



DESIGN REVIEW BOARD APPLICATION

**Administered by:
Design Review Board**

Property Address*: South City III and IV - 367 Vance Ave Memphis, TN 38126

Applicant Name & Mailing Address: South City III, LP and South City IV, LP, 100 N Broadway, Suite 100 St. Louis

Applicant Phone Number: (314) 335-2784 Applicant Fax Number: (314) 450-7763

Property Owner's Name & Mailing Address: Memphis Housing Authority, 700 Adams Ave. Memphis, TN 38105

Property Owner's Phone Number: (901) 544-1100

The proposed work consists of the following (check all that apply):

Sign ☒

Renovation ☐

New Building ☐

Other Exterior Alteration ☐

Project Description:

The South City Choice Neighborhoods Transformation Plan aims to restore rich neighborhood identity and achieve a mixed-income community with high-quality housing. The redevelopment of the former Foote Homes site calls for all units to be demolished (now complete) and replaced with six phases of new construction, energy efficient multifamily units, including senior living, townhome, and garden buildings. South City III includes two blocks (12 buildings) with 126 units and South City IV includes two blocks (15 buildings) with 138 units.

Status of Project:

South City Phase III is complete and occupied with residents. South City Phase IV is under construction with one block complete and the second block expected to be complete by December 2022.

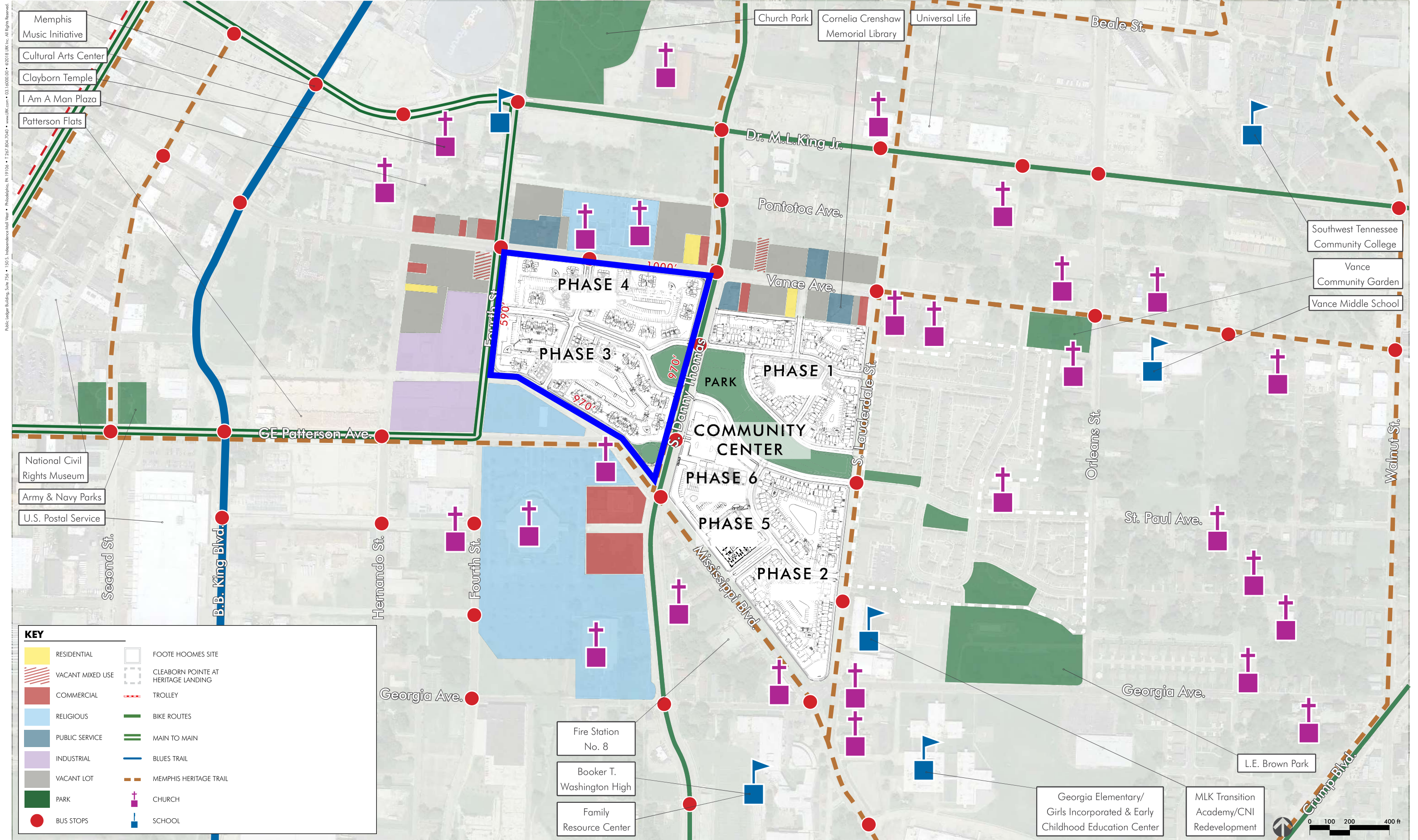
A complete application must be submitted to the Development Department no later than three weeks before a regularly scheduled meeting of the Design Review Board. Please submit the application with any necessary attachments to designreview@downtownmemphis.com. Questions can also be e-mailed to designreview@downtownmemphis.com, or you can reach Planning & Development staff at (901) 575 - 0540.

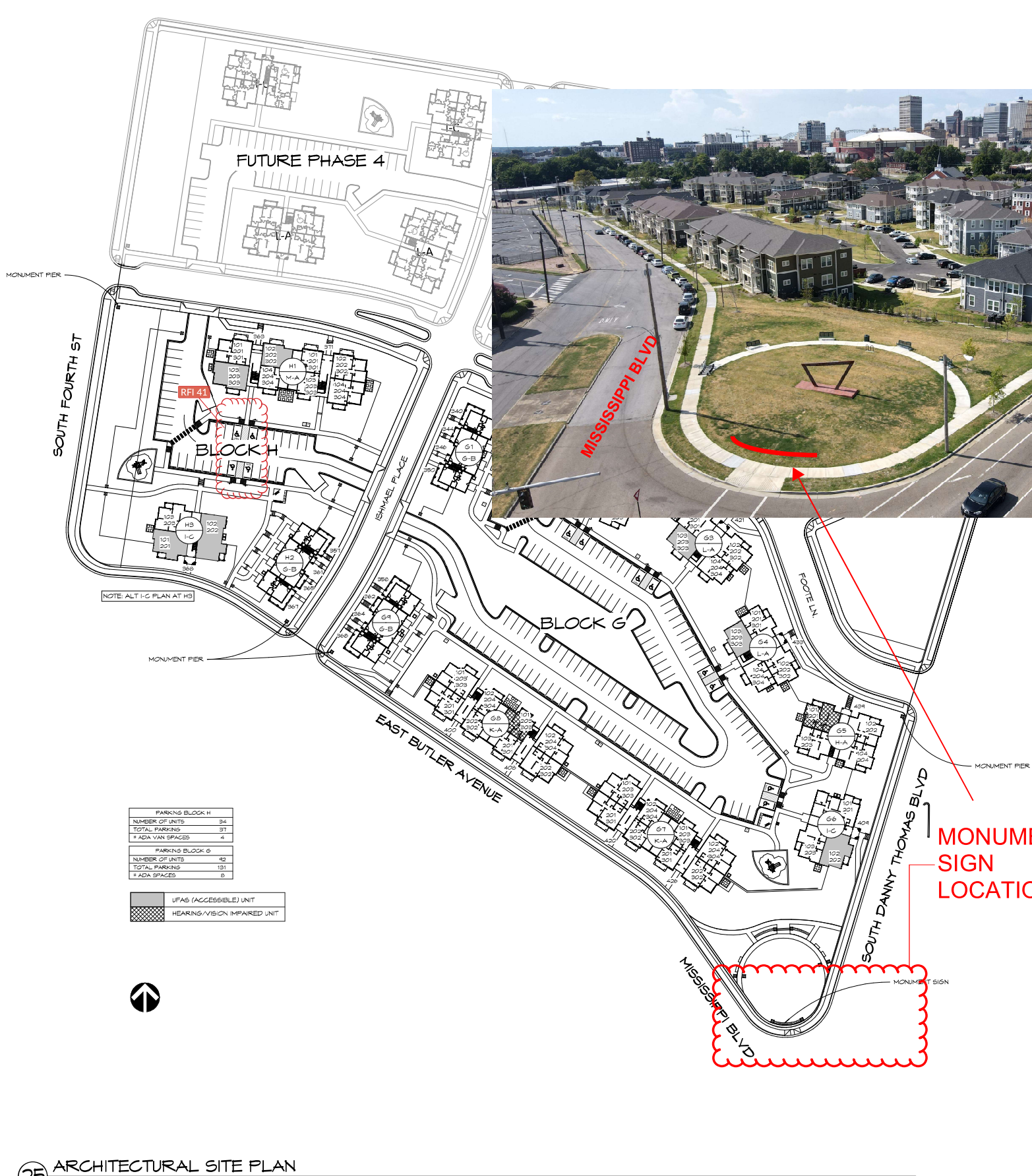
Owner/Applicant Signature: _____

Emily Bernstein

Date: 8/17/22

*Applications for properties that are located within a Landmarks Historic District may require additional approval from the Landmarks Commission. Please contact the Shelby County Division of Planning & Development at (901) 576-6601 for more information.





BLDG NUM	BLDG TYPE	LEVEL	UNIT TYPE			ADA	H/V	ADDRESS
			1	2	3			
H-1	M-A	2nd	B2					363 FOOTE LANE UNIT 101
			B2U					363 FOOTE LANE UNIT 103
			A1U					363 FOOTE LANE UNIT 102
			A1					363 FOOTE LANE UNIT 104
			A1					311 FOOTE LANE UNIT 101
			A1					311 FOOTE LANE UNIT 103
		3rd	B2					311 FOOTE LANE UNIT 102
			B2					311 FOOTE LANE UNIT 104
			B2u					363 FOOTE LANE UNIT 201
			B2u					363 FOOTE LANE UNIT 203
			A1u					363 FOOTE LANE UNIT 202
			A1u					363 FOOTE LANE UNIT 204
H-2	G-B	2nd	A1u					311 FOOTE LANE UNIT 201
			A1u					311 FOOTE LANE UNIT 203
			B2u					311 FOOTE LANE UNIT 202
			B2u					311 FOOTE LANE UNIT 204
			B2u					363 FOOTE LANE UNIT 301
			B2u					363 FOOTE LANE UNIT 303
		3rd	A1u					311 FOOTE LANE UNIT 202
			A1u					311 FOOTE LANE UNIT 204
			A1u					363 FOOTE LANE UNIT 301
			A1u					363 FOOTE LANE UNIT 303
			B2u					363 FOOTE LANE UNIT 302
			B2u					363 FOOTE LANE UNIT 304
H-3	H-A	2nd	C2					351 ISHMAEL PLACE
			C2					361 ISHMAEL PLACE
			C2					365 ISHMAEL PLACE
			C2					367 ISHMAEL PLACE
			B1u					366 E BUTLER AVE UNIT 103
			B1U					366 E BUTLER AVE UNIT 101
		3rd	C2					366 E BUTLER AVE UNIT 102
			B1u					366 E BUTLER AVE UNIT 203
			B1u					366 E BUTLER AVE UNIT 201
			B1u					366 E BUTLER AVE UNIT 202
			C2					340 ISHMAEL PLACE
			C2					344 ISHMAEL PLACE
G-1	G-B	2nd	C2					346 ISHMAEL PLACE
			C2					350 ISHMAEL PLACE
			B1u					428 FOOTE LANE UNIT 103
			B1U					428 FOOTE LANE UNIT 101
			B1u					428 FOOTE LANE UNIT 102
			B1u					428 FOOTE LANE UNIT 104
		3rd	B1u					428 FOOTE LANE UNIT 203
			B1u					428 FOOTE LANE UNIT 201
			B1u					428 FOOTE LANE UNIT 202
			B1u					428 FOOTE LANE UNIT 204
			B1u					421 FOOTE LANE UNIT 103
			B1u					421 FOOTE LANE UNIT 102
G-2	L-A	2nd	A1					421 FOOTE LANE UNIT 204
			A1U					421 FOOTE LANE UNIT 203
			A1					421 FOOTE LANE UNIT 201
			A1					421 FOOTE LANE UNIT 202
			A1					421 FOOTE LANE UNIT 304
			A1					421 FOOTE LANE UNIT 303
		3rd	B1u					421 FOOTE LANE UNIT 302
			B1u					421 FOOTE LANE UNIT 301
			A1					433 FOOTE LANE UNIT 104
			A1					433 FOOTE LANE UNIT 102
			A1					433 FOOTE LANE UNIT 101
			A1					433 FOOTE LANE UNIT 204
G-3	G-B	2nd	A1u					433 FOOTE LANE UNIT 203
			A1u					433 FOOTE LANE UNIT 202
			A1u					433 FOOTE LANE UNIT 201
			A1u					433 FOOTE LANE UNIT 204
			A1u					433 FOOTE LANE UNIT 303
			A1u					433 FOOTE LANE UNIT 302
		3rd	B1u					433 FOOTE LANE UNIT 301
			B1u					433 FOOTE LANE UNIT 304
			A1					433 FOOTE LANE UNIT 303
			A1					433 FOOTE LANE UNIT 302
			A1					433 FOOTE LANE UNIT 301
			A1					433 FOOTE LANE UNIT 304
G-4	L-A	2nd	A1					433 FOOTE LANE UNIT 104
			A1					433 FOOTE LANE UNIT 102
			A1					433 FOOTE LANE UNIT 101
			A1					433 FOOTE LANE UNIT 204
			A1					433 FOOTE LANE UNIT 203
			A1					433 FOOTE LANE UNIT 202
		3rd	A1					433 FOOTE LANE UNIT 201
			A1					433 FOOTE LANE UNIT 204
			A1					433 FOOTE LANE UNIT 303
			A1					433 FOOTE LANE UNIT 302
			A1					433 FOOTE LANE UNIT 301
			A1					433 FOOTE LANE UNIT 304

UNIT NAMING CONVENTION
• STANDARD UNIT TYPES LISTED ON COVER SHEET
• SUFFIX 'U' SIGNIFIES UFAS UNIT
• SUFFIX 'H' SIGNIFIES A VARIATION OF THE STANDARD PLAN THAT IMPACTS EXTERIOR WALLS/NEP
• SUFFIX 'H' AND 'H' SIGNIFIES A SECOND OR THIRD FLOOR UNIT WITH THE SAME SF AS THE GROUND FLOOR UNIT, WITH MINOR INTERIOR PARTITION DIFFERENCES

- SITE PLAN NOTES**
1. THE ARCHITECTURAL REFERENCE SITE PLAN GRAPHICALLY INDICATES THE APPROXIMATE LOCATIONS OF THE IMPROVEMENTS. REFER TO CIVIL ENGINEER'S PLANS FOR ALL HORIZONTAL DIMENSIONAL CONTROL.
 2. ALL INFORMATION RELATED TO THE SITE PROPERTY HAS BEEN PROVIDED BY THE OWNER'S SURVEYOR AND CIVIL ENGINEER. SEE BOUNDARY SURVEY.
 3. THE GENERAL CONTRACTOR SHALL VERIFY ALL SITE DIMENSIONS ON CIVIL DRAWINGS, CONDITIONS, EXISTING CONSTRUCTION GRADES AND UTILITIES ON PROJECT AND CONTRACT DOCUMENTS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION. REPORT DISCREPANCIES TO OWNER AND ARCHITECT FOR CLARIFICATION.
 4. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES, TREE LOCATIONS, AND PROPOSED BUILDING LOCATIONS AND SHALL ADVISE THE OWNER AND ARCHITECT OF ANY RECOMMENDED MODIFICATIONS PRIOR TO THE START OF ANY WORK.
 5. THE GENERAL CONTRACTOR SHALL COORDINATE FINAL GRADING AND PAVING AS REQUIRED FOR POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
 6. THE GENERAL CONTRACTOR SHALL LOCATE ALL UTILITY SERVICES (WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TV) AND COORDINATE THE EXTENSIONS TO THE BUILDINGS. ALL CONNECTIONS, METERS, CLEAN OUTS, ETC., SHALL BE LOCATED IN NON-VISUALLY OFFENSIVE AREAS.
 7. REFER TO CIVIL DRAWINGS FOR LOCATION OF SITE UTILITIES, EASEMENTS AND RIGHT OF WAY.
 8. REFER TO CIVIL DRAWINGS FOR LOCATION OF EXISTING TREES TO REMAIN AND PROTECTION REQUIRED FOR THEM.
 9. REFER TO CIVIL DRAWINGS PLANS, ELEVATIONS AND SECTION OF ALL SITE FENCES, GATES, WALLS AND OTHER SITE AMENITIES INCLUDING PERGOLAS AND DUMPSTER ENCLOSURES.
 10. REFER TO CIVIL PLANS FOR HANDICAPPED ACCESSIBILITY ROUTES TO AND FROM BUILDINGS.
 11. ALL LEVEL TRANSITIONS REQUIRING STEPS OF 2 RISERS OR MORE SHALL BE PROVIDED WITH APPROPRIATE HANDRAILS.
 12. 'H/V' REFERS TO HEARING AND VISUAL DISABILITY UNITS.
 13. FOUNDATIONS SHALL BE BUILT ON UNDISTURBED SOIL OR PROPERLY COMPACTED FILL MATERIAL.
 14. THE BOTTOM OF FOUNDATIONS SHALL EXTEND BELOW THE DEPTH OF FROST PENETRATION, BUT NO LESS THAN 13 INCHES BELOW FINISH GRADE.

UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS)

UFAS Units: Federally assisted apartment housing requires that 5% of the total, or at least one unit, whichever is greater, in projects of 15 or more dwelling units, or as determined by the appropriate Federal agency following a local needs assessment conducted by local government bodies or states under applicable regulations.

REQUIRED UFAS UNIT COUNT 5% BY UNIT TYPE:
(44) 1BR x .05 = 2.2; 5 PROVIDED
(64) 2BR x .05 = 3.2; 4 PROVIDED
(18) 3BR x .05 = .9; 1 PROVIDED

HEARING/VISUAL DISABILITY UNITS (H/V)

H/V Units: Federally assisted new construction housing developments with 5 or more units must design and construct 2% of units, or at least one unit, whichever is greater, to be made accessible for persons with vision/hearing impairments.

REQUIRED H/V UNIT COUNT:
126 UNITS x .02 = 2.48; 3 UNITS PROVIDED

BLDG NUM	BLDG TYPE	LEVEL	BEDROOMS			ADA	H/V	ADDRESS
			1	2	3			
G-5	H-A	2nd	B1					434 FOOTE LANE UNIT 101
			B1					434 FOOTE LANE UNIT 102
			B1					434 FOOTE LANE UNIT 103
			B1					434 FOOTE LANE UNIT 104
			B1u					434 FOOTE LANE UNIT 201
			B1u					434 FOOTE LANE UNIT 202
		3rd	B1u					434 FOOTE LANE UNIT 203
			B1u					434 FOOTE LANE UNIT 204
			B1u					424 S DANNY THOMAS BLVD UNIT 103
			B1U					424 S DANNY THOMAS BLVD UNIT 102
			G1					424 S DANNY THOMAS BLVD UNIT 101
			B1u					424 S DANNY THOMAS BLVD UNIT 203
G-6	H-C	2nd	B1u					424 S DANNY THOMAS BLVD UNIT 202
			B1u					424 S DANNY THOMAS BLVD UNIT 201
			B1u					426 E BUTLER AVE UNIT 102
			B1u					426 E BUTLER AVE UNIT 101
			B1u					426 E BUTLER AVE UNIT 103
			B1u					426 E BUTLER AVE UNIT 104
		3rd	B1u					426 E BUTLER AVE UNIT 203
			B1u					426 E BUTLER AVE UNIT 202
			B1u					426 E BUTLER AVE UNIT 201
			B1u					426 E BUTLER AVE UNIT 204
			B1u					426 E BUTLER AVE UNIT 303
			B1u					426 E BUTLER AVE UNIT 302
G-7	K-A	2nd	A1					426 E BUTLER AVE UNIT 301
			A1					426 E BUTLER AVE UNIT 304
			A1u					426 E BUTLER AVE UNIT 303
			A1u					426 E BUTLER AVE UNIT 302
			A1u					426 E BUTLER AVE UNIT 301
			A1u					426 E BUTLER AVE UNIT 304
		3rd	A1					426 E BUTLER AVE UNIT 101
			A1					426 E BUTLER AVE UNIT 102
			A1					426 E BUTLER AVE UNIT 103
			A1					426 E BUTLER AVE UNIT 104
			A1					426 E BUTLER AVE UNIT 203
			A1					426 E BUTLER AVE UNIT 202
G-8	K-A	2nd	A1					426 E BUTLER AVE UNIT 201
			A1					426 E BUTLER AVE UNIT 204
			A1					426 E BUTLER AVE UNIT 303
			A1					426 E BUTLER AVE UNIT 302
			A1					426 E BUTLER AVE UNIT 301
			A1					426 E BUTLER AVE UNIT 304
		3rd	A1					426 E BUTLER AVE UNIT 101
			A1					426 E BUTLER AVE UNIT 102
			A1					426 E BUTLER AVE UNIT 103
			A1					426 E BUTLER AVE UNIT 104
			A1					426 E BUTLER AVE UNIT 203
			A1					426 E BUTLER AVE UNIT 202
G-9	G-B	2nd	C2					364 ISHMAEL PLACE
			C2					364 ISHMAEL PLACE
			C2					364 ISHMAEL PLACE
			C2					364 ISHMAEL PLACE
			C2					364 ISHMAEL PLACE
			C2					364 ISHMAEL PLACE
		3rd	C2					364 ISHMAEL PLACE
			C2					364 ISHMAEL PLACE
			C2					364 ISHMAEL PLACE
			C2					364 ISHMAEL PLACE
			C2					364 ISHMAEL PLACE
			C2					364 ISHMAEL PLACE

L

R

K

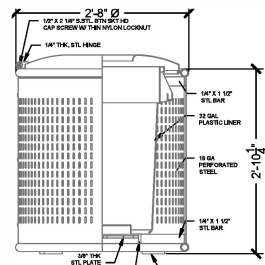
Looney Ricks Kiss

Architecture Planning Interiors Research
50 South B.B. King Boulevard
Memphis, Tennessee 38103
Telephone 901.521.1440
Fax 901.525.2760
E-mail info@lrk.com

Client:
McCormack Baron Salazar

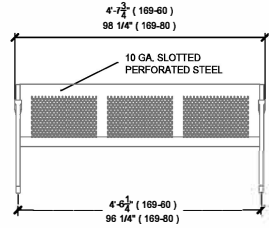
720 Olive St Suite 2500
St. Louis, MO 63101

RLECKE
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ED:1/14/2020
TTD:1/23/2020

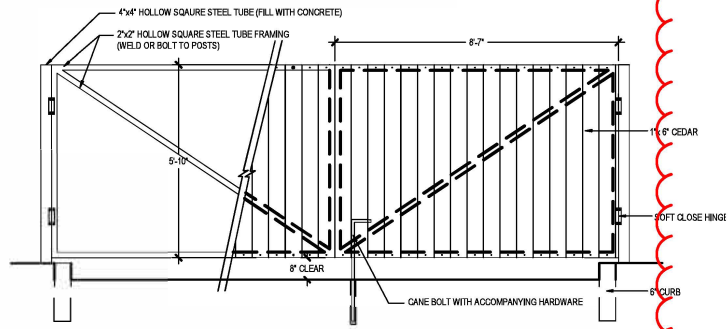


NOTES:
1) ALL STL. MEMBERS COATED W/ ZINC RICH EPOXY THEN FINISHED W/ POLYESTER POWDER COATING.
2) 1/2" X 3/4" EXPANSION ANCHOR BOLTS PROVIDED.

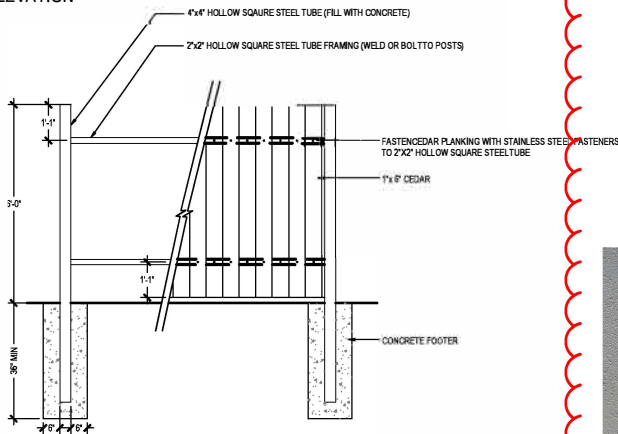
1 DuMor - TRASH 107 - (QTY 1)
L301 NOT TO SCALE



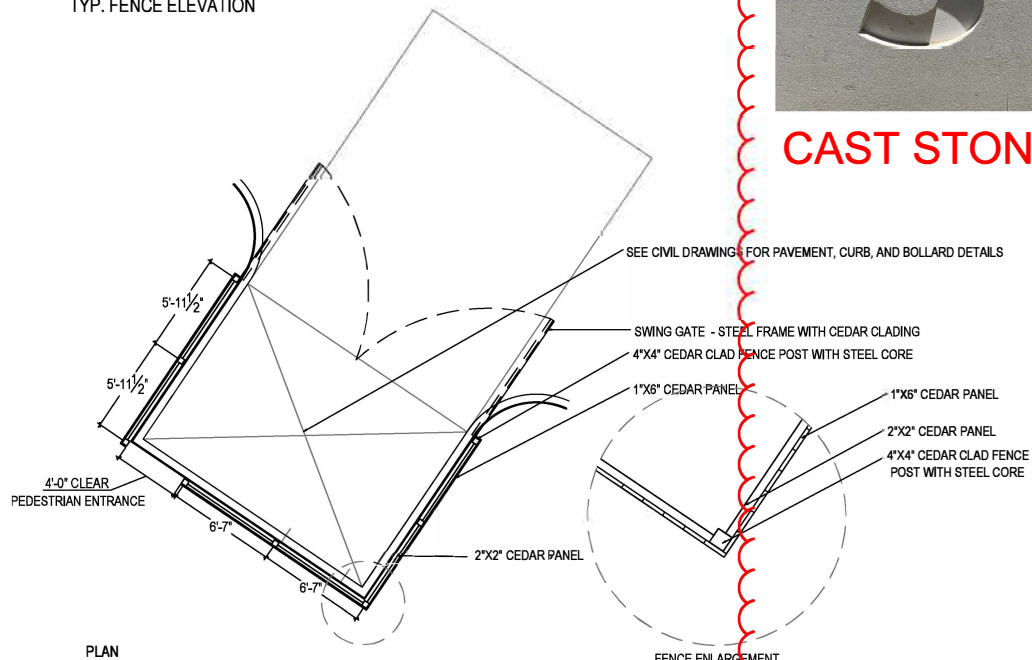
2 DuMor - BENCH 160 - (QTY 4)
L301 SCALE: 1"=1'-0"



TYP. GATE ELEVATION



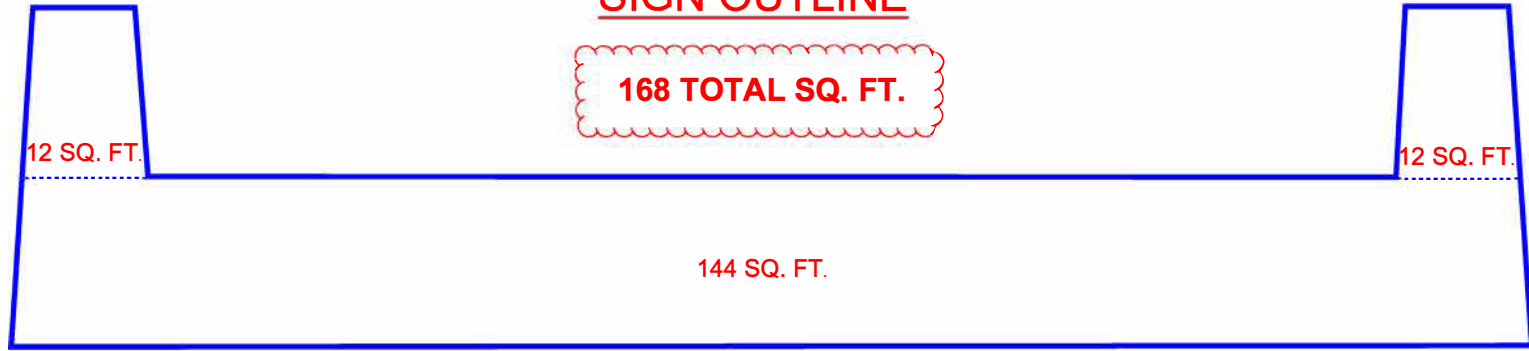
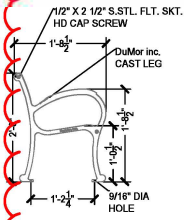
TYP. FENCE ELEVATION



PLAN

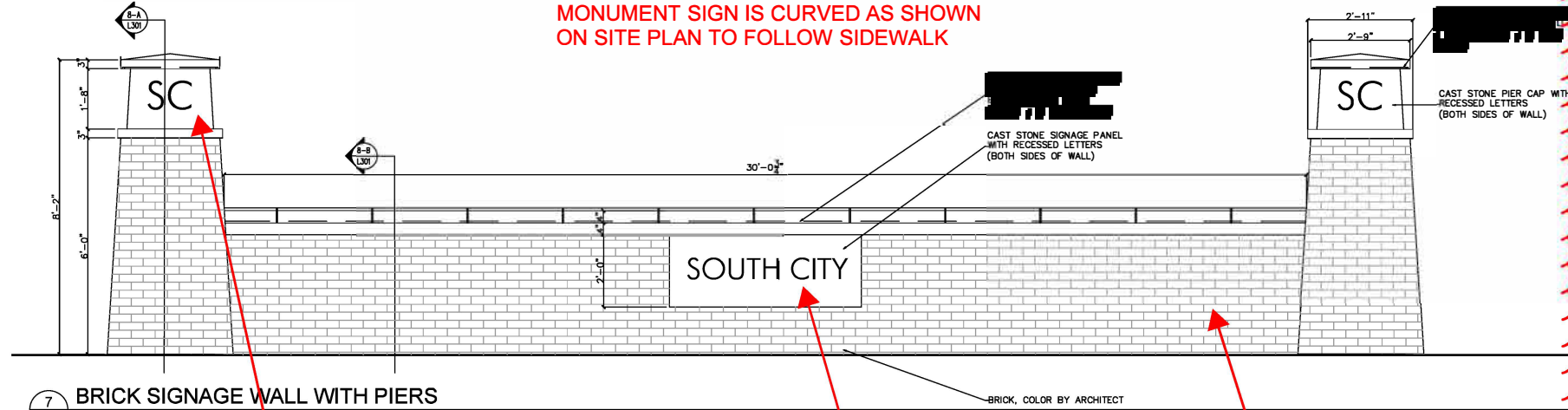
FENCE ENLARGEMENT
SCALE: NTS

4 CEDAR TRASH ENCLOSURE - FENCE AND GATE
L301 SCALE: 3/16"=1'-0"



SIGN OUTLINE

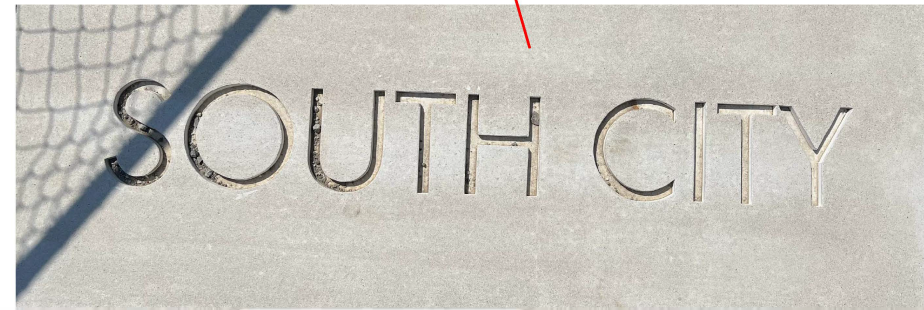
168 TOTAL SQ. FT.



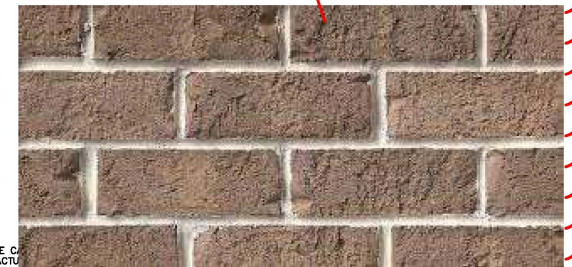
7 BRICK SIGNAGE WALL WITH PIERS
L301 SCALE: 3/4"=1'-0"



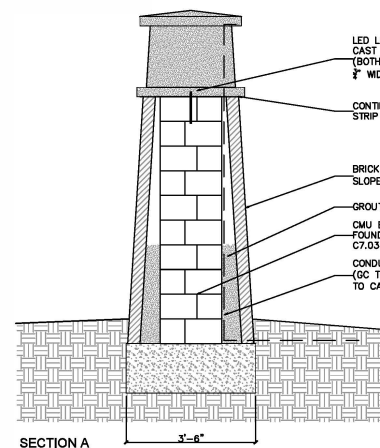
CAST STONE - PIER CAP



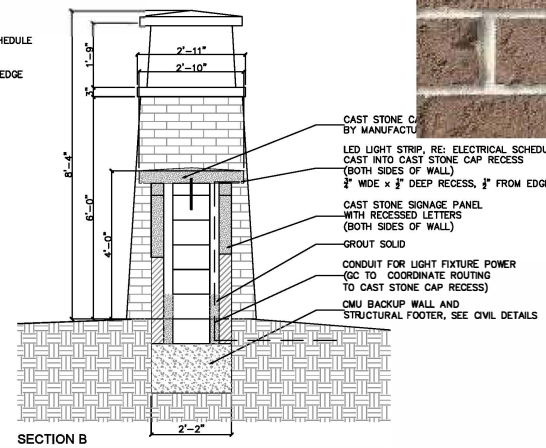
CAST STONE



BRICK



SECTION A

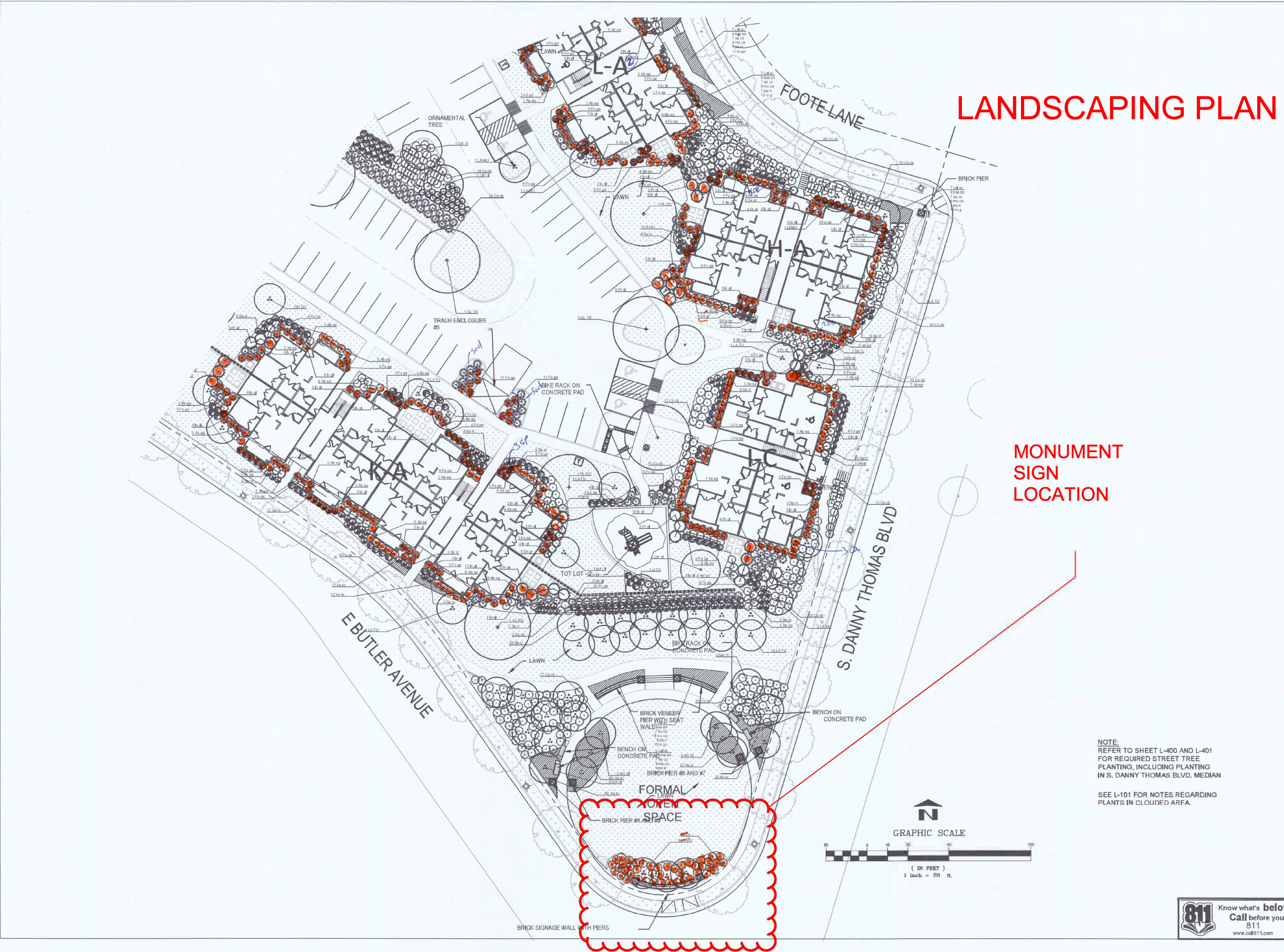


SECTION B

8 BRICK SIGNAGE WALL SECTION A and B
L301 SCALE: 3/4"=1'-0"

03: South City Phase III Sign Details

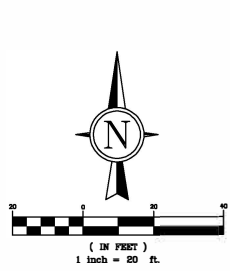
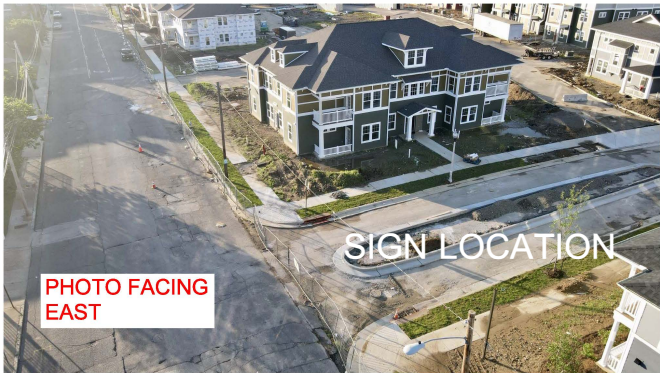
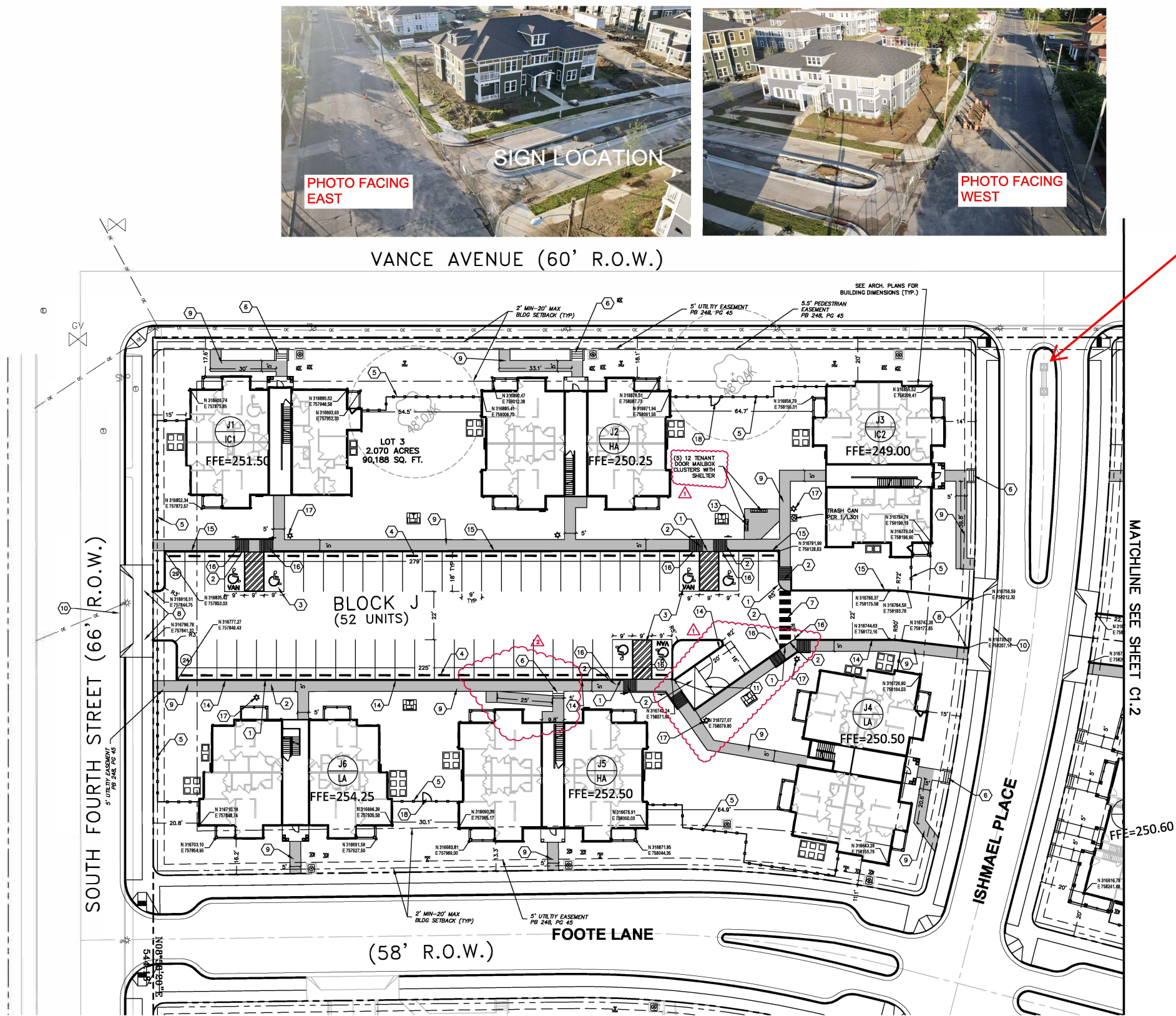
USER: L-101
FILE: P:\00000 South City Ph3 Housing (MBS)\01 Cadd\Current\06 Construction Documents\L-SP_phase3.dwg
SAVED: 9/23/2019
PLOTED: 9/24/2019



 LaQuatra Bondi ASSOCIATES LANDSCAPE ARCHITECTURE	
	
BID SUBMISSION DATE: 9/24/2019	
PRIVATE LANDSCAPE PLAN - 3 SOUTH CITY SUBDIVISION WEST SECTION 1 SITE CIVIL	
	
L-102 FILE NO. 36983-01	

04: South City Phase III Landscaping Plan with Sign Location

11/21/19
VE



GRIMES CONSULTING, INC.
12300 OLD TEBBEN RD.
SUITE 300
ST. LOUIS, MO 63128
TEL: (314) 849-4100
FAX: (314) 849-4010
www.grimconsulting.com
PE: COAF 6-1470D
FLS: COAF 15-345-D

LRK

Looney Ricks Kiss

Architecture Planning Interiors Research
50 South B.B. King Boulevard
Memphis, Tennessee 38103
Telephone 901 521 1440
Fax 901 525 2760
E-mail info@lrk.com

Client:
**McCormack
Baron
Salazar**

720 Olive St Suite 2500

SIGN LOCATION

- 1. SIDEWALK FLUSH WITH PAVEMENT, SLOPE ADJACENT
- 2. HDPE WHEEL STOP (SEE DETAIL 8, SHEET C6.0)
- 3. ORNAMENTAL FENCE (SEE LANDSCAPE PLANS FOR DETAILS)
- 4. CONCRETE STAIRS (SEE DETAIL 4, SHEET C6.1)
- 5. FLEES/HAN URUSWALK (SEE DETAIL 5, SHEET C6.1)



TENANT MAILBOXES
MONUMENT SIGN (SEE DETAILS, SHEET XXX)
BENCH
TRASH CAN W/3'X3'
CONCRETE PAD
TRANSFORMER PAD
ADA ACCESSIBLE
SIDEWALK

BUILDING ADDRESSES

TYPE A-1
242, 444, 446, 448 RATLIFF LANE
234, 236, 238, 239 ISHMAEL
PLACE

TYPE B-1
375 440 VANCE AVE
366, 364 FOOTE LANE
359 ISHMAEL PLACE

TYPE C-1
365 451 VANCE AVE
353 ISHMAEL PLACE

TYPE D-1
371 ISHMAEL PLACE
420, 350 FOOTE LANE
345 S DANNY THOMAS BLVD

TYPE E-1
402, 406 FOOTE LANE

1. CONTRACTOR SHALL BE FAMILIAR WITH THE SITE AND CHECK ALL FINAL DIMENSIONS ON THE GROUND PRIOR TO CONSTRUCTION ACTIVITIES. NOTIFY THE ARCHITECT/ENGINEER IMMEDIATELY OF DISCREPANCIES FROM THE PLANS.
2. THE EXACT LOCATION OF ALL EXISTING UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES THAT ARE TO REMAIN AND ALL CONSTRUCTION SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY/AGENCY. ANY DAMAGED UTILITY SHALL BE REPAIRED/RELOCATED TO MEET LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITIES TAKING PLACE.
3. THE CONTRACTOR SHALL CUT CLEAN EDGES ON EXISTING PAVEMENT AND PROVIDE SMOOTH TRANSITION INTO PROPOSED PAVEMENT.
4. PROPOSED SIDEWALKS OUTSIDE OF THE R.O.W. BEHIND THE UNITS, AND ANY CONNECTING SIDEWALKS SHALL HAVE A MAX LONGITUDINAL SLOPE OF 5% AND A MAX CROSS-SLOPE OF 2%. CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE INFORMATION ON THESE PLANS EXCEEDS THE MAXIMUM ALLOWABLE SLOPES OR THE IMPROVEMENTS CAN NOT BE CONSTRUCTED WITHIN THE MAXIMUM ALLOWABLE SLOPE LIMITS.
5. PROPOSED CURB RAMP SHALL HAVE A MAX. LONGITUDINAL SLOPE OF 8.3% AND A MAX CROSS-SLOPE OF 2%. CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE INFORMATION ON THESE PLANS EXCEEDS THE MAXIMUM ALLOWABLE SLOPES OR THE IMPROVEMENTS CAN NOT BE CONSTRUCTED WITHIN THE MAXIMUM ALLOWABLE SLOPE LIMITS.
6. PROPOSED ADA PARKING SPACES SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE INFORMATION ON THESE PLANS EXCEEDS THE MAXIMUM ALLOWABLE SLOPE OR THE IMPROVEMENTS CAN NOT BE CONSTRUCTED WITHIN THE MAXIMUM ALLOWABLE SLOPE LIMIT.
7. ALL "PRIVATE" CURB SHALL BE CITY OF MEMPHIS 6-18 CURB AND GUTTER.
8. ALL ADA PARKING SPACES SHALL BE CONSTRUCTED WITH HEAVY DUTY CONCRETE PAVEMENT.
9. THE PAVEMENT MARKINGS SHALL BE 4" PAINT AND SHALL CONFORM TO THE MCCORMACK BARON SALAZAR DESIGN GUIDELINES AND THE CITY OF MEMPHIS STANDARD CONSTRUCTION SPECIFICATIONS SECTION 0270 - PAVEMENT MARKINGS.
10. THE 5' ORNAMENTAL FENCE, PEDESTRIAN GATES, AND DRIVEWAY GATES SHALL CONFORM TO THE MCCORMACK BARON SALAZAR DESIGN GUIDELINES AND BE INSTALLED IN CONFORMANCE TO THE MANUFACTURER'S SPECIFICATIONS.
11. THE SEGMENTAL BLOCK WALLS SHALL CONFORM TO THE MCCORMACK BARON SALAZAR DESIGN GUIDELINES AND BE INSTALLED IN CONFORMANCE TO THE MANUFACTURER'S SPECIFICATIONS.
12. STATE PLANE COORDINATES: TN NAD83
13. SEGMENTAL BLOCK WALL RAILING SHALL BE 42" HIGH ORNAMENTAL FENCING. FENCING SHALL CONFORM TO THE MCCORMACK BARON SALAZAR DESIGN GUIDELINES AND BE INSTALLED IN CONFORMANCE TO THE MANUFACTURER'S SPECIFICATIONS.
14. WHEEL STOPS SHALL BE PLACED 2'-0" FROM THE FACE OF CURB TO THE CENTER OF THE WHEEL STOP.
15. CONCRETE SLAB SHALL BE CONTINUOUS FOR ADJACENT AIR CONDENSER UNITS.
16. CONTRACTOR TO COORDINATE WITH LANDSCAPE PLANS AND MANUFACTURER REGARDING BENCH AND TRASH CAN SPECIFICATIONS AND INSTALLATION.
17. DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.

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Seal

2/2/22
LEONARD J. MEERS
PROFESSIONAL ENGINEER
No. 107164

LRK Project Number: 01.15100.43
Grimes Consulting Project Number: 3210
Project Name:
**SOUTH CITY SUBDIVISION
PHASE 4**
Memphis TN

Drawing Name:

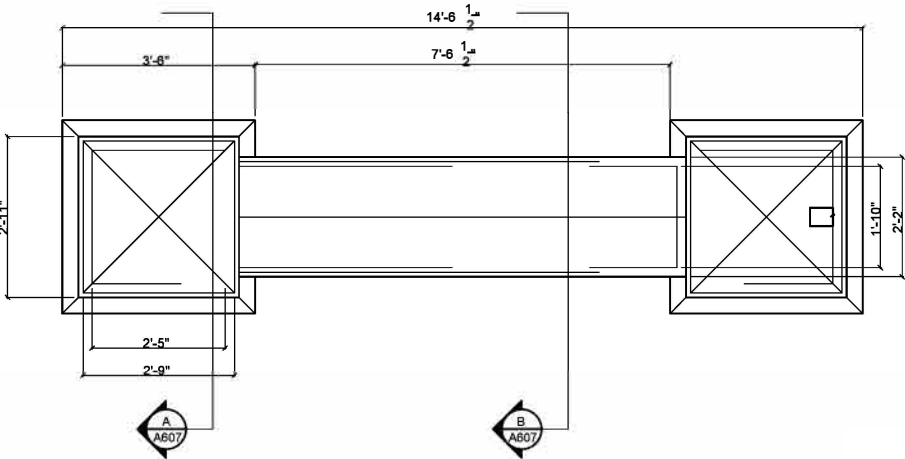
SITE PLAN

Drawn By: JRB
Checked By: JLW

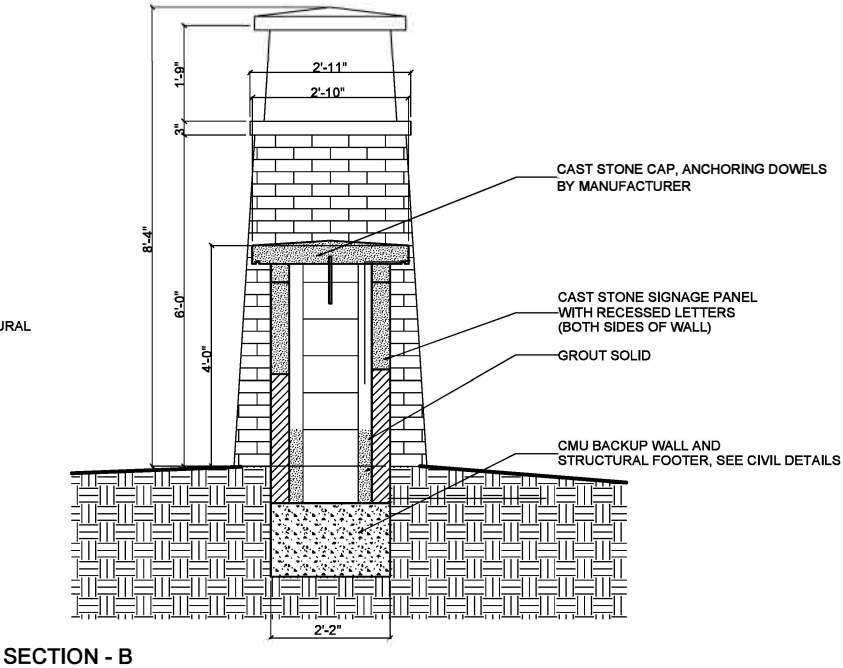
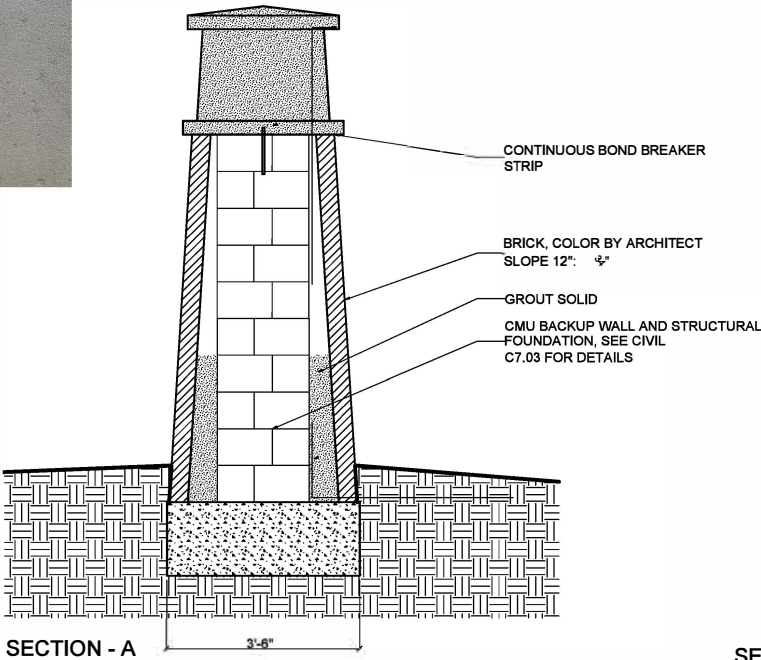
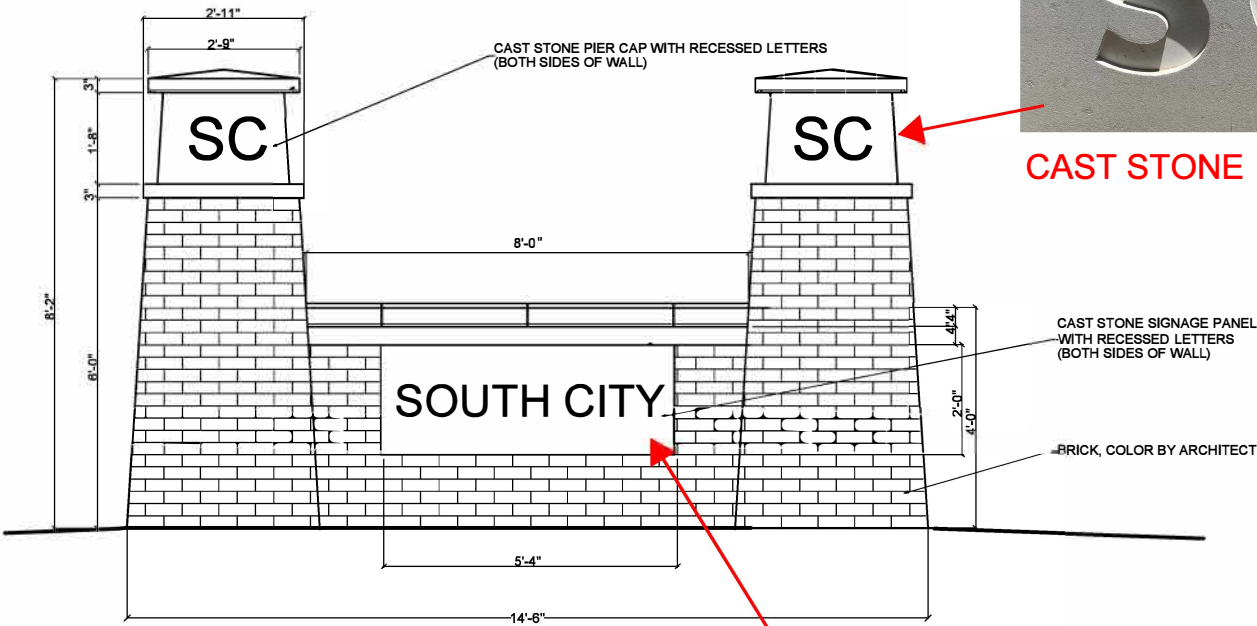
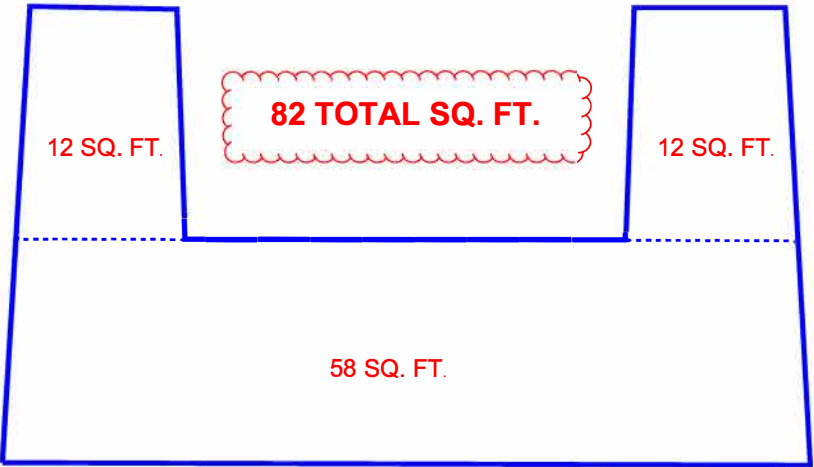
C1.1

05: South City Phase IV Site Plan with Sign Location

06: South City Phase IV Sign Details



SIGN OUTLINE



Nature leads, art follows.

Client:

McCormack
Baron
Salazar

720 Olive St Suite 2500

St. Louis, MO 63101

Issues and Revisions

Date	Issued / Revised
3/16/2020	50% CONSTRUCTION DOCS
5/18/2020	80% CONSTRUCTION DOCS
7/13/2020	PERMIT SUBMISSION
10/12/2020	ISSUE FOR CONSTRUCTION

BUILDING ADDRESSES

TYPE G-1	422, 444, 446, 448 RATLIFF LANE
TYPE H-1	324, 238, 238, 330 ISHMAEL PLACE
TYPE H-2	374, 443 VANCE AVE
TYPE H-3	318, 384 FOOTE LANE
TYPE H-4	353 S DANNY THOMAS BLVD
TYPE L-1	365, 431 VANCE AVE
TYPE L-2	374 ISHMAEL PLACE
TYPE L-3	420, 330 FOOTE LANE
TYPE L-4	345 S DANNY THOMAS BLVD
TYPE L-5	402, 408 FOOTE LANE

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Seal

LRK Project Number: 1,151,004.3

LBA Project Number: 20010

Project Name:

South City CNI
Phase 4

Memphis TN

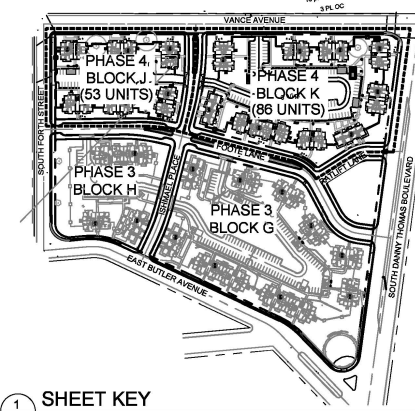
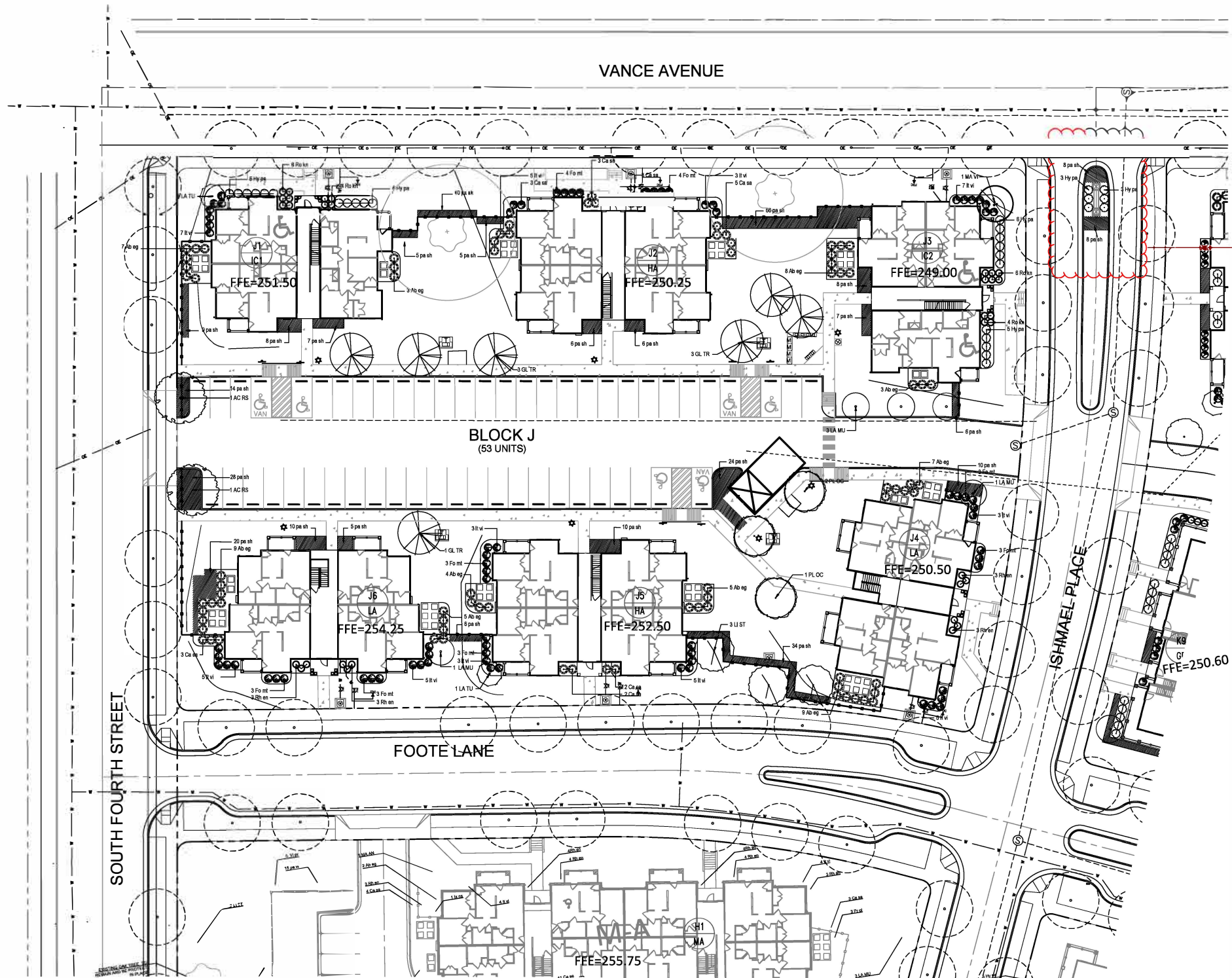
Drawing Name:

Landscape Plan
(BLOCK J)

Drawn By: JL ML

Checked By: JH

L-2



NOTES:

- REFER TO CIVIL DRAWINGS FOR PROPOSED GRADES, AND ACCURATE LOCATION OF PROPOSED UTILITIES.
- REFER TO CIVIL DRAWINGS FOR MAILBOX DETAILS.
- REFER TO TR-1 (DATED 3/15/2020) FOR TREE REMOVAL / PRESERVATION

108 NEW TREES ARE REQUIRED WITHIN PH3 AND PH4 TO MITIGATE EXISTING TREE REMOVAL COMPLETED IN PHASE 3.

56 TREES WERE INSTALLED IN PHASE 3 (BLOCKS G AND H) 52 TREES ARE REQUIRED B1 WILL BE INSTALLED IN PHASE 4 (BLOCKS J AND K)

4. STREET TREES WERE INSTALLED UNDER PREVIOUS PH3 CONTRACT.

