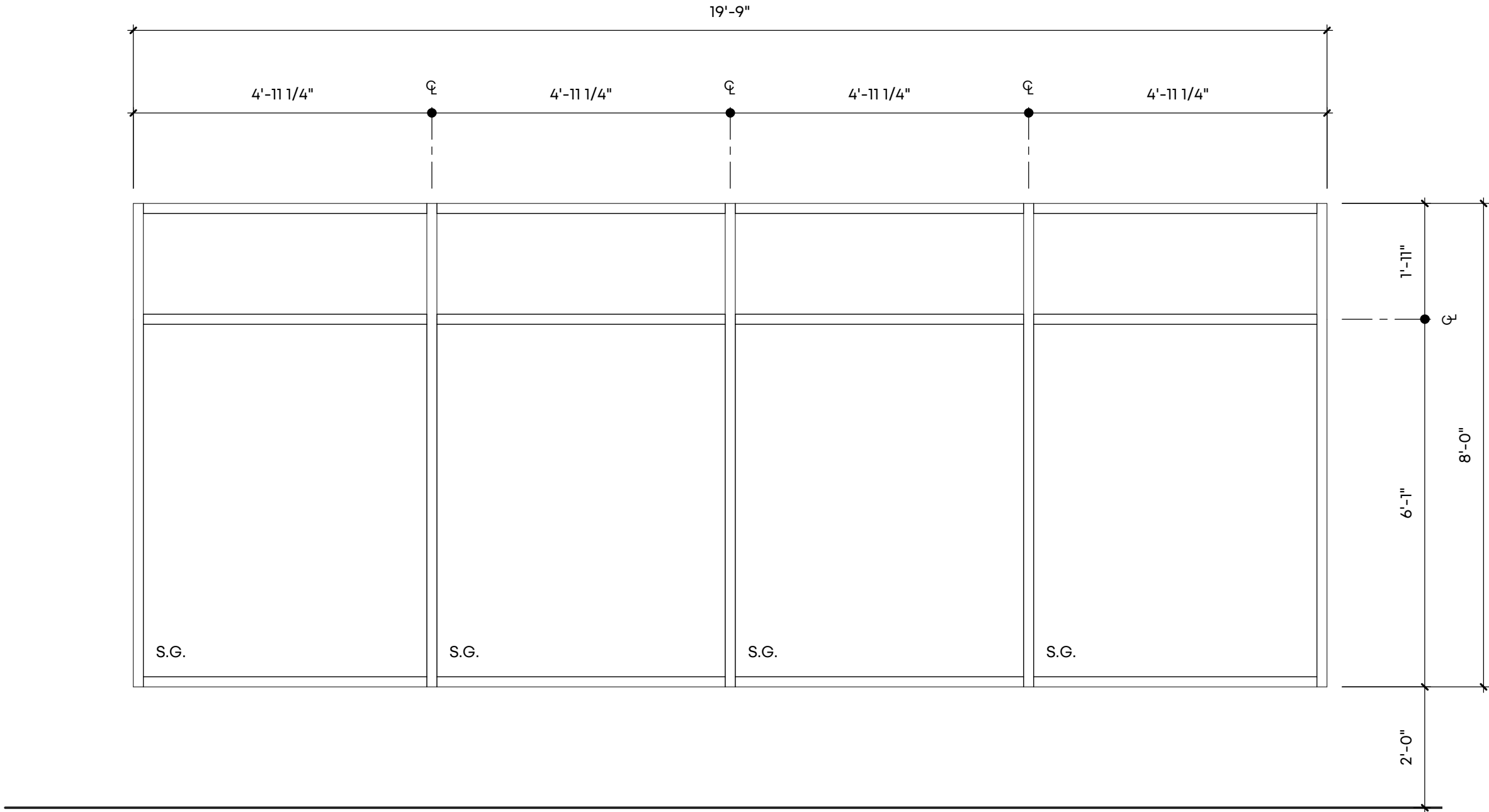
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Checked By: VWB

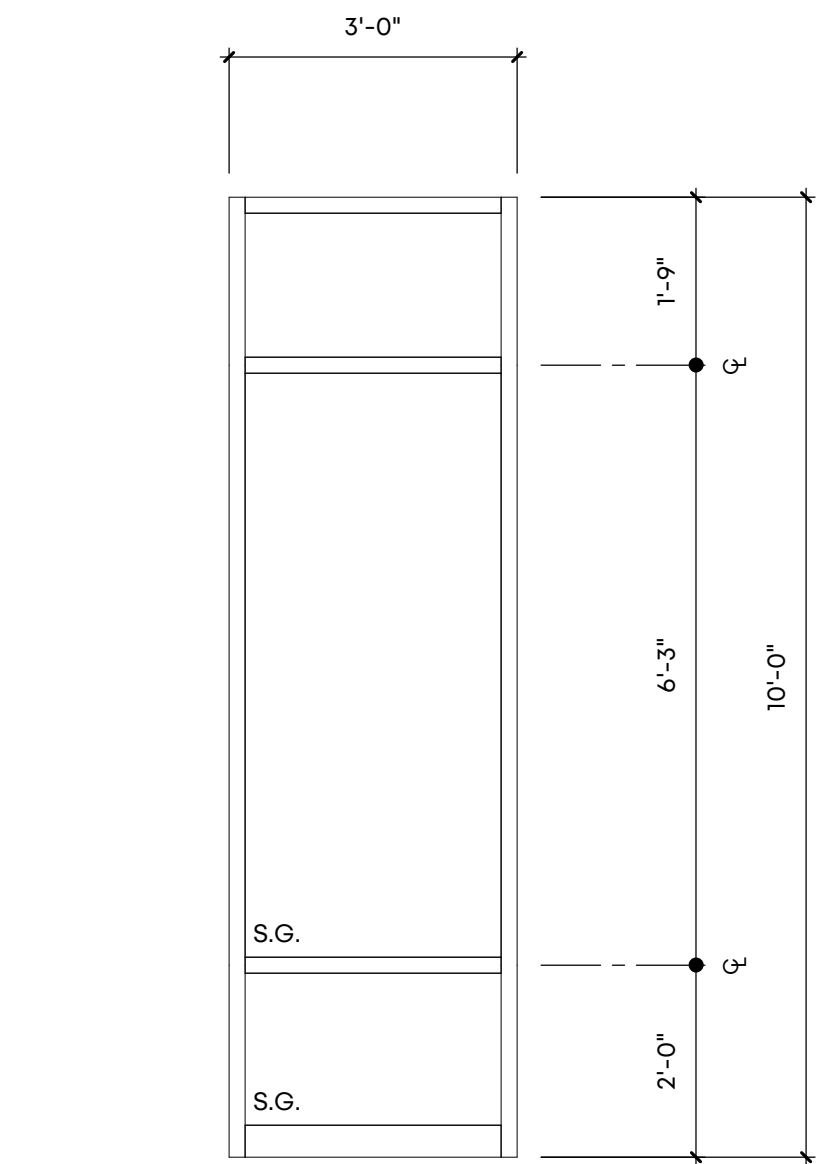
A601



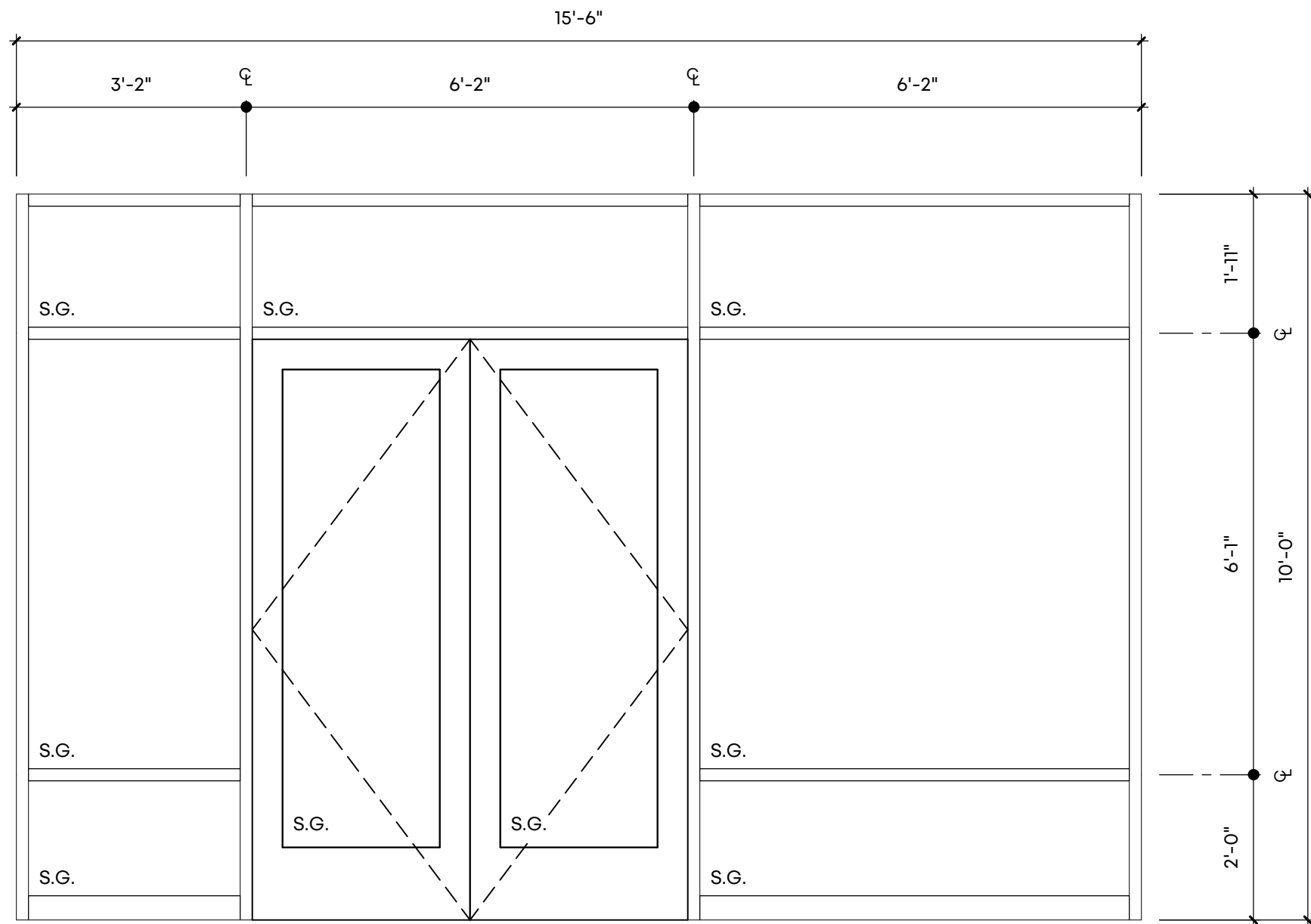
SA STOREFRONT SA
SCALE: 1/2" = 1'-0"



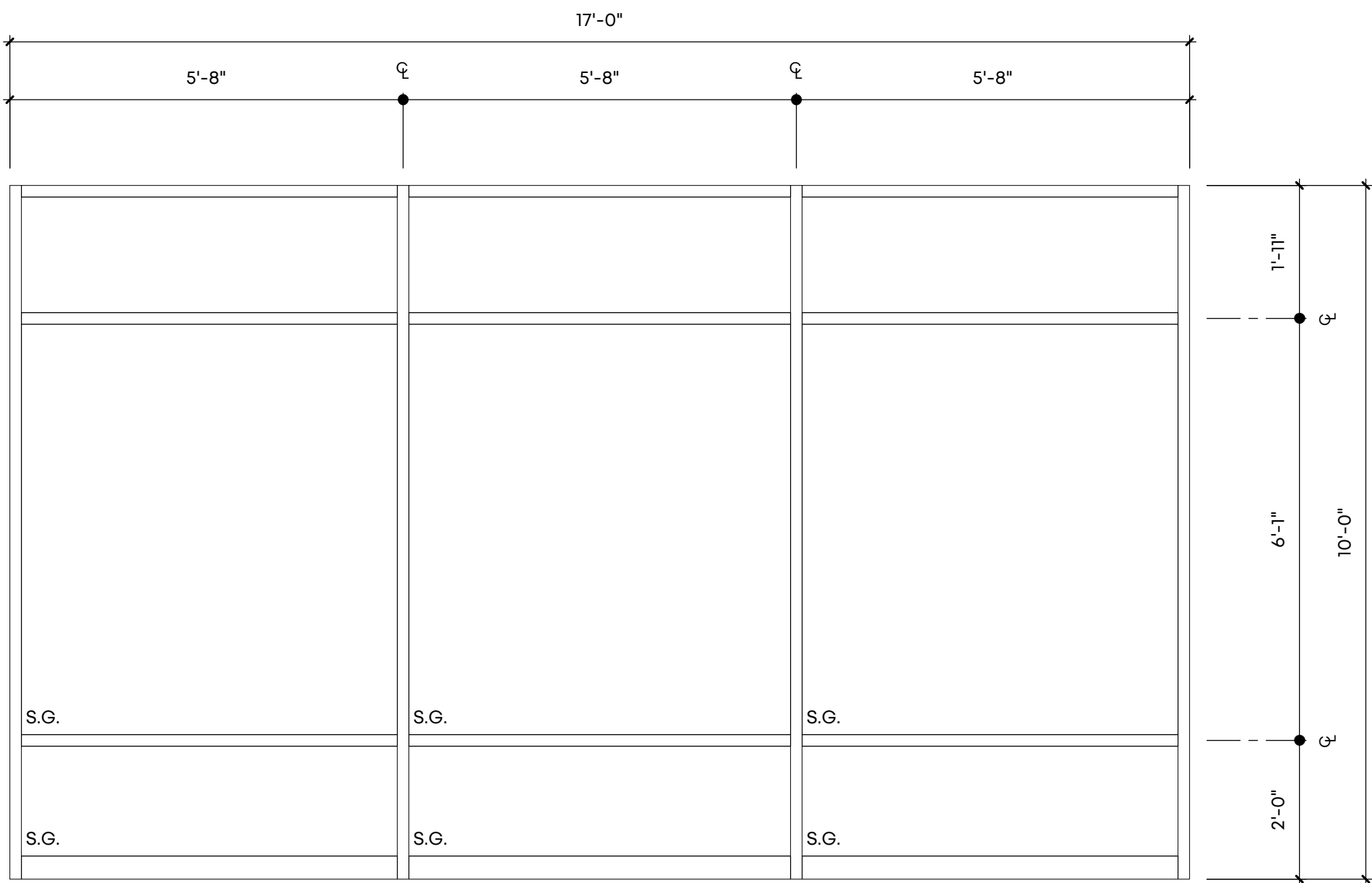
SB STOREFRONT SB
SCALE: 1/2" = 1'-0"



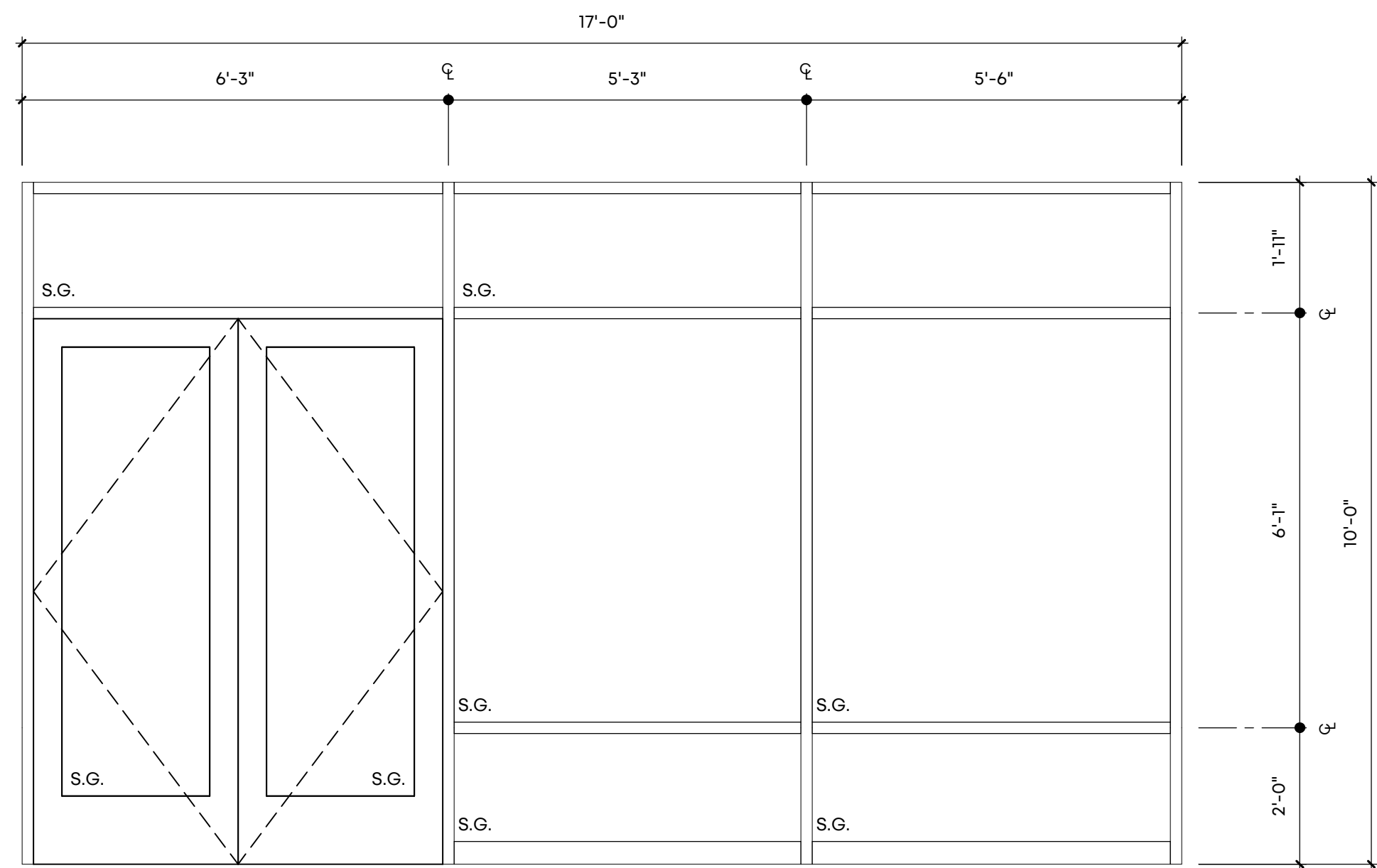
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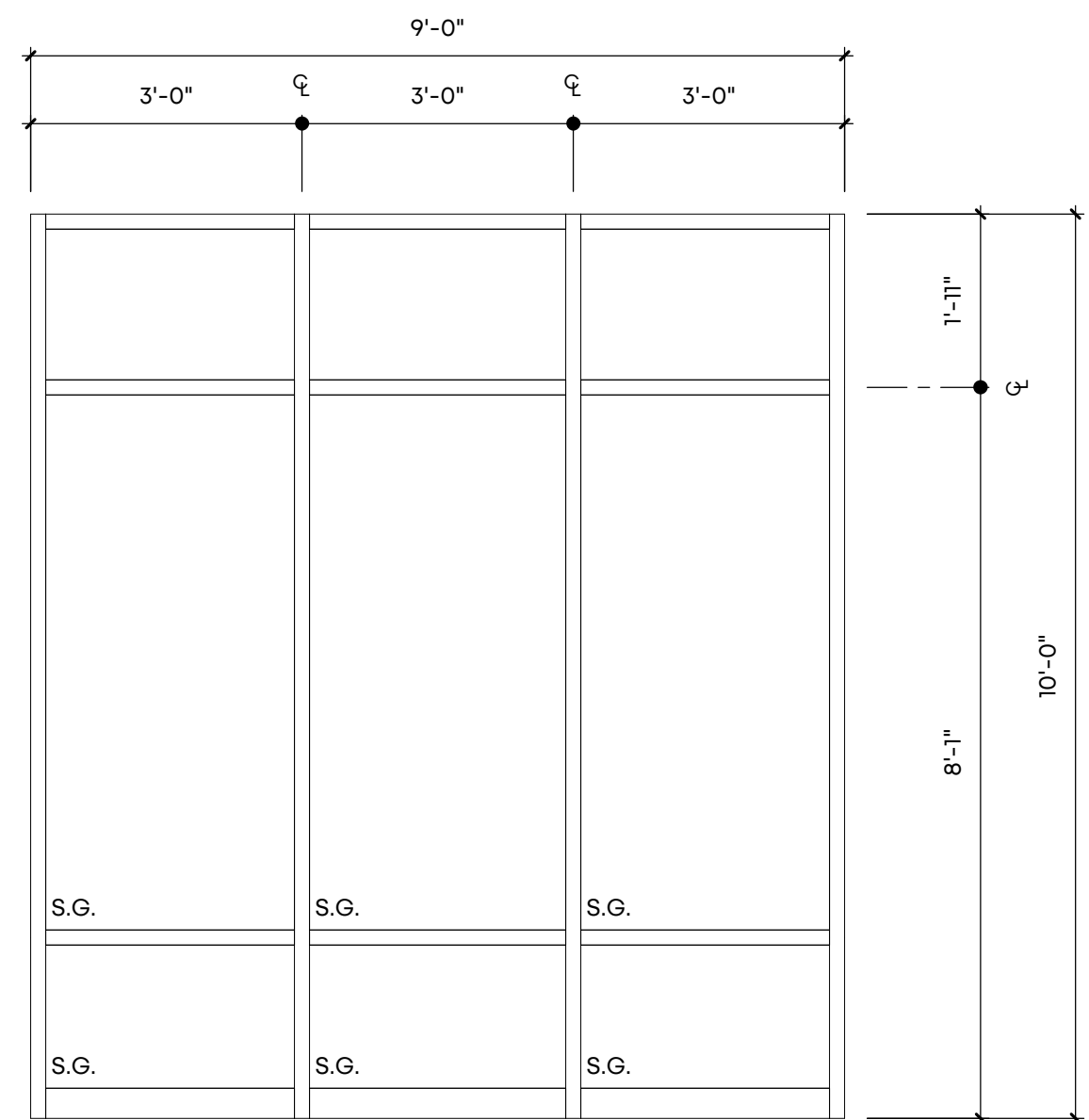
SC STOREFRONT SC
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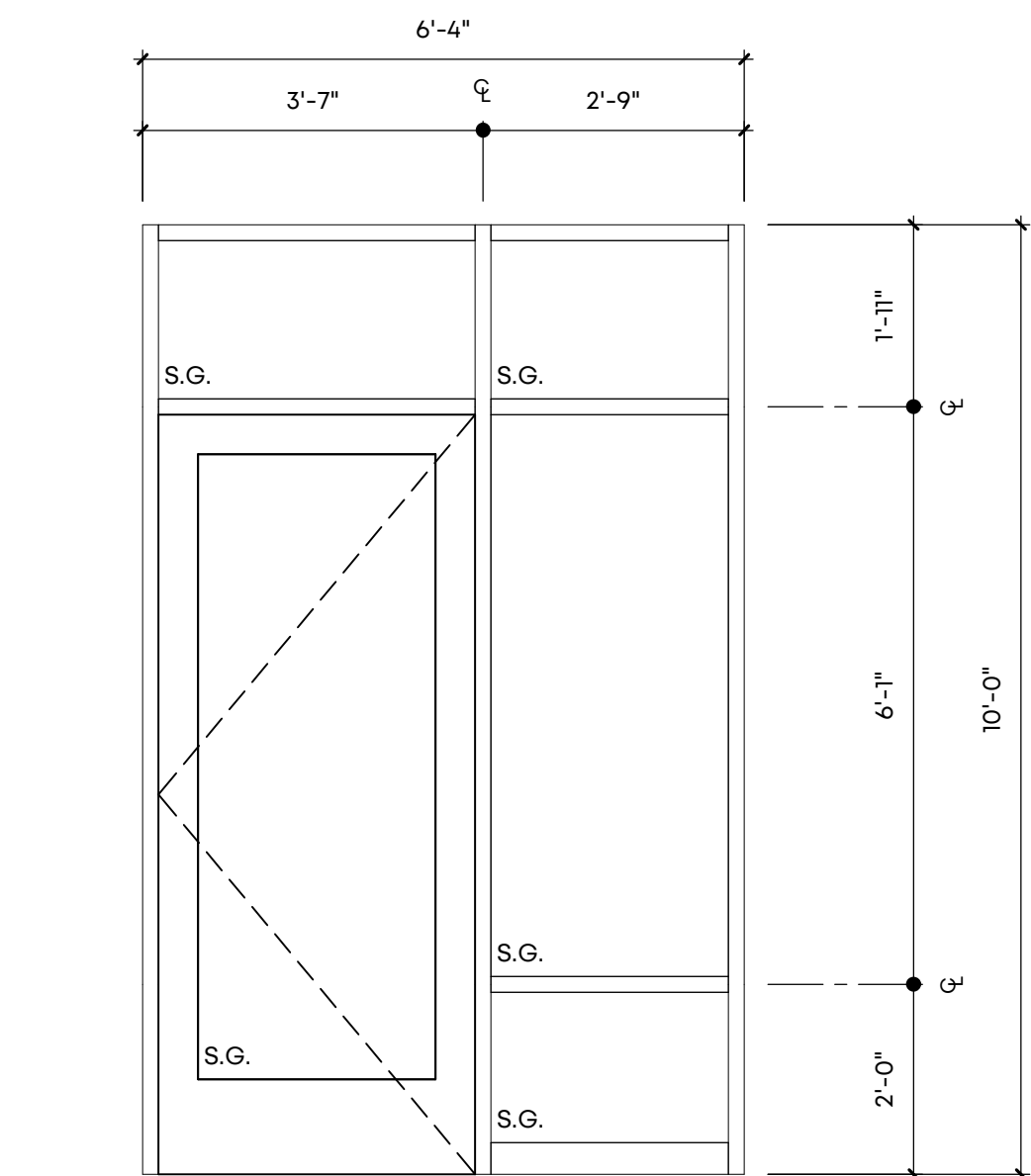
SD STOREFRONT SD
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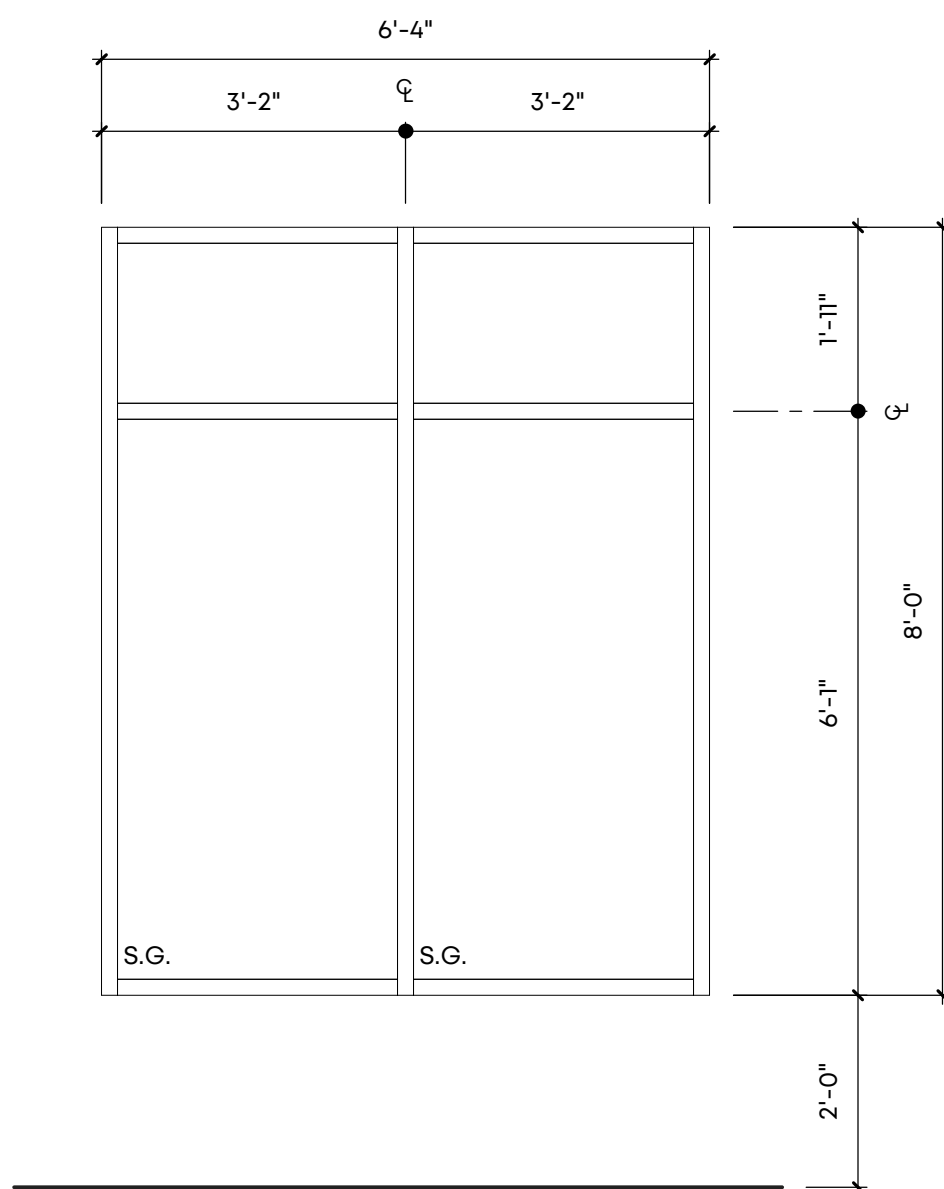
SE STOREFRONT SE
SCALE: 1/2" = 1'-0"



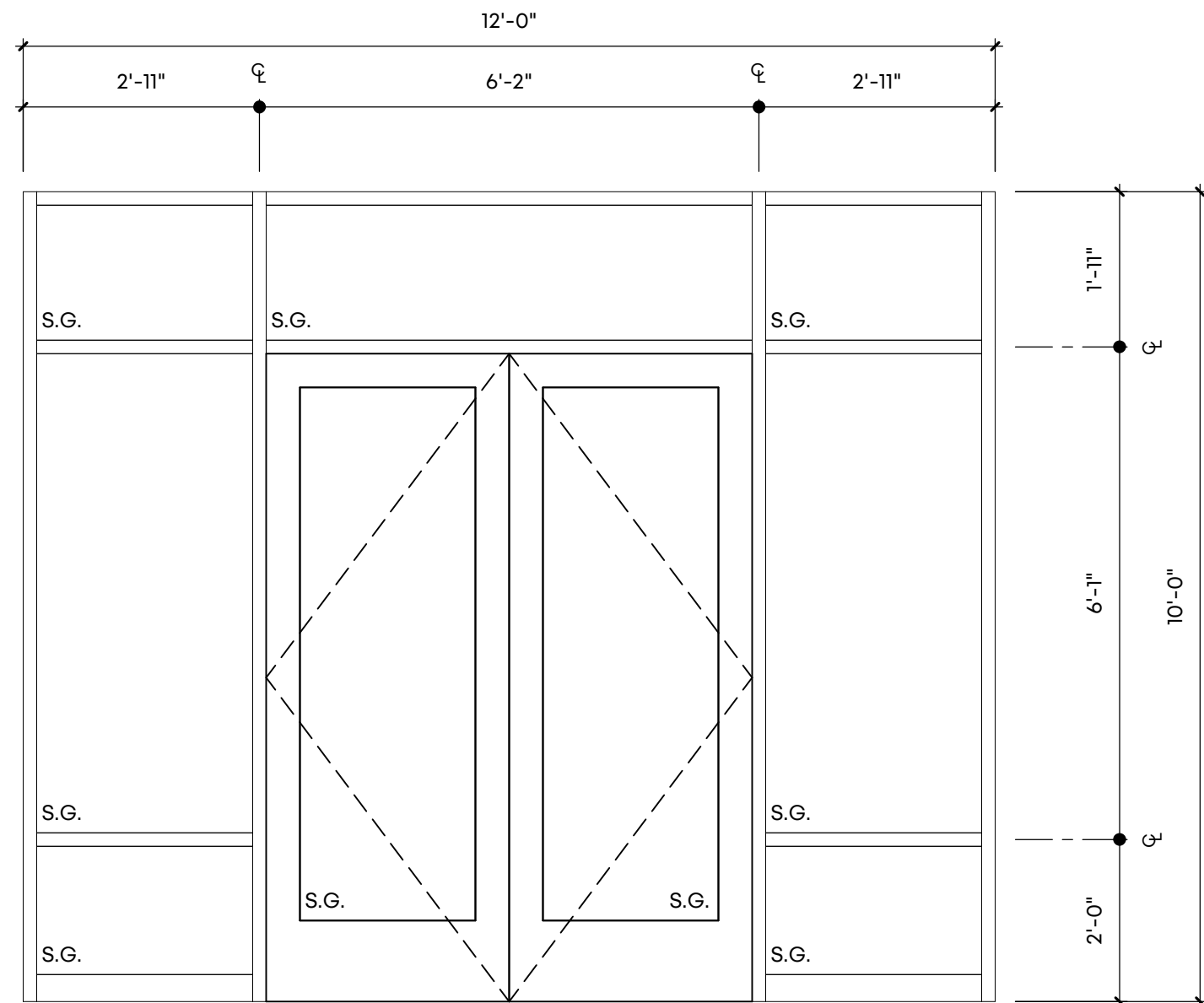
SF STOREFRONT SF
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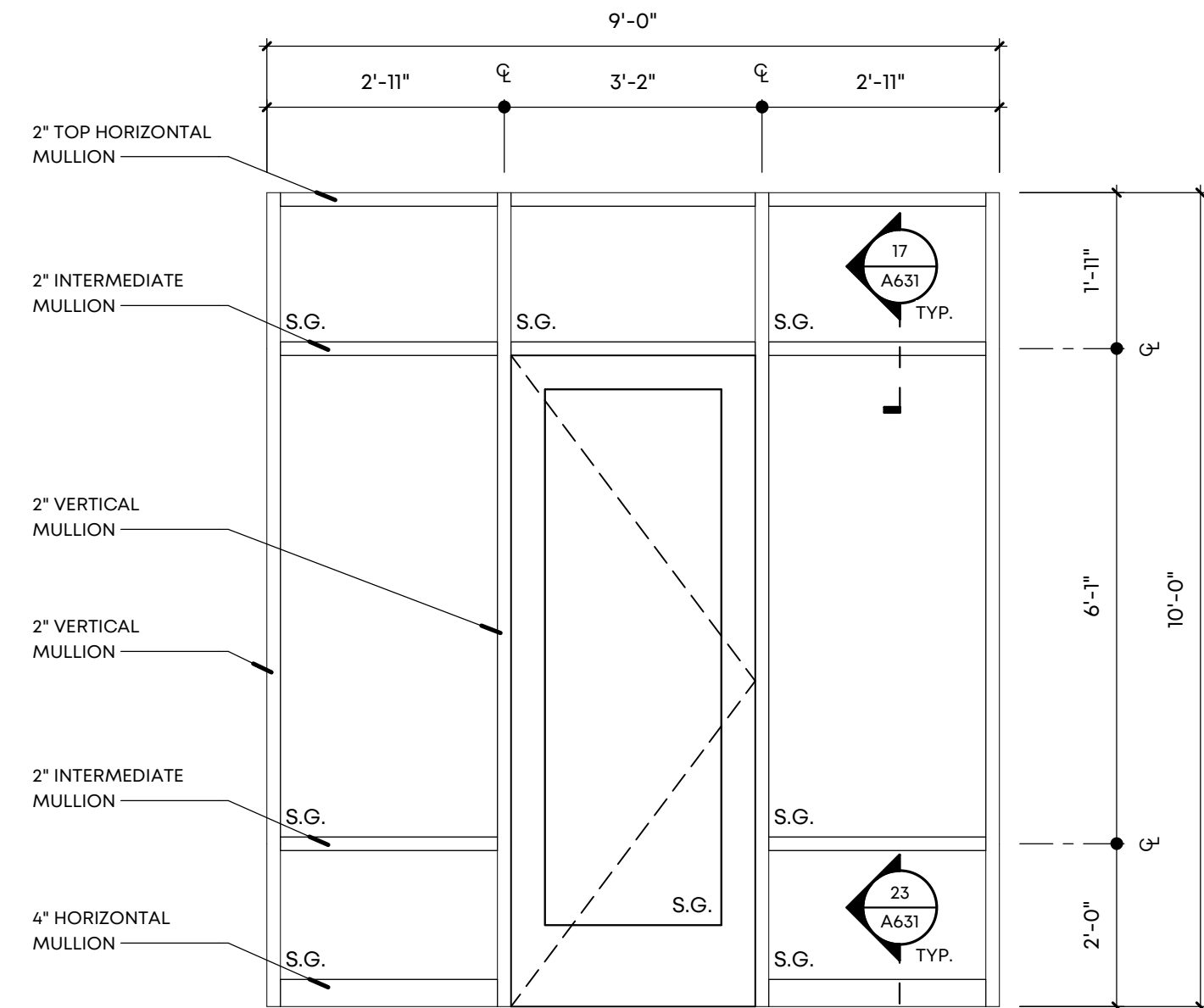
SG STOREFRONT SG
SCALE: 1/2" = 1'-0"



SH STOREFRONT SH
SCALE: 1/2" = 1'-0"



SJ STOREFRONT SJ
SCALE: 1/2" = 1'-0"



SK STOREFRONT SK
SCALE: 1/2" = 1'-0"



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Project Name:

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Retail**

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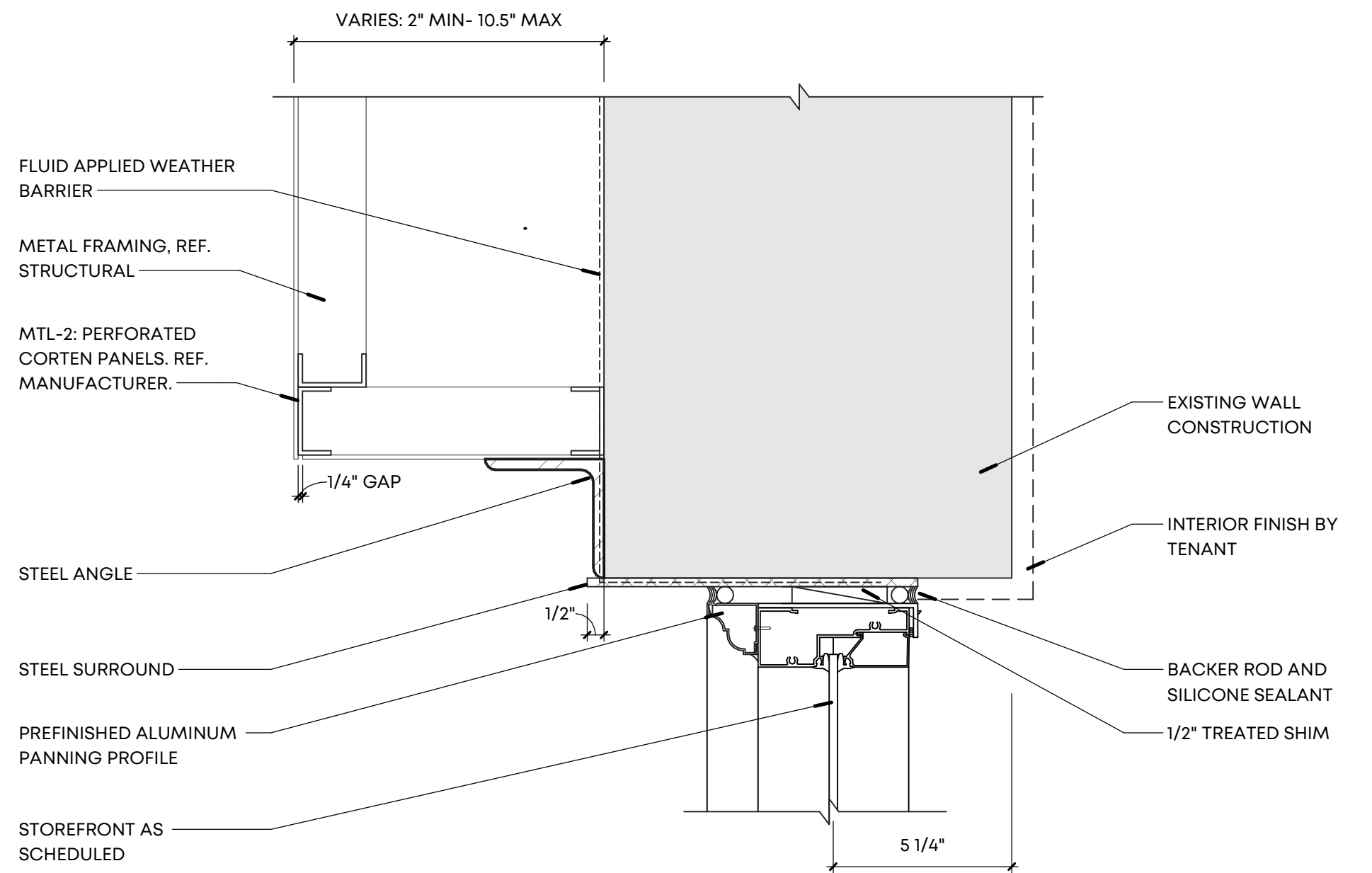
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STOREFRONT ELEVATIONS

Drawn By: SWM

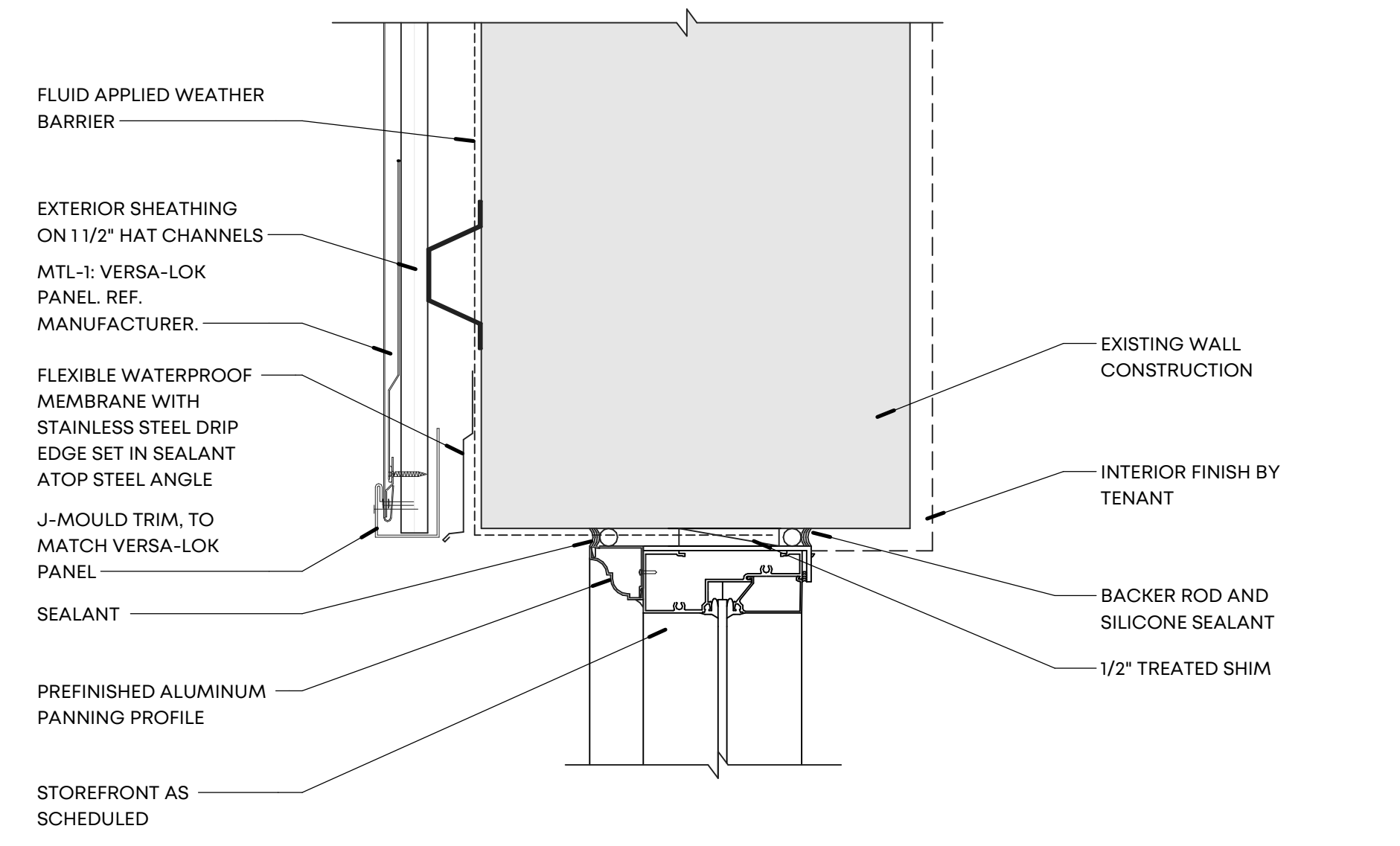
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A630



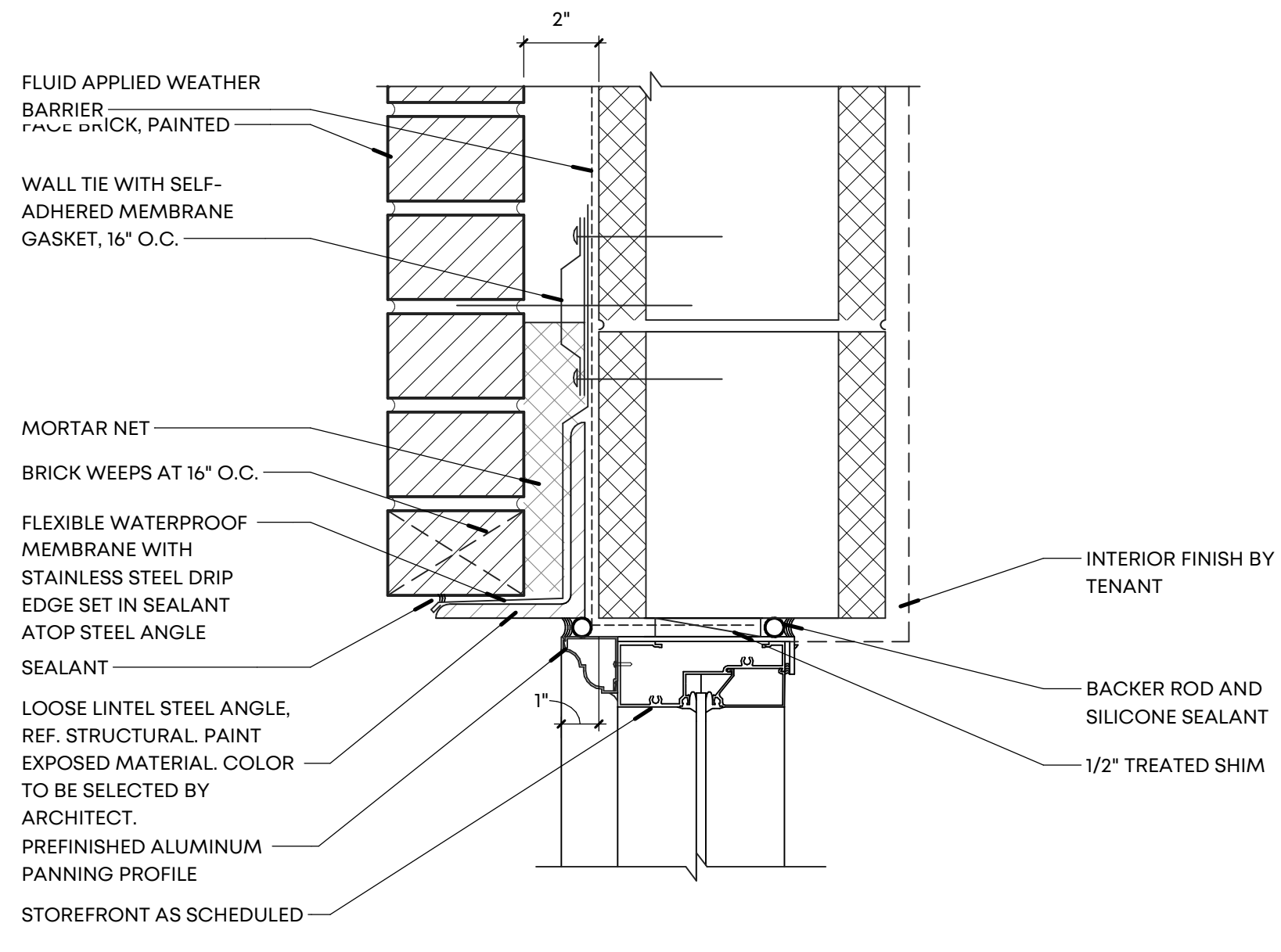
8 STOREFRONT HEAD IN CORTEN PANEL

SCALE: 3" = 1'-0"



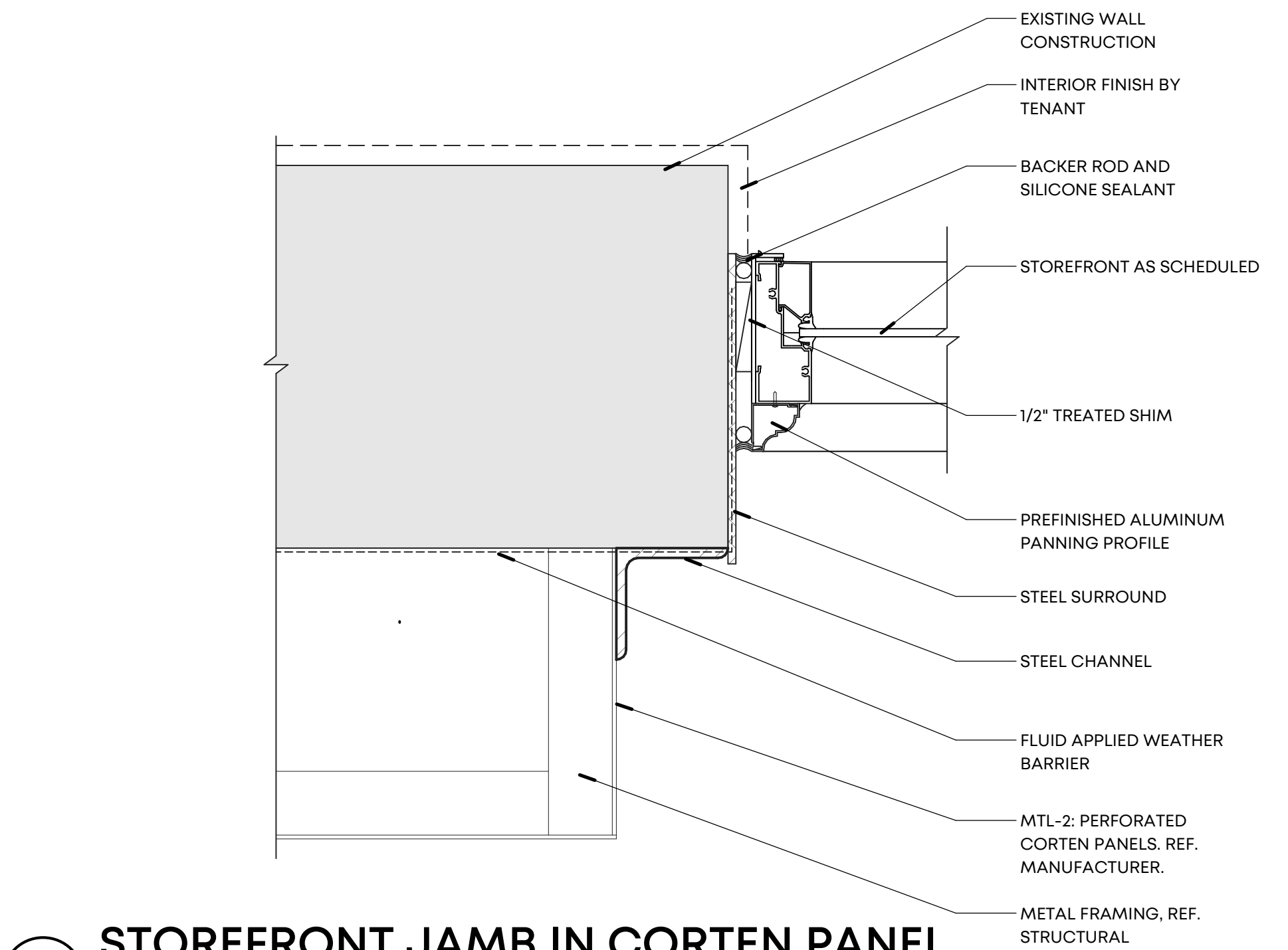
10 STOREFRONT HEAD IN METAL PANEL

SCALE: 3" = 1'-0"



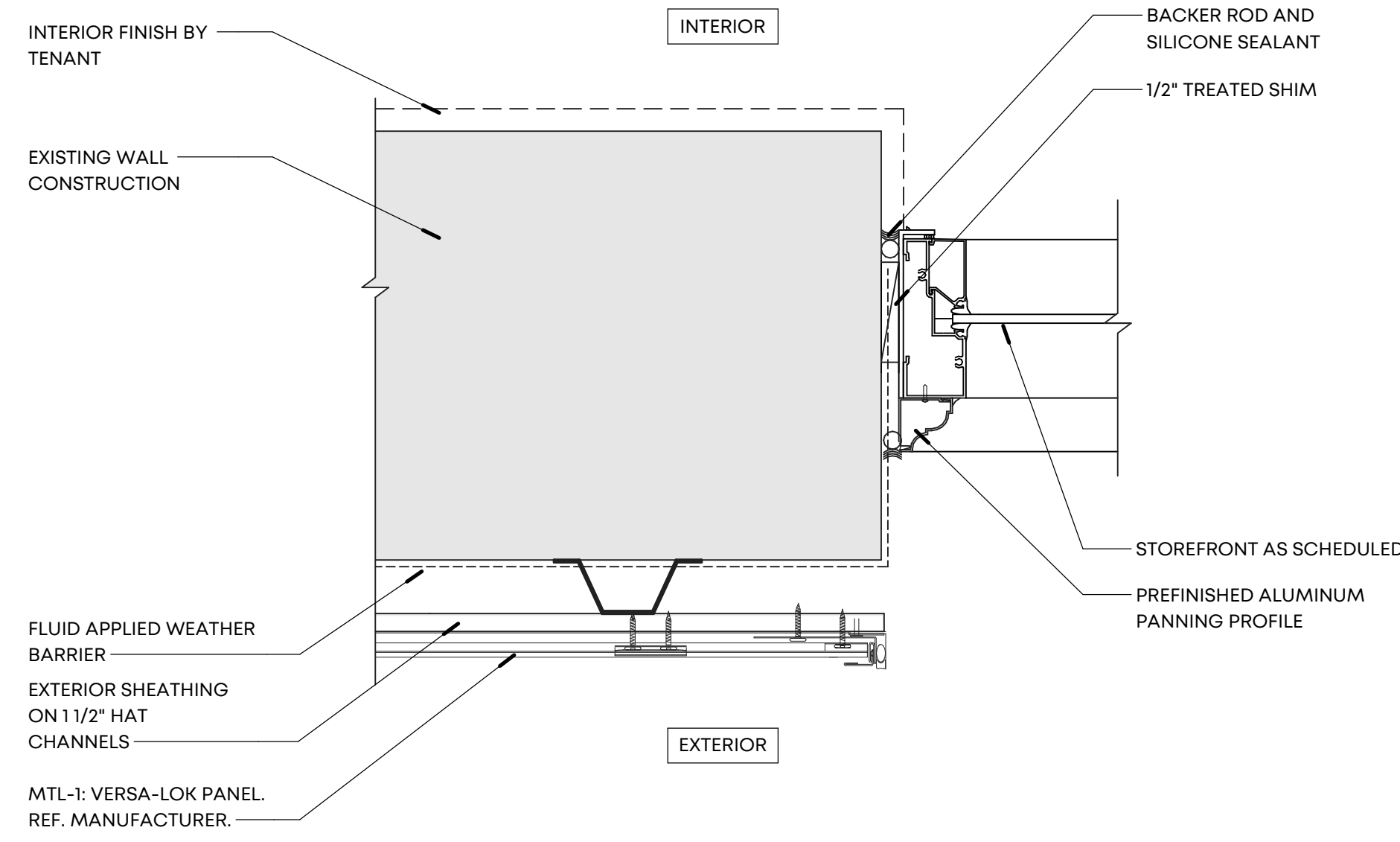
12 STOREFRONT HEAD IN BRICK

SCALE: 3" = 1'-0"



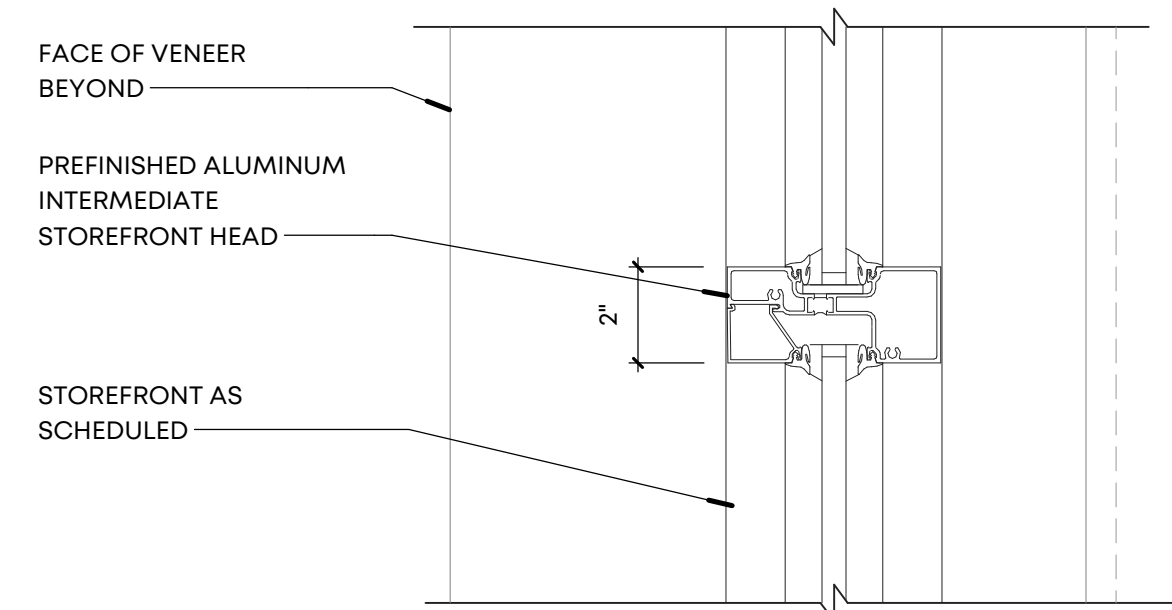
14 STOREFRONT JAMB IN CORTEN PANEL

SCALE: 3" = 1'-0"



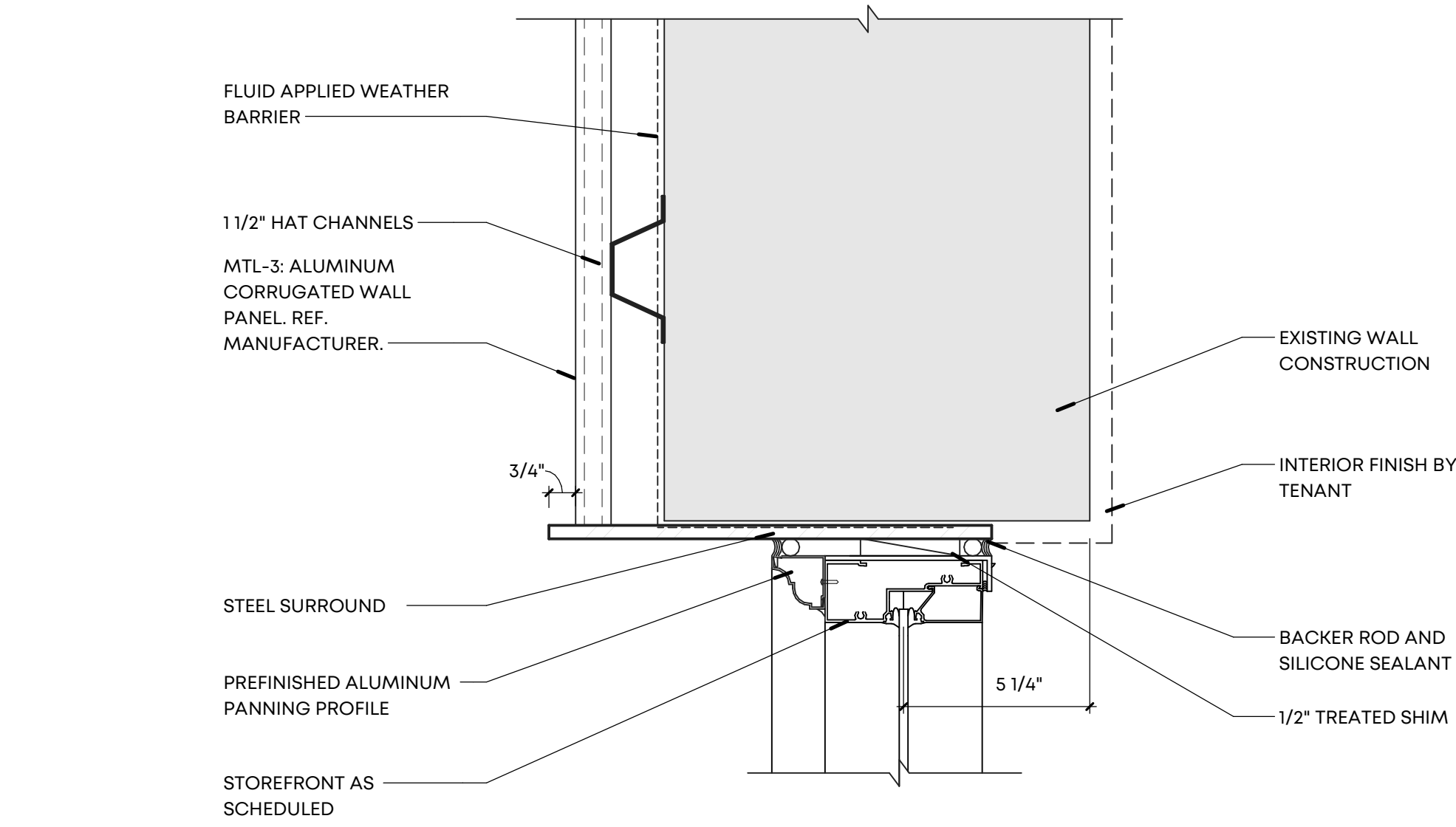
16 STOREFRONT JAMB IN METAL PANEL

SCALE: 3" = 1'-0"



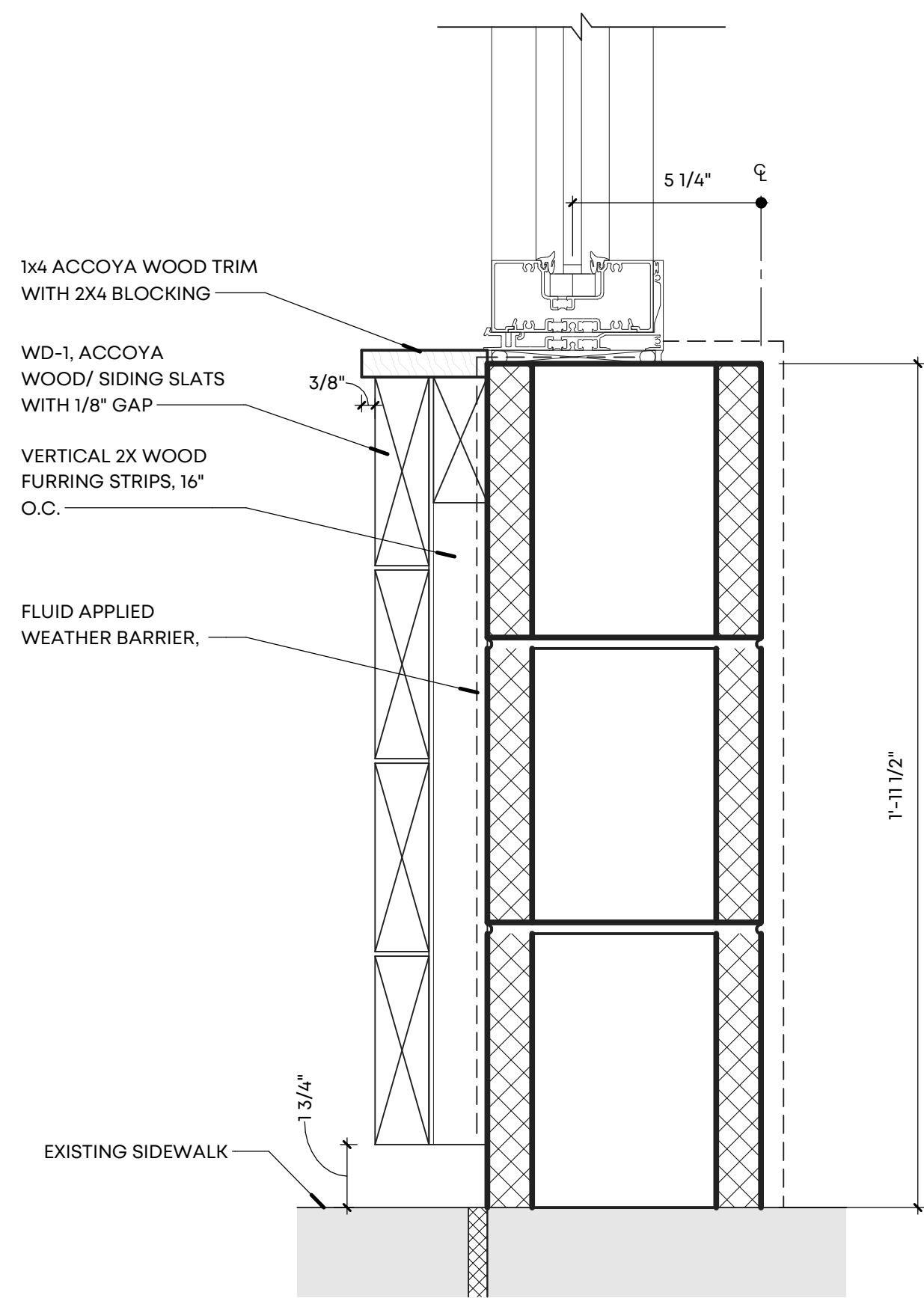
17 INTERMEDIATE HEAD DETAIL

SCALE: 3" = 1'-0"



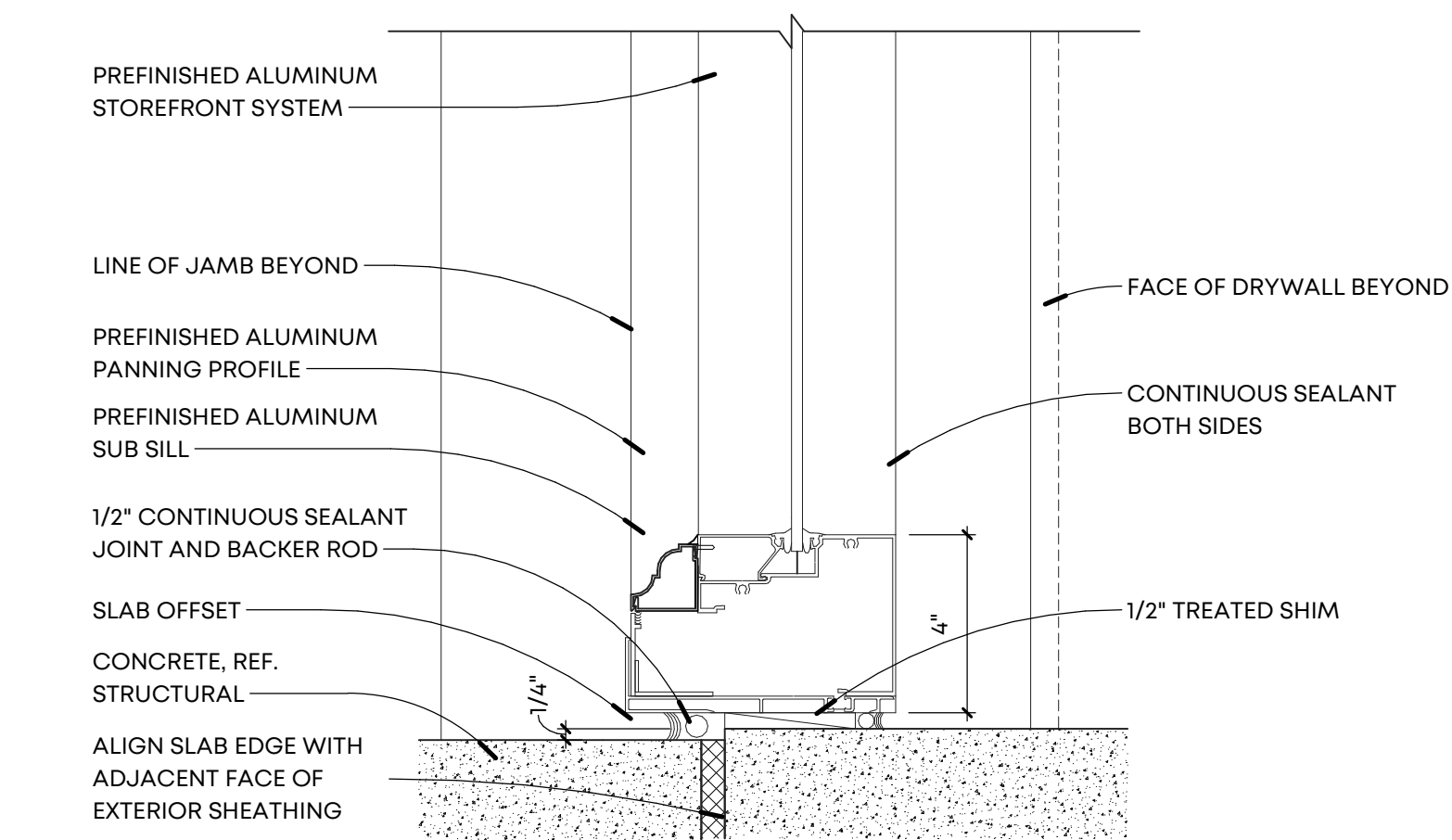
26 STOREFRONT IN CORRUGATED METAL

SCALE: 3" = 1'-0"



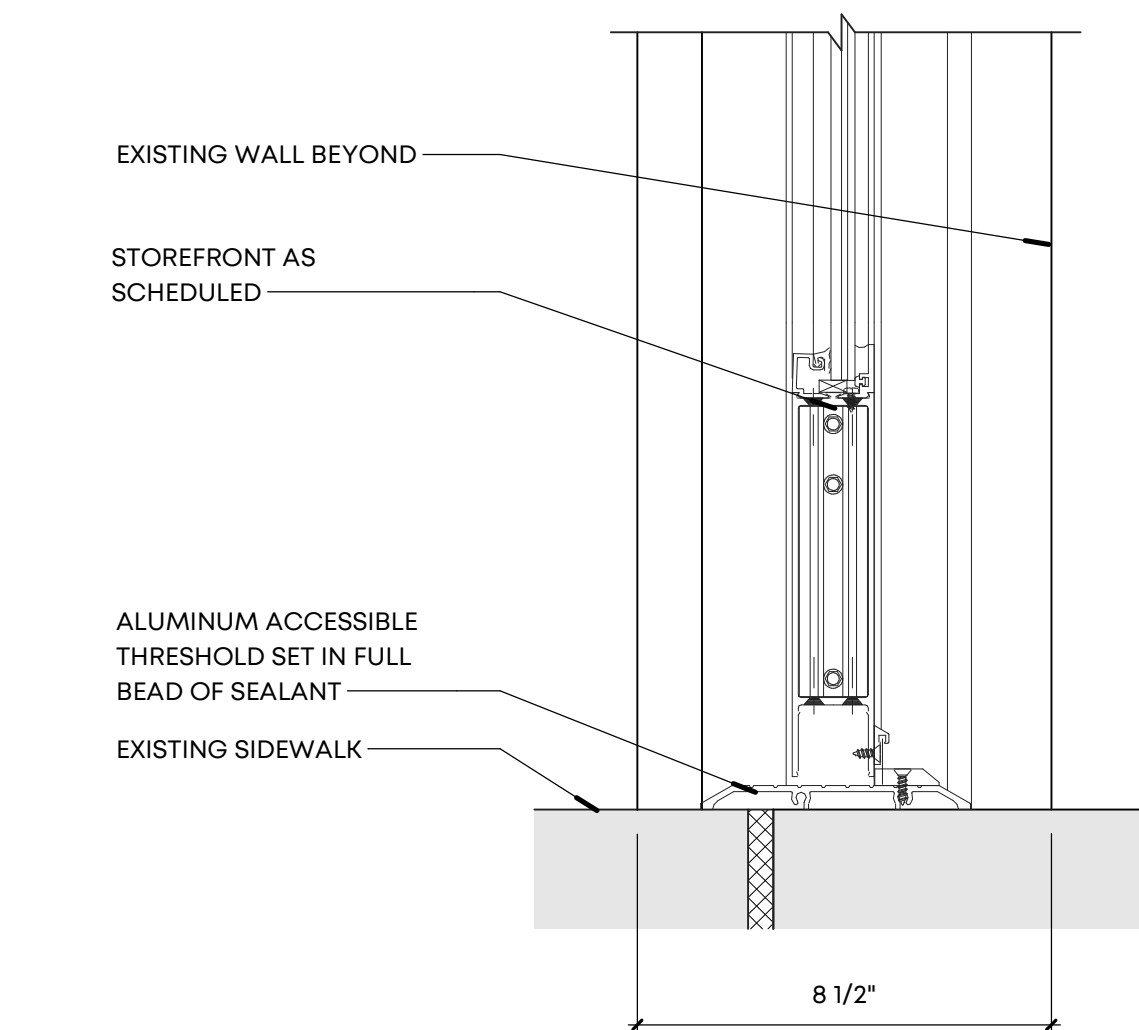
28 STOREFRONT SILL AT WOOD

SCALE: 3" = 1'-0"



23 STOREFRONT SILL, TYPICAL

SCALE: 3" = 1'-0"



30 STOREFRONT THRESHOLD, TYPICAL

SCALE: 3" = 1'-0"

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Seal

LRK Project Number: 01.19036.00

Project Name:

Orleans Station
Retail

704 Madison Avenue
Memphis, TN 38103

Drawing Name:

STOREFRONT DETAILS

Drawn By: SWM

Checked By: VWB

A631

BUILDING CODE

DESIGN LIVE LOADS	2015 INTERNATIONAL BUILDING CODE
CODE REFERENCE	2015 INTERNATIONAL EXISTING BUILDING CODE

DEAD LOADS:	
STEEL BMS JOISTS	6 psf
INTERIOR PARTITIONS, ETC.	15 psf
ROOFING AND INSULATION	5 psf
METAL DECKING	2 psf
CEILING	2 psf
HV & A/C	2 psf

GRAVITY LIVE LOADS:	
ROOF	20 psf

WIND LOAD DESIGN DATA:	
WIND LOAD IMPORTANCE FACTOR	1.00
BASIC WIND SPEED	115 MPH
WIND EXPOSURE CATEGORY	C
WIND REFERENCE PRESSURE	20 psf

SEISMIC NOTES:

THE SEISMIC LOADING CRITERIA DOES NOT INCREASE BY 10% PER IBCG, THEREFORE, THE UPGRADE OF THE LATERAL SYSTEM OF THE BUILDING IS NOT REQUIRED THROUGH THE WORK AREA COMPLIANCE METHOD PER IBCG 2015.

SEISMIC DESIGN DATA:

IMPORTANCE FACTOR, Ie = 1.00
SPECTRAL RESPONSE, Ss = 0.9736, Si = 0.3395
SITE CLASS = D
SPECTRAL RESPONSE CO-EFFICIENTS, Sds = 0.721, Sm = 0.390
SEISMIC DESIGN CATEGORY = D
ORDINARY REINFORCED MASONRY WALLS
RESPONSE MODIFICATION FACTOR, R = 2.00
EQUIVALENT LATERAL FORCE PROCEDURE

HANDRAILS & GUARDRAILS:

HANDRAIL LOADS-200 lbs concentrated load at any point in any direction or 50 psf applied in any direction (WHICHEVER LOADING CONDITION PRODUCES THE HIGHEST STRESS WILL BE USED)

GUARDRAIL LOADS-200 lbs concentrated load at any point in any direction applied at the top of the rail, 50 psf in any direction applied horizontally at the required guardrail height w/ A simultaneous 100 psf load applied vertically downward, OR A 200 lbs concentrated load at any point in any direction applied to A 1 sq. FT. AREA (WHICHEVER LOADING CONDITION PRODUCES THE HIGHEST STRESS WILL BE USED)

GENERAL:

- SEE ARCHITECTURAL DRAWINGS FOR ANGLES, CLIPS, BARS, PLATES AND OTHER ITEMS ATTACHED TO STRUCTURAL MEMBERS.
- PROVIDE TEMPORARY BRACING AS REQUIRED TO MAINTAIN ALIGNMENT AND SECURITY OF STRUCTURES DURING CONSTRUCTION.
- DO NOT CUTTING, DRILLING, OR MODIFYING OF STRUCTURAL MEMBERS WITHOUT THE APPROVAL OF THE ARCHITECT.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCY.
- THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE THE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS WITH THE STRUCTURAL DRAWINGS.
- CONTRACTOR TO VERIFY ALL WALL, COLUMN, AND SLAB LOCATIONS, THICKNESS, AND DIMENSIONS WITH ARCHITECTURAL DRAWINGS.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE PLACEMENT OF FOOTINGS, COLUMNS, SLAB, WALLS, SHAFTS, ETC., WITH ALL SUBCONTRACTORS INVOLVED.
- FOUNDATIONS ARE DESIGNED WITH AN ASSUMED SOIL BEARING PRESSURE OF 2,000 P.S.F. FOR ALL FOOTINGS. ALL FOOTINGS SHALL BE BELOW THE FROST DEPTH WITH 18" MIN. TO BOTTOM BELOW ADJACENT GRADE.
- THE OWNER AND/OR GENERAL CONTRACTOR MUST VERIFY ACTUAL SOIL BEARING PRESSURE PRIOR TO CONSTRUCTION. A SIGNED AND SEALED REPORT FROM A GEOTECHNICAL ENGINEER WILL BE PROVIDED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION. FOUNDATIONS MAY REQUIRE RE-DESIGN AFTER REVIEW OF THE GEOTECHNICAL REPORT WHICH MAY IMPACT CONSTRUCTION SCHEDULE AND INCREASE CONSTRUCTION COSTS.
- VERIFY ALL OPENING SIZES AND LOCATIONS ON THE STRUCTURAL DRAWINGS w/ THE MECHANICAL DRAWINGS.
- DO NOT SCALE DRAWINGS FOR DIMENSIONS. VERIFY ALL DIMENSIONS WITH ARCHITECT.
- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS COMPLETE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE TO INSURE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, CUES OR TIE DOWNS. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT CONSTRUCTION COMPLIES WITH OSHA REGULATIONS INCLUDING DESIGN OF CONNECTIONS OF MEMBERS THAT WILL NOT BE FULLY COMPLETED AT THE TIME OF INSTALLATION.
- CONTRACTOR PROPOSED CHANGES OR SUBSTITUTIONS - PROPOSED CHANGES OR SUBSTITUTIONS TO THE STRUCTURAL DETAILS OR PLANS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD (EOR) FOR REVIEW AND APPROVAL. SUBMITTALS SHALL CONTAIN FULL DOCUMENTATION OF CHANGES OR SUBSTITUTIONS WITH SUPPORTING, SEALED CALCULATIONS (WHERE APPLICABLE), THE REVIEW OF CHANGES AND SUBSTITUTIONS, RE-ANALYSIS AND/OR RE-DRAFTING TO INCORPORATE CHANGES OR SUBSTITUTIONS. INTO CONTRACT DOCUMENTS ARE ADDITIONAL SERVICES FOR EOR. EOR IS NOT RESPONSIBLE FOR DETERMINING THE COST EFFECTIVENESS OF PROPOSED CHANGES.
- CONTRACTOR REQUIRED REMEDIAL WORK - DESIGN OF REMEDIAL WORK RELATED TO CONSTRUCTION ERRORS, INSTALLATIONS NOT IN CONFORMANCE WITH CONTRACT DOCUMENTS, OR IN ANY WAY BROUGHT ABOUT BY ACTIVITIES OF THE CONTRACTOR, IS NOT WITHIN THE SCOPE OF CA SERVICES PROVIDED BY ENGINEER OF RECORD. THE CONTRACTOR SHALL CARRY IN HIS BASE BID THE COSTS FOR ENGINEERING WORK ASSOCIATED WITH THE ABOVE.

CONCRETE & MASONRY:

- CONCRETE STRENGTH TO BE 4000 PSI AT 28 DAYS
- SEE NOTE #3 CONCERNING TESTING OF CONCRETE
- CONCRETE EXPOSED TO WEATHER TO BE AIR - ENTRAINED (8% MAX. - 3% MIN.)
- CONCRETE AND REINFORCING STEEL TO BE AS PER THE LATEST EDITION ACI 318 AND ACI 301. TESTING OF CONCRETE TO BE IN ACCORDANCE w/ ACI 301 BY AN INDEPENDENT TESTING AGENCY AT CONTRACTORS EXPENSE.
- PROVIDE SHOP DRAWINGS DETAILING REINFORCING STEEL PRIOR TO FABRICATION OF SAME. (INCLUDE IN SUBMITTALS ELEVATIONS OF ALL REINFORCED WALLS AND COLUMNS UNLESS OTHERWISE NOTED). DETAILING SHALL BE ACCOMPLISHED BY AN EXPERIENCED DETAILER AND ACCORDING TO ACI 318.
- ALL SLAB ON GRADE TO BE 4" CONCRETE w/ WELDED WIRE MESH ON CRUSHED STONE, UNLESS NOTED OTHERWISE. SEE ARCHITECTURAL DRAWINGS FOR ANY DRESSED AREAS, VAPOR BARRIERS, ETC.
- THE MINIMUM CONCRETE COVER SHALL BE IN ACCORDANCE WITH A.C.I. 318.
- ALL 8" HOLLOW CONCRETE MASONRY UNITS TO MEET A.S.T.M. SPECIFICATIONS C90, GRADE N, TYPE 1, WITH MINIMUM ULTIMATE COMPRESSIVE PRISM STRENGTH (F'm) OF 1,500 PSI
- ALL ABOVE GRADE MORTAR SHALL MEET A.S.T.M. SPECIFICATIONS FOR TYPE "S" MORTAR EXCEPT AS SHOWN OTHERWISE WITH A MINIMUM COMPRESSIVE STRENGTH OF 1,800 P.S.I. ALL BELOW GRADE MORTAR SHALL MEET A.S.T.M. SPECIFICATIONS FOR TYPE "M" MORTAR. ADDITIVES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED.
- HORIZONTAL JOINT REINFORCING SHALL BE AT 16" C.C. (STANDARD WEIGHT) EXCEPT AS SHOWN OTHERWISE. PARAPET HORIZONTAL JOINT REINFORCING SHALL BE EXTRA-HEAVY GAUGE AT 8"o.c.
- ALL MASONRY CORNERS SHALL HAVE 3 VOIDS REINFORCED w/ (1) #5 EACH VOID AND GROUTED, UNLESS NOTED OTHERWISE, (U.N.O.). PROVIDE 2- #5 EACH SIDE OF WINDOW AND DOOR OPENINGS @ 8" CMU WALLS.
- ALL CELLS WHERE REINFORCING IS SPECIFIED SHALL BE FILLED w/ CONCRETE GROUT.
- REINFORCING SHALL BE A-615 GRADE 60 IN ACCORDANCE WITH LATEST A.S.T.M. SPECIFICATIONS.
- REINFORCING IN ALL CONCRETE FOOTING AND WALLS SHALL BE CONTINUOUS AROUND CORNERS.
- LAP ALL STEEL 48 BAR DIAMETERS OR 18" MINIMUM AT SPLICES AND CORNERS, U.N.O.
- GROUT SHALL CONFORM TO A.S.T.M. (LATEST EDITION), 3000 PSI STRENGTH.
- ALL BLOCK CELLS BELOW GRADE SHALL BE FILLED SOLID WITH CONCRETE OR GROUT.
- CONSTRUCTION OF LOAD-BEARING CONCRETE MASONRY SHALL CONFORM TO SPECIFICATIONS BY THE NATIONAL CONCRETE MASONRY ASSOCIATION AND A.C.I. 531.
- PROVIDE 2 #5 BARS EXTRA E.S. OF ALL OPENINGS IN CONCRETE SLABS U.N.O.
- PROVIDE U-BLOCK LINTEL w/ 2 #5 BOT. OVER ALL OPENINGS IN MASONRY WALLS U.N.O. BEAR LINTELS 16" MIN E.E. SEE LINTEL SCHEDULE FOR MORE INFORMATION.
- PROVIDE 1 #5 EXTRA VERTICAL BAR EACH SIDE OF OPENINGS IN MASONRY WALLS U.N.O.
- HIGH LIFT WALL GROUTING SHALL NOT BE UTILIZED, TYP.

STRUCTURAL STEEL:

- STRUCTURAL STEEL SHALL CONFORM TO ASTM SPECIFICATION A992 (Fy=50ksi) EXCEPT AS NOTED.
- STRUCTURAL STEEL SHALL BE DETAILED IN ACCORDANCE WITH STANDARD PRACTICES OF A.I.S.C.
- STRUCTURAL STEEL TO BE DESIGNED, FABRICATED, ERECTED, ETC., AS PER ASS. MANUAL OF STEEL CONSTRUCTION, LATEST EDITION.
- SUBMIT SHOP DRAWINGS OF STRUCTURAL STEEL PRIOR TO FABRICATION OF SAME.
- VERIFY w/ ARCHITECT, MECHANICAL, AND ELECTRICAL DRAWINGS FOR STAR DETAILS, RAUINGS, ANGLES, ETC., NOT SHOWN ON STRUCTURAL DRAWINGS.
- SEE ARCHITECTURAL DRAWINGS FOR MATERIAL AND TREADS.
- PROVIDE ALL NECESSARY CLIP ANGLES, BOLTS, HANDRAILS, ETC., TO COMPLETE STAR PORTION OF PROJECT. CONTRACTOR TO SUBMIT STEEL STAR SHOP DRAWINGS WHICH ARE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
- STEEL TUBES SHALL BE ASTM A500 GRADE B.
- STEEL BEAM CONNECTIONS SHALL BE DESIGNED TO DEVELOP THE REACTIONS FOR THE MAXIMUM UNIFORM LOAD WHICH THE BEAM WILL SUPPORT (AS SIMPLE BEAM) FOR THE SPAN SHOWN ON DRAWING. MINIMUM BEAM REACTION TO BE USED = 15 KIPS (UNFACTORED)

METAL FRAMING NOTES:

- ALL COLD FORMED LIGHT GAGE FRAMING SHALL BE DESIGNED BY A REGISTERED ENGINEER.
- ALL METAL STUDS, HEADERS, BRACING, AND ACCESSORIES SHALL BE DETAILED AND FURNISHED BY THE METAL STUD SUPPLIER.
- SHOP DRAWINGS AND CALCULATIONS SHOWING MEMBER SIZES, LOCATIONS AND CONNECTION DETAILS SHALL BE SUBMITTED FOR THE ARCHITECT'S APPROVAL.
- METAL FRAMING SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH AISI "COLD FORMED STEEL DESIGN MANUAL 8.

SHOP DRAWING SUBMITTALS:

THE GENERAL CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS FOR CONFORMANCE / COMPLETENESS WITH THE CONTRACT DOCUMENTS, AND ANSWER ALL CONTRACTOR RELATED QUESTIONS. GENERAL CONTRACTOR SHALL ADD REVIEW COMMENTS, STAMP AND INITIAL ALL SHEETS PRIOR TO SUBMITTING SHOP DRAWINGS TO ARCHITECT/ENGINEER FOR REVIEW. NON-COMPLIANCE WITH THIS REQUIREMENT WILL RESULT IN THE AUTOMATIC REJECTION OF SUBMITTAL. THE GENERAL CONTRACTOR SHALL SUBMIT A MINIMUM OF THE FOLLOWING SHOP DRAWINGS FOR ARCHITECTS / ENGINEERING'S REVIEW, PRIOR TO INSTALLATION. (SHOP DRAWINGS ARE TO BE PREPARED ACCORDING TO INDUSTRY STANDARDS)

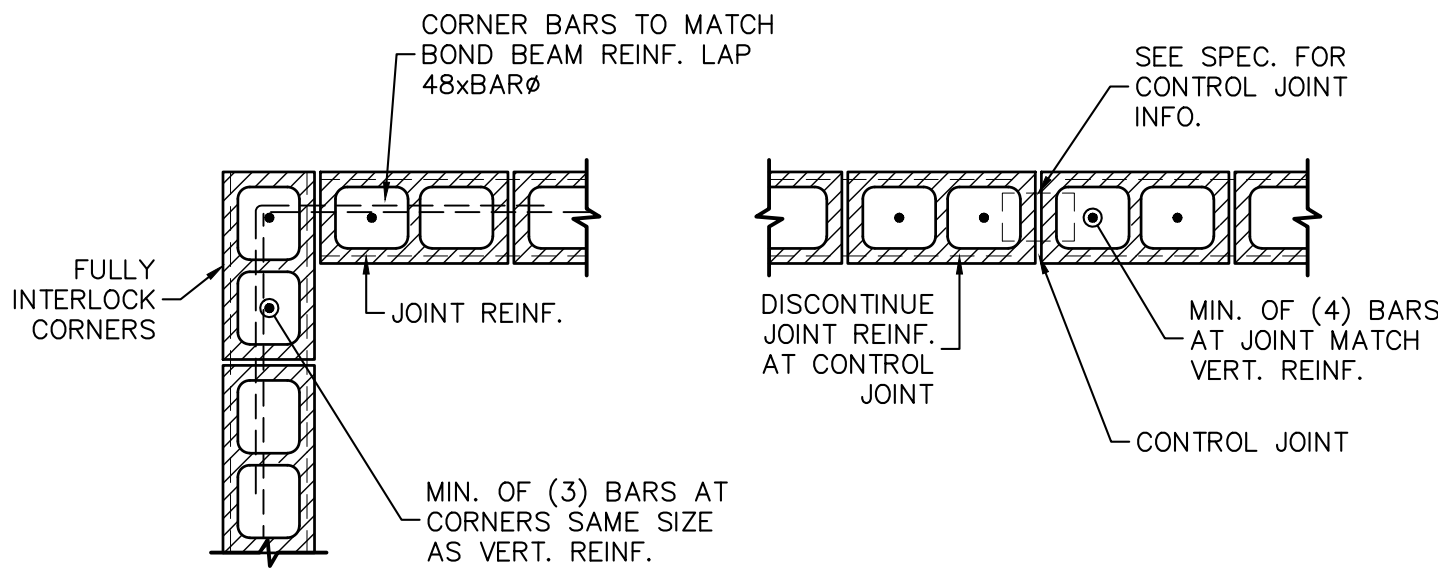
- REINFORCING STEEL
- CONCRETE MIX DESIGNS
- STRUCTURAL STEEL
- STEEL ROOF DECK
- CONCRETE MASONRY
- GEOTECHNICAL REPORT (NOTE #1)
- COLD FORMED STEEL (NOTE #1)
- HELICAL PIER FOUNDATION (NOTE #1)

NOTE #1:

SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF THE PROJECT. MANUFACTURE'S LITERATURE: SUBMIT ONE COPIES (OR PER PROJECT SPECIFICATIONS) OF MANUFACTURER'S PRODUCT DATA LITERATURE FOR ALL MATERIALS AND PRODUCTS USED IN CONSTRUCTION OF THIS PROJECT.

NOTES:

- COORDINATE CMU CONTROL JOINT LOCATION WITH ARCH.
- CONTROL JOINT SPACING SHALL NOT EXCEED 30' SPACING. COORDINATE WITH ARCH. FOR LOCATION OF CONTROL JOINTS.
- BOND BEAM REINFORCEMENT SHALL CONTINUE THROUGH CONTROL JOINTS AT FLOOR AND ROOF LEVEL CONNECTIONS.
- GROUT NOT SHOWN FOR CLARITY. ALL CELLS WITH REINFORCING SHALL BE GROUTED SOLID.
- LAY BLOCK IN RUNNING BOND & WITH INTERLOCKING CORNERS AND T-INTERSECTIONS.



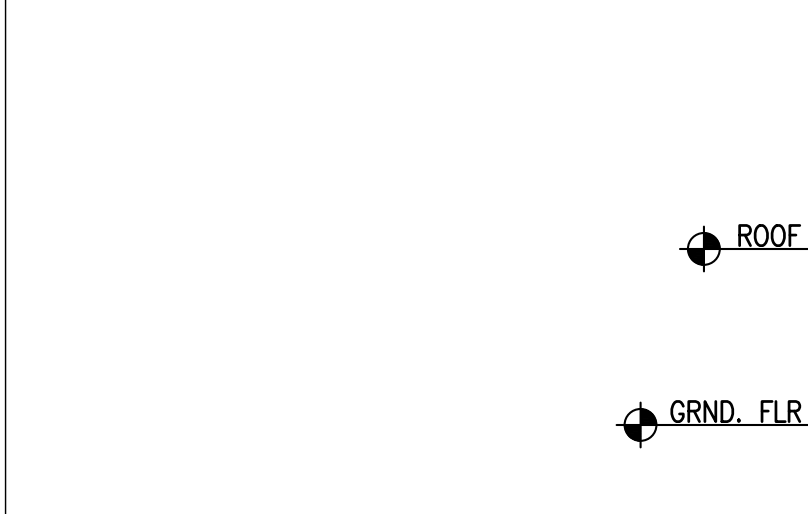
1 TYPICAL CMU WALL INTERSECTIONS

SCALE: 3/4"=1'-0"

DET004

ABBREVIATIONS

A.B.	ANCHOR BOLT
A.F.F.	ABOVE FINISHED FLOOR
ARCH.	ARCHITECTURAL
ATR	ALL THREAD ROD
BM	BEAM
BRG	BEARING
BOT.	BOTTOM
CMU	CONCRETE MASONRY UNIT
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION
CONT.	CONTINUOUS
E.F.	EACH FACE
E.W.	EACH WAY
EA.	EACH
E.S.	EACH SIDE
EL.	ELEVATION
EQ.	EQUAL/EQUIVALENT
EXP.	EXPANSION
F.F.E.	FINISHED FLOOR ELEVATION
FTG.	FOOTING
GA.	GAUGE
HORIZ.	HORIZONTAL
I.F.	INSIDE FACE
JST	JOIST
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
N.T.S.	NOT TO SCALE
o.c.	ON CENTER
O.H.	OPPOSITE HAND
O.F.	OPPOSITE FACE
PL	PLATE
REINF.	REINFORCING
REQ'D	REQUIRED
RTU	ROOF TOP UNIT
SPEC.	SPECIFICATIONS
SQ.	SQUARE
T.O.B.	TOP OF BEAM
T.O.F.	TOP OF FOOTING
TOL.	TOLERANCE
T & B	TOP AND BOTTOM
T/	TOP OF
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VERT.	VERTICAL
W.W.F.	WELDED WIRE FABRIC
W.W.M.	WELDED WIRE MESH



COLUMN SCHEDULE	
C1	C2
HSS8x6 1/2 Fy=48ksi 12"x3"x2'-0" BASE PL w/ (4) 3/8" x 0'-10" A.B.'s SET IN ADHESIVE	8"x24" CMU COLUMN (6) - #6 VERTICALS #3 TIES AT 8"o.c.

NOTES:

- ALL HSS COLUMNS TO HAVE 3/8" CAP PLATES, TYP.

LOOSE STEEL LINTEL SCHEDULE	
OPENING	LINTEL
3'-6" OR LESS	L3 1/2"x3 1/2"x4 1/2"
OVER 3'-6" THRU 5'-6"	L4 1/2"x3 1/2"x4 1/2" LLV
OVER 5'-6" THRU 7'-6"	L6"x3 1/2"x4 1/2" LLV
OVER 7'-6" THRU 9'-6"	L6"x3 1/2"x8" LLV

NOTES:

- PROVIDE 8" OF BEARING E.E.
- LINTELS INDICATED ON PLAN SUPERSEDE THE THIS SCHEDULE.
- ALL EXTERIOR LINTELS SHALL BE HOT DIPPED GALVANIZED.



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Issues and Revisions

Date Issued / Revised

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Seal

PROING DRAWINGS ONLY - NOT FOR CONSTRUCTION

LRK Project Number: 0119036.00

XXX Project Number: 15234

Project Name:
Orleans Station
Retail

704 Madison Avenue
Memphis, TN 38103

Drawing Name:

GENERAL NOTES, CMU DETAILS
& COLUMN SCHEDULE

Drawn By: G.P.

Checked By: M.D.

S101

Client:

65 Union Avenue, 12th Floor
Memphis, TN 38103

Issues and Revisions

 #	Date	Issued / Revised
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LRK Project Number: 01.19036.00

XXX Project Number: 15234

Project Name:

Orleans Station Retail

704 Madison Avenue
Memphis, TN 38103

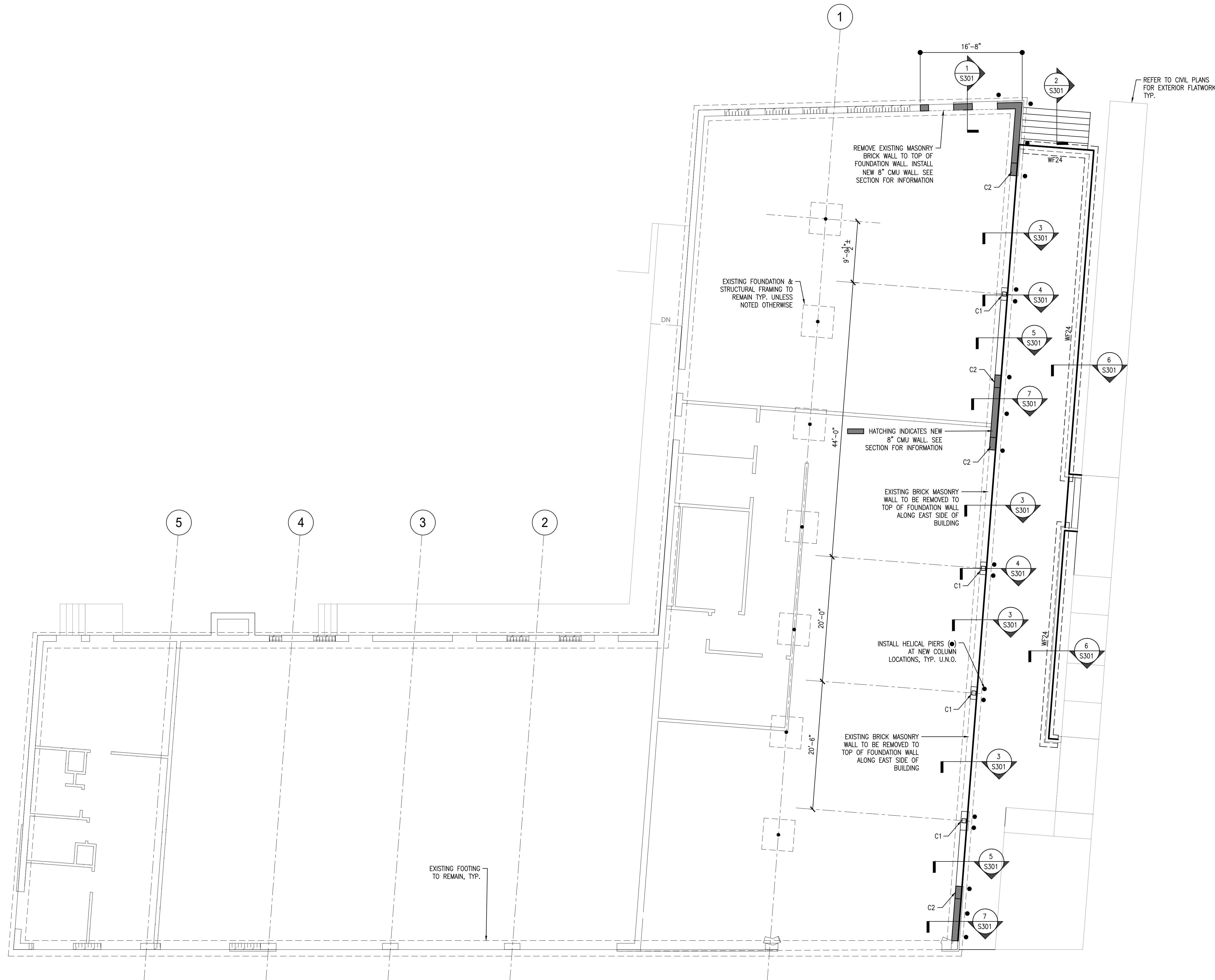
Drawing Name:

FOUNDATION PLAN

Drawn By: G.P.

Checked By: M.D.

S20 T



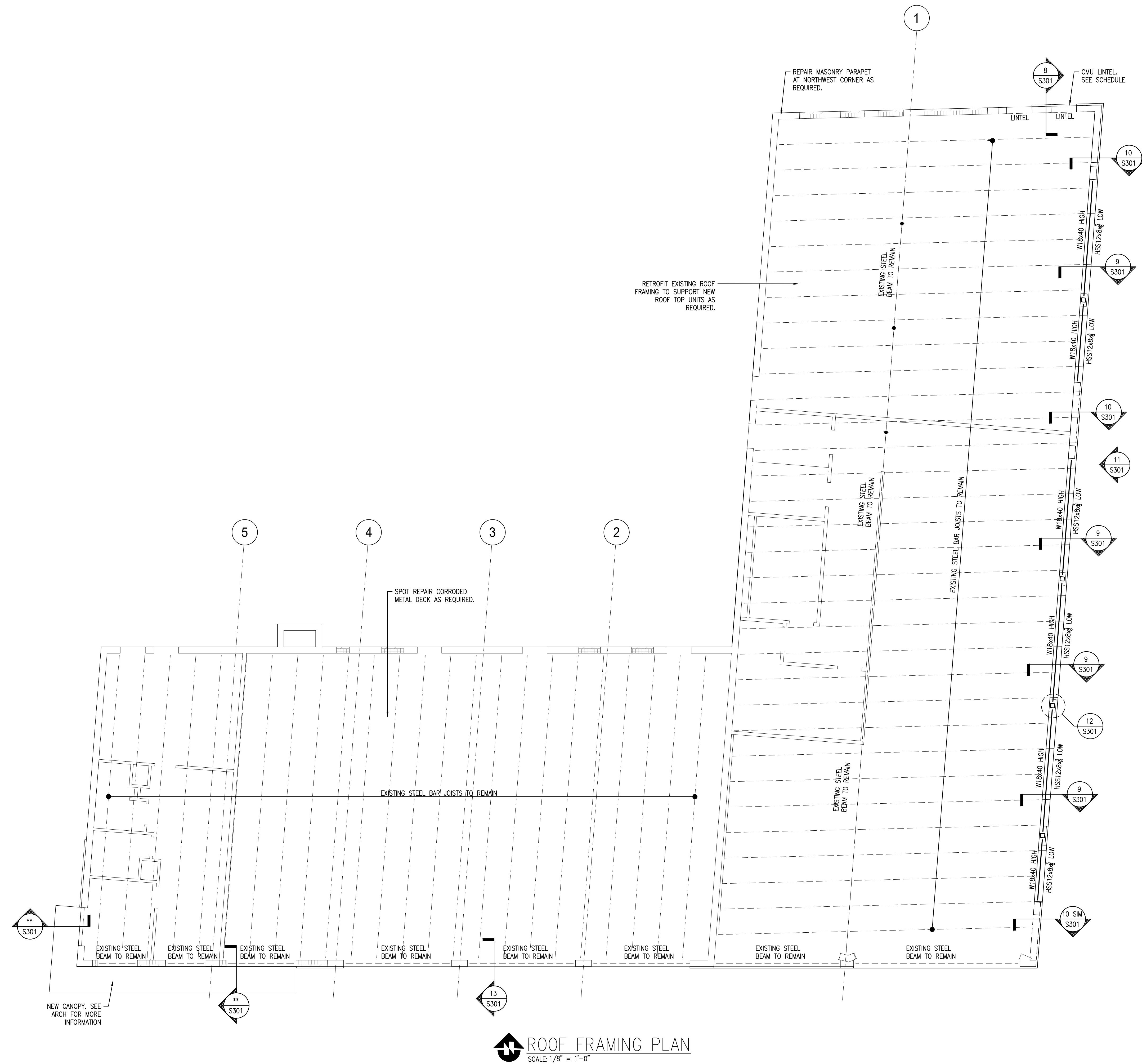
FOUNDATION PLAN

SCALE: $1/8" = 1'-0"$

FOUNDATION NOTES:

1. 4" S.O.G. w/ 6x6-w2.1xw2.1 W.W.M.
2. T/SLAB EL.=SEE PLAN (VERIFY W/ CIVIL DWGS.)
3. ALL DIMENSIONS & ELEVATIONS SHALL BE VERIFIED WITH ARCHITECTURAL DRAWINGS, TYPICAL.
4. G.C. TO PROVIDE HELICAL PIER SHOP DRAWINGS FOR REVIEW/APPROVAL PRIOR TO CONSTRUCTION.
5. EXISTING FOUNDATIONS TO REMAIN. CONTRACTOR TO VERIFY EXISTING FOOTING TYPE AND SIZE PRIOR TO CONSTRUCTION. ADDITIONAL DESIGN MAY BE REQUIRED.

WALL FOOTING SCHEDULE		
MARK	SIZE W x D x L	REINFORCING
WF24	2'-0" x 12" x CONT.	(2) #5 BOT. CONT.



LOOSE STEEL LINTEL SCHEDULE	
OPENING	LINTEL
3'-6" OR LESS	L3½"x3½"x¼"
OVER 3'-6" THRU 5'-6"	L4½"x3½"x¼" LLV
OVER 5'-6" THRU 7'-6"	L6"x3½"x¼" LLV
OVER 7'-6" THRU 9'-6"	L6"x3½"x⅝" LLV

NOTES:

1. PROVIDE 8" OF BEARING E.E.
2. LINTELS INDICATED ON PLAN SUPERSEDE THE THIS SCHEDULE.
3. ALL EXTERIOR LINTELS SHALL BE HOT DIPPED GALVANIZED.

LRK
Looney Ricks Kiss

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LRK Project Number: 01.19036.00

XXX Project Number: 15234

Project Name:
Orleans Station
Retail

704 Madison Avenue
Memphis, TN 38103

Drawing Name:

ROOF FRAMING PLAN

Drawn By: G.P.

Checked By: M.D.

S202



DRAIN, CLEANOUT, HYDRANT SCHEDULE			
SYMBOL	FIXTURE	MANUF.	DESCRIPTION
GC0 COTG	GRADE CLEANOUT	ZURN ZP-9776	SAME AS FLOOR CLEANOUT EXCEPT SET IN 18"x18"x6" CONCRETE PAD FLUSH WITH GRADE. PROVIDE 6/8" #10/10 WIRE MESH IN SAME
RFBP	BACKFLOW PREVENTER	ZURN/WILKINS 975XL5 FOR SIZES 3/4" THRU 2" ZURN/WILKINS 375-FSC FOR SIZES 2 1/2" & LARGER	REDUCED PRESSURE PRINCIPLE TYPE BACKFLOW PREVENTER & STRAINER, PROVIDE WATTS #600 CHECK VALVE IN LINE ON INLET SIDE OF BACKFLOW PREVENTOR EXTEND RELIEF DISCHARGE FULL SIZE TO DRAIN
FCO COTF	FLOOR CLEANOUT	ZURN ZPN-9776	CAST IRON FLOOR CLEANOUT WITH ADJUSTABLE BRASS TOP, BRASS PLUG AND ROUND, SECURED SCORIATED COVER
FD-1	FLOOR DRAIN	ZURN ZN-415-SB	CAST IRON FLOOR DRAIN WITH NICKEL BRASS STRAINER & ACCESSORIES MIN. 4" DEEP SEAL PATTERN TYPE

1. CONTRACTOR SHALL INSTALL ALL PLUMBING SYSTEM IN STRICT ACCORDANCE WITH CODES.
2. CONTRACTOR SHALL COORDINATE ALL PLUMBING SYSTEM WITH ALL OTHER TRADES SO AS NOT TO CAUSE INTERFERENCES.
3. CONTRACTOR SHALL FIELD VERIFY ALL UTILITY CONNECTIONS FOR SIZE, LOCATION, & DEPTH.
4. CONTRACTOR SHALL VISIT SITE AND VERIFY ALL CONDITIONS PRIOR TO BIDDING PROJECT.
5. CONTRACTOR SHALL INSTALL ALL PLUMBING SYSTEM IN A GOOD WORKSMANSHIP MANNER.
6. PROVIDE 4LB. STEEL LEAD FLASHING AROUND ALL VENTS.
7. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS, DETAILS, ELEVATIONS AND EXACT LOCATIONS OF ALL FIXTURES.

1. PERMITS SHALL BE APPLIED FOR BY LICENSED CONTRACTOR. ANY CONTRACTOR WHO DESIRES TO INSTALL, ENLARGE, ALTER, REPLACE, MOVE OR REPLACE A PLUMBING SYSTEM, THE INSTALLATION OF WHICH IS REGULATED BY THIS CODE SHALL FIRST MAKE APPLICATION AND OBTAIN THE REQUIRED PERMIT FOR THE WORK AS PER SECTION #106.1.
2. PLUMBING CONTRACTOR SHALL PROVIDE INDIRECT WASTE OPENING TO WITHIN 2 FEET OF ALL COOKING STOVES, SINKS, DISHWASHERS, AND SINKS. THIS REQUIREMENT SHALL BE MET BY TRAPPED, VENTED AND RUN TO HOUSE OF SIDE OF LINE TRAP OR PER SECTION #314.4 DEEMED. A MEMPHIS PATTEREN DEEP SEAL TRAP SHALL BE USED IN PLACE OF AN INACTIVE TRAP. THIS DEEMED SHALL BE CLEARANCE OF THE TRAP TO THE PLUMBING SYSTEM PLACED DIRECTLY OR IN USE ON EACH LEG OF SAID TRAP CAN BE CONNECT TO A SINGLE VENT LINE, VENT RISER WITH NO OFFSETS OR OTHER VENT THE BACKS BELOW THIS POINT. IF THE DEEP SEAL IS INSTALLED IN THE KITCHEN OR BUILDING OR UNDER A BACKWATER VALVE, THE CONTRACTOR SHALL BE REQUIRED TO VERIFY LOCATIONS IN FIELD WITH HVAC CONTRACTOR PRIOR TO BEGINNING INSTALLATION OF SYSTEMS.
3. FLOOR DRAINS LOCATED IN SUCH AREAS WHERE TRAPS WILL NOT BE REPLISHED SHALL HAVE EITHER A MINIMUM 12" DEEP SEAL TRAP, TRAP PRIMER, OR BE AN INDIRECT SYSTEM.
4. ALL OF PLUMBING SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH 2009 INTERNATIONAL PLUMBING CODE WITH PLUMBING INSPECTOR'S COMMENTS AND FIELD APPROVAL.
5. PLUMBING PLANS & INSTALLATION SUBJECT TO PLUMBING INSPECTOR'S COMMENTS & FIELD APPROVAL.
6. PROVIDE BACKFLOW PROTECTION AT ALL EQUIPMENT REQUIRED PER SECTION #808.
7. SANITARY SEWER, STORM SEWER & WATER SUPPLY SHALL BE PERMITTED & INSPECTED THROUGH PLUMBING DEPARTMENT.
8. PRIVATE WATER SUPPLY SYSTEMS, FIRE MAINS, AND SEWER SYSTEM SHALL BE PERMITTED & INSPECTED THROUGH THE PLUMBING DEPARTMENT.
9. INSTALLATION OF ALL BACKFLOW PREVENTERS INCLUDING THOSE SERVING FIRE SYSTEM SHALL BE PERMITTED AND INSPECTED BY PLUMBING DEPARTMENT WITH TEST REPORT ON SITE AT TIME OF FINAL INSPECTION.
10. THE WATER DISTRIBUTION SYSTEM SHALL MEET ALL SECTIONS OF CHAPTER 6 FOR SIZING, MATERIALS, INC.

SYSTEM	ABOVE GROUND	BELOW GROUND	JOINT METHOD	PIPE INSULATION
SOIL/WATER	SCH 40 PVC	SCH 40 PVC	SOLVENT WELD	_____
VENT	SCH 40 PVC	SCH 40 PVC	SOLVENT WELD	_____
COLD WATER	TYPE L COPPER	TYPE K COPPER	LEAD-FREE NICKEL BRAZING, SL-105 BELOW SL-45	1" FIBERGLASS

CONTRACTOR SHALL SEE ARCHITECTURAL PLANS FOR RATINGS ON ALL WALLS & FLOORS AND PROVIDE PIPING MATERIAL SO AS NOT TO DESTROY RATINGS OR SAME. PROVIDE FIRE RESISTANT PVC PIPING WHERE REQUIRED IN ORDER TO MAINTAIN RATINGS & MEET CODES. DO NOT INSTALL ANY PVC PIPING IN RETURN AIR PLENUMS OR WHERE WATER TEMPERATURES EXCEED 110° F.

*CELLULAR CORE PVC NOT ACCEPTABLE ON PROJECT GROUNDS

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Sea

LRK Project Number: 01.19036.00

XXX Project Number: 15234

Project Name:

Orleans Station Retail

704 Madison Avenue
Memphis, TN 38103

Drawing Name:

Floor Plan - Plumbing

Drawn By: Author

Checked By: Checker

