ADDENDUM NO. 2

Issue Date: October 24, 2024

Project: MARKET SQUARE PARK KIOSK IMPROVEMENTS

Project No.: 24-460.100-01

From: Downtown Redevelopment Authority

1313 Main Street Houston, Texas 77002

To: Prospective Bidders

This Addendum forms a part of the Bidding Documents and will be incorporated into the Contract Documents. Insofar as the Project Manual or Drawings or both are inconsistent, this Addendum governs. Acknowledge receipt of the Addendum by inserting its number and date of issue in Document 00310 - Form of Proposal. FAILURE TO DO SO WILL SUBJECT BID TO DISOUALIFICATION.

This Addendum uses the change page method: remove, remove and replace, or add pages, or Drawing sheets, as directed in the change instructions below. Change bars (|) are provided in the right margins of pages from the Project Manual to indicate where changes have been made; no change bars are provided in added Sections. Reissued Drawing Sheets show the Addendum number in the title block and changes in the Drawing are noted by a revision mark and enclosed in a revision cloud.

PART 1- INSTRUCTIONS

1.1 No changes.

PART 2- CLARIFICATIONS

2.1 No changes.

PART 3- BIDDING REQUIREMENTS (DIVISION 0)

- 3.1 Document 00003 Table of Contents: Specification sections have been added and updated. Remove entire section and insert replacement section included herein.
- 3.2 Document 00405 Bid Price Form: The format of the Bid Price Form has been updated. Remove entire section and insert replacement section included herein.

PART 4- PROJECT MANUAL (DIVISIONS 1-16)

Insert the following specification sections included herein into the project manual:

04 20 00 Unit Masonry

08 56 19.03 Self-Closing Service Windows

08 83 00 Mirrors

08 91 19 Fixed Louvers 31 31 16 Termite Control

PART 5- DRAWINGS

See attached drawing clarifications for review and consideration. A narrative of changes is provided below. Remove the entire sheet and insert replacement sheet included herein.

GENERAL

G0.000 COVER

• Updated Title Block.

G0.001 DRAWING INDEX & PROJECT INFORMATION

• Updated drawing index.

G1.101 FIRE & LIFE SAFETY PLAN - LEVEL 01

• Updated bar structure location and revised area calculation.

G9.000 BUILDING 3D VIEWS

• Updated 3D views.

CIVIL

C1 - COVER SHEET

• Updated Title Block to show Addendum 2.

C2 - GENERAL NOTES

• Updated Title Block.

C3 - OVERALL SITE AND DEMOLITION PLAN

- Showing new building location and layout.
- Added note to show removal/relocation of light poles and tables caused by the building shift.
- Removed the rerouting of the Telecom and Cable lines. The new building location does not require the utilities to be shifted anymore.
- Removed the rerouting of the perforated storm pipe.

C4 - GRADING & PAVING PLAN

Extended extent of new paving required by the building shift.

C5 - STORM SEWER PLAN

Extended 12" HDPE storm line to the new building location.

C6 - DRAINAGE AREA MAP & CALCULATIONS

· Building size did not change enough to effect storm calcs. Only change is building location.

C7 - UTILITY PLAN

- Extended sanitary line plan south to meet the new building location.
- Shifted water line connection plan south to meet the new building location.

C8 - STORM WATER POLLUTION PREVENTION PLAN

Shifted fabric fence to the south to encompass new building location.

ARCHITECTURAL

D1.101 DEMOLITION PLAN - LEVEL 01

• Revised demolition area around new bar location, updated sheet notes.

A0.100 ARCHITECTURAL SITE PLAN

· Revised location of new bar structure. Structure shifted plan south, and rotated.

A0.400 DOOR & WINDOW SCHEDULES

Revised overhead coiling door dimensions, comments.

A0.600 FINISH SCHEDULE

• Removed pavers (UM02), added decorative mirror (GL03)

A1.101 CONSTRUCTION PLAN - LEVEL 01

• Revised new bar structure and layout, added new structural grids.

A2.001 BUILDING ELEVATIONS

• Updated elevations for new bar location and layout.

A3.000 BUILDING SECTIONS

• Updated overall bar sections and added enlarged callouts.

A5.000 ENLARGED PLANS - KIOSK

• Added security cameras locations at kiosk RCP.

A5.010 ENLARGED PLANS - BAR

- Revised floor plans and RCP's for updated bar layout.
- Added sheet notes

A5.011 ENLARGED PLANS - BAR

• Revised roof plan for updated bar layout.

A6.000 EXTERIOR DETAILS - PLAN

• Updated detail keynotes

A6.001 EXTERIOR DETAILS - PLAN

- Add new sheet notes and keynotes.
- Added new detail plan view.

A6.020 EXTERIOR DETAILS - SECTION

- Revised section detail at bar perimeter.
- Added new section details for brick wall.

A6.021 EXTERIOR DETAILS - SECTION

- Updated and added new keynotes to detail views.
- Updated dimensions.

A7.000 ENLARGED ELEVATIONS & DETAILS

• Added new details and elevations of bar.

STRUCTURAL

S1.01 - FOUNDATION PLAN

• BAR BUILDING ROTATE AND REVISED GEOMETRY. CMU WALL ADDED.

S2.01 - LOWER ROOF FRAMING PLAN

• BAR BUILDING ROTATE AND REVISED GEOMETRY. CMU WALL ADDED.

S2.02 - UPPER ROOF FRAMING PLAN

• BAR BUILDING ROTATE AND REVISED GEOMETRY. CMU WALL ADDED.

S3.01 - FOUNDATION DETAILS

• DETAIL 1 REVISED TO MATCH PLAN REVISIONS. TITLE FOR DETAIL 2 REVISED.

S3.02 - FOUNDATION DETAILS

• NEW DETAILS ADDED TO SHOW STRUCTURAL BEAMS AT GRADE SUPPORTING NEW CMU WALL.

S4.01 - FRAMING DETAILS

• DETAILS REVISED TO MATCH PLAN REVISIONS

S4.02 - FRAMING DETAILS

• DETAILS REVISED TO MATCH PLAN REVISIONS

S7.01 - STANDARD CMU DETAILS

• STANDARD CMU DETAILS ADDED SINCE CMU WALL ADDED TO BAR BUILDING.

MECHANICAL

M0.02 - MECHANICAL SCHEDULES

• Change air curtain schedule

M2.01 - MECHANICAL PLAN

Rotate kiosk and adjust air curtains.

PLUMBING

P2.01 - PLUMBING FLOOR PLAN

- Rotate kiosk.
- Update plumbing to match revised food service.

P2.02 - PLUMBING ENLARGED PLANS

- Rotate kiosk.
- Update plumbing to match revised food service.

P3.01 - PLUMBING ROOF PLAN

• Rotate kiosk.

P5.01 - PLUMBING RISERS

• Rotate riser to match new kiosk location.

ELECTRICAL

E0.01 - ELECTRICAL COVER SHEET

Updated sheet list.

E0.50 - ELECTRICAL SITE PLAN

Removed as no scope.

E2.01 - POWER PLAN

- Change layout for rotated kiosk.
- Food service power layout changes.

E3.01 - LIGHTING PLAN

• Change lighting for rotated kiosk.

E3.02 - LIGHTING PLAN

• Change lighting for rotated kiosk.

E4.01 - POWER HVAC EQUIPMENT PLAN

• Change layout for rotated kiosk.

E7.00 - PANEL SCHEDULES & RISER

- Revised One-Line to remove LB.
- Upsize feeder for LA.
- Update breaker size serving LA on MS2.
- Removed panel LP, no scope.

E7.01 - PANEL SCHEDULES

- Remove panel LB.
- Update panel loads on LA and change to 208Y/120V.
- Removed panel LP, no scope.

FOOD SERVICE

- Item 201 cabinet was deleted
- Item 204 changed to a 60" long unit from 48"
- ullet Item 205 changed to a frozen beverage machine from a soft serve ice cream machine
- Item 206 rapid cook oven was deleted
- Item 209 ware washer moved to the kitchen kiosk
- Item 210 back bar refrigerator changed to a under counter refrigerator 48"
- Item 211 & 211.1 changed to a three group espresso machine from a Modbar system
- Items 217 and 218 coffee grinder and brewer moved from the storage building to the back bar in the bar kiosk
- Item 220 table was deleted
- Item 226 pastry display was deleted

END OF ADDENDUM NO.2

Project Manual for:

MARKET SQUARE PARK KIOSK IMPROVEMENTS

Houston, Texas
Project Number 24-460.100-01

A Project for:



Downtown Redevelopment Authority/
City of Houston
Tax Increment Reinvestment Zone Number Three

Prepared by:

Gensler

October 24, 2024 Addendum 2

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00510	Agreement Between the Downtown Redevelopment Authority/City of Houston Tax Increment Reinvestment Zone Number Three and Contractor					
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00637	List of Safety Impact Positions
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00640	Bidder Requirements for Minority, Women, and Disadvantaged
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00645	Form of Business1
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00650	Notice to Proceed (Example Form)
00651	Certification of Payment to Suppliers and Subcontractors (to be
	filed, provided by contractor)
00655	Drug Policy Compliance Declaration2
	Documents listed "(to be filed)" are to be provided by the Bidder and are not included in this Project Manual unless indicated for example only. The Document numbers and titles hold places for actual documents expected to be added during the bid, post-bid, or construction phase of the Project.
	CONDITIONS OF THE CONTRACT
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Bold capitalized specification sections are included in the "CITY OF HOUSTON STANDARD CONSTRUCTION SPECIFICATIONS FOR WASTEWATER COLLECTION SYSTEMS, WATER LINES, STORM DRAINAGE, STREET PAVING, AND TRAFFIC," dated July, 2012; and are incorporated herein by reference as if copied verbatim.

Project Record Documents......2

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DIVISION	5 - METALS
05 50 00 05 70 00	Metal Fabrications
DIVISION	6 - WOOD, PLASTICS & COMPOSITES
06 16 00 06 40 13 06 40 23 06 64 00	Sheathing
DIVISION	7 - THERMAL AND MOISTURE PROTECTION
07 13 26 07 21 00 07 26 16 07 27 26 07 42 13 07 46 46 07 54 23 07 62 00 07 71 00 07 72 00 07 92 00	Self-Adhering Sheet Waterproofing Thermal Insulation Under-Slab-On-Grade Vapor Barrier Fluid-Applied Membrane Air Barriers 12 13 Formed Metal Wall Panels Fiber-Cement Siding TPO Roofing Sheet Metal Flashing and Trim Roof Specialties Joint Sealants 4
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DIVISION 10	- SPECIALTIES				
10 44 00	Fire Extinguishers				
DIVISION 11	- EQUIPMENT				
Refer to Fo	od Service Consultant				
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12 22 00 12 36 40	Curtains and Drapes				
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PROJECT MANUAL
MARKET SQUARE PARK KIOSK IMPROVEMENTS
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OCTOBER 2024
ADDENDUM 2

END OF DOCUMENT

ARCHITECT

Gensler

909 Fannin Street Suite 200 Houston, Texas 77010 713.844.0000

BID PRICE FORM

This document, consisting of five (5) pages, constitutes a Proposal Supplement to Document 00310 - Form of Proposal for the Downtown Redevelopment Authority Project titled Southern Downtown Park.

When a Contract is awarded, this Document becomes a supplement to Document 00510 - Form of Agreement between the Downtown Redevelopment Authority / TIRZ 3 and Contractor.

The bidder, having examined all Drawings and Specifications dated October 1, 2024 and October 24, 2024 and the site of the proposed work and being familiar with all of the conditions of this proposed project including the availability of materials and labor, hereby proposes to furnish all labor, materials and supplies and to construct the project in accordance with the Contract Documents, at the prices stated below. These prices are to cover all expenses incurred in performing the work required under the Contract Documents, including the related work which may not be specifically mentioned, but implied or intended, of which this proposal is a part. This bid will remain subject to acceptance for ninety (90) days after the date of the Bid opening.

EXISTING KIOSK SUMMARY - BID PRICE FORM

Division 01	- General Requirements	\$
Division 02	- Existing Conditions/ Site Work	\$
Division 03	- Concrete	\$
Division 04	- Masonry	\$
Division 05	- Metals	\$
Division 06	- Wood and Plastics	\$
Division 07	- Thermal/ Moisture Protection	\$
Division 08	- Doors/ Windows and Glazing	\$
Division 09	- Finishes	\$
Division 12	- Furnishings	\$
Division 22	- Plumbing	\$
Division 23	- Mechanical	\$
Division 26	- Electrical	\$
Division 27	- Communications	\$
Division 28	- Security	\$
Division 33	- Site Utilities	\$
TOTAL EXISTING KIOSK	PRICE	\$

EXISTING	STORAGE B	UILDI	ING SUMMARY - BID PRICE FORM	
	Division	01 -	General Requirements	\$
	Division	02 -	Existing Conditions/ Site Work	\$
	Division	08 -	Doors/ Windows and Glazing	\$
	Division	09 -	Finishes	\$
	Division	22 -	Plumbing	\$
	Division	26 -	Electrical	\$
	Division	33 -	Site Utilities	\$
TOTAL EXI	STING STO	RAGE	PRICE	\$
EXSITING	TRELLIS S	UMMAF	RY - BID PRICE FORM	
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	Division	09 -	Finishes	\$
	Division	12 -	Furnishings	\$
	Division	27 -	Communications	\$
	Division	32 -	Exterior Improvements	\$
TOTAL EXI				\$

NEW OUTDOOR BAR - BID PRICE FORM

	Division	01 -	General Requirements	\$
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	Division	08 -	Doors/ Windows and Glazing	\$
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			Specialties	\$
			Furnishings	\$
			Plumbing	\$
			Mechanical	\$
			Electrical	
				\$
	Division	27 -	Communications	\$
	Division	28 -	Security	\$
	Division	31 -	Earthwork	\$
	Division	33 -	Site Utilities	\$
TOTAL	OUTDOOR BAR	PRIC	€	\$

COMBINED TOTAL PRICING BID SHEET

TOTAL PROJECT BID PRICE	\$
NEW OUTDOOR BAR TOTAL BID PRICE	\$
EXSITING TRELLIS TOTAL BID PRICE	\$
EXISTING STORAGE BUILDING TOTAL BID PRICE	\$
EXISTING KIOSK TOTAL BID PRICE	\$

(To be carried forward to Document 00310 - Form of Proposal)

SECTION 04 20 00

UNIT MASONRY

PART 1 - GENERAL

1.01 SUMMARY

- A. Section Includes:
 - 1. Brick.
 - 2. Mortar and grout materials.
 - 3. Ties and anchors.
 - 4. Embedded flashing.
 - 5. Accessories.
 - 6. Mortar and grout mixes.
- B. Products Installed but not Furnished under This Section:
 - 1. Steel lintels in unit masonry.

1.02 PREINSTALLATION MEETINGS

- A. Preinstallation Conference: Conduct conference at Project site.
- 1.03 ACTION SUBMITTALS
 - A. Product Data: For each type of product.
 - B. Shop Drawings: For the following:
 - 1. Masonry Units: Indicate sizes, profiles, coursing, and locations of special shapes.
 - 2. Fabricated Flashing: Detail corner units, end-dam units, and other special applications.
 - C. Samples for Verification: For each type and color of the following:
 - 1. Clay face brick, in the form of straps of five or more bricks.
 - 2. Special brick shapes.
 - 3. Pigmented and colored-aggregate mortar. Make Samples using same sand and mortar ingredients to be used on Project.
 - 4. Weep/cavity vents.
 - 5. Cavity drainage material.
 - 6. Accessories embedded in masonry.

- D. Delegated Design Submittals: For masonry anchors and ties, including analysis data signed and sealed by the qualified professional engineer responsible for their preparation.
- 1.04 INFORMATIONAL SUBMITTALS
 - A. Embodied Carbon Submittals: Refer to Section 01 81 33 "Sustainable Design Requirements Embodied Carbon."
 - 1. Completed Environmental Product Declaration Reporting Form for the following principal product types in this Section:
 - a. Brick.
 - b. Masonry Cement.
 - c. Mortar Cement.
 - 2. For products with completed Environmental Product Declaration Reporting Forms claiming availability of an applicable EPD, provide the Product-Specific or Industry-Wide Type III Environmental Product Declaration (EPD) in compliance with ISO 14025.
 - 3. The Contractor is advised that the submission of the embodied carbon EPD materials to the USGBC is not required.
 - B. Material Certificates: For each type of the following:
 - 1. Masonry units.
 - a. Include material test reports substantiating compliance with requirements.
 - b. For brick, include size-variation data verifying that actual range of sizes falls within specified tolerances.
 - c. For exposed brick, include test report for efflorescence in accordance with ASTM C67/C67M.
 - Cementitious materials. Include name of manufacturer, brand name, and type.
 - 3. Mortar admixtures.
 - 4. Preblended, dry mortar mixes. Include description of type and proportions of ingredients.
 - Grout mixes. Include description of type and proportions of ingredients.
 - 6. Anchors, ties, and metal accessories.
 - C. Delegated design engineer qualifications.
 - D. Mix Designs: For each type of mortar and grout. Include description of type and proportions of ingredients.

- Include test reports for mortar mixes required to comply with property specification. Test in accordance with ASTM C109/C109M for compressive strength, ASTM C1506 for water retention, and ASTM C91/C91M for air content.
- E. Cold-Weather and Hot-Weather Procedures: Detailed description of methods, materials, and equipment to be used to comply with requirements.

1.05 QUALITY ASSURANCE

A. Oualifications:

- 1. Installers: All masonry flashing installers must complete the International Masonry Institute Flashing Upgrade training course.
- 2. Delegated Design Engineer: A professional engineer who is legally qualified to practice in state where Project is located and who is experienced in providing engineering services of the type indicated.

1.06 MOCKUPS

- A. Sample Panel Mockups: Build sample panels to verify selections made under Sample submittals and to demonstrate aesthetic effects. Comply with requirements in Section 01 40 00 "Quality Requirements" for mockups.
 - 1. Build sample panels for typical exterior wall in sizes approximately 48 inches (1219 mm) long by 48 inches (1219 mm) high by full thickness.
 - 2. Build sample panels facing south.
 - Where masonry is to match existing, build panels adjacent and parallel to existing surface.
 - 4. Clean one-half of exposed faces of panels with masonry cleaner indicated.
 - 5. Protect approved sample panels from the elements with weather-resistant membrane.
 - 6. Approval of sample panels is for color, texture, and blending of masonry units; relationship of mortar and sealant colors to masonry unit colors; tooling of joints; aesthetic qualities of workmanship; and other material and construction qualities specifically approved by Architect in writing.
 - a. Approval of sample panels does not constitute approval of deviations from the Contract Documents contained in sample panels unless Architect specifically approves such deviations in writing.

1.07 DELIVERY, STORAGE, AND HANDLING

- A. Store masonry units on elevated platforms in a dry location. If units are not stored in an enclosed location, cover tops and sides of stacks with waterproof sheeting, securely tied. If units become wet, do not install until they are dry.
- B. Store cementitious materials on elevated platforms, under cover, and in a dry location. Do not use cementitious materials that have become damp.

- C. Store aggregates where grading and other required characteristics can be maintained and contamination avoided.
- D. Deliver preblended, dry mortar mix in moisture-resistant containers. Store preblended, dry mortar mix in delivery containers on elevated platforms in a dry location or in covered weatherproof dispensing silos.
- E. Store masonry accessories, including metal items, to prevent corrosion and accumulation of dirt and oil.

1.08 FIELD CONDITIONS

- A. Protection of Masonry: During construction cover tops of walls with waterproof sheeting at end of each day's work. Cover partially completed masonry when construction is not in progress.
 - Extend cover a minimum of 24 inches (610 mm) down both sides of walls, and hold cover securely in place.
- B. Stain Prevention: Prevent grout, mortar, and soil from staining the face of masonry to be left exposed or painted. Immediately remove grout, mortar, and soil that come in contact with such masonry.
 - 1. Protect base of walls from rain-splashed mud and from mortar splatter by spreading coverings on ground and over wall surface.
 - 2. Protect sills, ledges, and projections from mortar droppings.
 - 3. Protect surfaces of window and door frames, as well as similar products with painted and integral finishes, from mortar droppings.
 - 4. Turn scaffold boards near the wall on edge at the end of each day to prevent rain from splashing mortar and dirt onto completed masonry.
- C. Cold-Weather Requirements: Do not use frozen materials or materials mixed or coated with ice or frost. Do not build on frozen substrates. Remove and replace unit masonry damaged by frost or by freezing conditions. Comply with cold-weather construction requirements contained in TMS 602.
 - 1. Cold-Weather Cleaning: Use liquid cleaning methods only when air temperature is 40 deg F (4 deg C) and higher and will remain so until masonry has dried, but not less than seven days after completing cleaning.
- D. Hot-Weather Requirements: Comply with hot-weather construction requirements contained in TMS 602.

PART 2 - PRODUCTS

2.01 SOURCE LIMITATIONS

A. Obtain exposed masonry units and mortar aggregate from single source or manufacturer.

2.02 UNIT MASONRY, GENERAL

A. Masonry Standard: Comply with TMS 602, except as modified by requirements in the Contract Documents.

B. Defective Units: Referenced masonry unit standards may allow a certain percentage of units to contain chips, cracks, or other defects exceeding limits stated. Do not use units where such defects are exposed in the completed Work.

2.03 BRICK

- A. General: Provide shapes indicated and as follows, with exposed surfaces matching finish and color of exposed faces of adjacent units:
 - 1. Provide special shapes for applications where stretcher units cannot accommodate special conditions, including those at corners, movement joints, bond beams, sashes, and lintels.
- B. Clay Face Brick: Facing brick complying with ASTM C216 or hollow brick complying with ASTM C652, Class H40V (void areas between 25 and 40 percent of gross cross-sectional area), Grade MW or Grade SW, Type FBX.
 - 1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - a. Acme Brick Company.
 - b. Belden Brick Company (The).
 - c. Boral Bricks, Inc; Boral Limited.
 - d. Endicott Clay Products Co.
 - e. General Shale Brick.
 - f. Glen-Gery Corporation.
 - 2. Initial Rate of Absorption: Less than 30 g/30 sq. in. (30 g/194 sq. cm) per minute when tested in accordance with ASTM C67/C67M.
 - 3. Efflorescence: Provide brick that has been tested in accordance with ASTM C67/C67M and is rated "not effloresced."
 - 4. Where shown to "match existing," provide face brick matching color range, texture, and size of existing adjacent brickwork.

2.04 MORTAR AND GROUT MATERIALS

- A. Masonry Cement: ASTM C91/C91M.
 - Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - a. Cemex S.A.B. de C.V.
 - b. Fairborn Cement Company.
 - c. Federal White Cement, Ltd.
 - d. Holcim (US) Inc.

- e. Lafarge North America Inc.
- f. Lehigh Hanson; HeidelbergCement Group.
- g. Lehigh White Cement Company.
- h. QUIKRETE.
- i. SAKRETE of North America LLC.
- B. Mortar Cement: ASTM C1329/C1329M.
 - Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - a. Lafarge North America Inc.
- C. Mortar Pigments: Natural and synthetic iron oxides and chromium oxides, compounded for use in mortar mixes and complying with ASTM C979/C979M. Use only pigments with a record of satisfactory performance in masonry mortar.
 - Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - a. Davis Colors.
 - b. Euclid Chemical Company (The); an RPM company.
 - c. Lanxess Corporation.
 - d. Solomon Colors, Inc.
- D. Colored Cement Products: Packaged blend made from portland cement and hydrated lime or masonry cement and mortar pigments, all complying with specified requirements, and containing no other ingredients.
 - 1. Colored Portland Cement-Lime Mix:
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Argos USA LLC.
 - 2) Holcim (US) Inc.
 - 3) Lehigh Hanson; HeidelbergCement Group.
 - 2. Colored Masonry Cement:
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Argos USA LLC.
 - 2) Cemex S.A.B. de C.V.

- 3) Fairborn Cement Company.
- 4) Holcim (US) Inc.
- 5) Lafarge North America Inc.
- 6) Lehigh Hanson; HeidelbergCement Group.
- 3. Formulate blend as required to produce color indicated or, if not indicated, as selected from manufacturer's standard colors.
- 4. Pigments do not exceed 10 percent of portland cement by weight.
- 5. Pigments do not exceed 5 percent of masonry cement or mortar cement by weight.
- E. Preblended Dry Mortar Mix: Packaged blend made from portland cement and hydrated lime, sand, mortar pigments, and admixtures and complying with ASTM C1714/C1714M.
 - 1. Preblended Dry Portland Cement Mortar Mix:
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Amerimix.
 - 2) QUIKRETE.
 - 3) SAKRETE of North America LLC.
 - 4) Spec Mix, LLC.
 - 2. Preblended Dry Masonry Cement Mortar Mix
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Amerimix.
 - 2) Spec Mix, LLC.
- F. Aggregate for Mortar: ASTM C144.
 - For mortar that is exposed to view, use washed aggregate consisting of natural sand or crushed stone.
 - 2. For joints less than 1/4 inch (6.4 mm) thick, use aggregate graded with 100 percent passing the No. 16 (1.18-mm) sieve.
 - 3. White-Mortar Aggregates: Natural white sand or crushed white stone.
 - 4. Colored-Mortar Aggregates: Natural sand or crushed stone of color necessary to produce required mortar color.
- G. Aggregate for Grout: ASTM C404.

- H. Cold-Weather Admixture: Nonchloride, noncorrosive, accelerating admixture complying with ASTM C494/C494M, Type C, and recommended by manufacturer for use in masonry mortar of composition indicated.
 - 1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - a. Euclid Chemical Company (The); an RPM company.
 - b. GCP Applied Technologies Inc.
- I. Water: Potable.
- 2.05 TIES AND ANCHORS
 - A. General: Ties and anchors extend at least 1-1/2 inches (38 mm) into veneer but with at least a 5/8-inch (16-mm) cover on outside face.
 - B. Materials: Provide ties and anchors specified in this article that are made from materials that comply with the following unless otherwise indicated:
 - 1. Stainless Steel Wire: ASTM A580/A580M, Type 304.
 - 2. Stainless Steel Sheet: ASTM A240/A240M or ASTM A666, Type 304.
 - 3. Stainless Steel Bars: ASTM A276 or ASTM A666, Type 304.
 - C. Adjustable Masonry-Veneer Anchors:
 - 1. General: Provide anchors that allow vertical adjustment but resist a 100 lbf (445 N) load in both tension and compression perpendicular to plane of wall without deforming or developing play in excess of 1/16 inch (1.6 mm).
 - 2. Fabricate sheet metal anchor sections and other sheet metal parts from 0.0781-inch- (1.98-mm-) thick, stainless steel sheet.
 - 3. Fabricate wire ties from 0.187-inch- (4.76-mm-) diameter, stainless steel wire unless otherwise indicated.
 - 4. Contractor's Option: Unless otherwise indicated, provide any of the adjustable masonry-veneer anchors specified.
 - 5. Masonry-Veneer Anchors; Vertical Slotted L-Plate: Rib-stiffened, sheet metal anchor section with screw holes at top and bottom, projecting vertical leg with slotted hole for wire tie.
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) FERO Corporation.
 - 2) Hohmann & Barnard, Inc.
 - 3) PROSOCO, Inc.
 - 4) Wire-Bond.

- 6. Masonry-Veneer Anchors; Double-Pintle Plate: Rib-stiffened, sheet metal anchor section with screw holes at top and bottom, projecting horizontal leg with slots for vertical legs of double pintle wire tie.
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Heckmann Building Products, Inc.
 - 2) Hohmann & Barnard, Inc.
 - 3) Quality Steel and Wire LLC.
 - 4) Wire-Bond.
- 7. Masonry-Veneer Anchors; Slotted Plate: Sheet metal anchor section, with screw holes at top and bottom; and raised rib-stiffened strap, stamped into center to provide a slot between strap and base for wire tie.
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Heckmann Building Products, Inc.
 - 2) Hohmann & Barnard, Inc.
 - 3) Quality Steel and Wire LLC.
 - 4) Wire-Bond.
- 8. Masonry-Veneer Anchors; Slotted Plate with Prongs: Sheet metal anchor section, with screw holes at top and bottom; top and bottom ends bent to form pronged legs of length to match thickness of insulation; and raised rib-stiffened strap, stamped into center to provide a slot between strap and base for wire tie. Use self-adhering tape to seal penetration behind anchor plate.
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Hohmann & Barnard, Inc.
 - 2) Wire-Bond.

2.06 EMBEDDED FLASHING

- A. Metal Flashing: Provide metal flashing complying with SMACNA's "Architectural Sheet Metal Manual" and as follows:
 - 1. Stainless Steel: ASTM A240/A240M or ASTM A666, Type 304, 0.016 inch (0.40 mm) thick.
 - 2. Fabricate through-wall metal flashing embedded in masonry from stainless steel, with sawtooth ribs at 3-inch (76-mm) intervals along length of flashing to provide an integral mortar bond.

- a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Cheney Flashing Company.
 - 2) Hohmann & Barnard, Inc.
 - Keystone Flashing Company, Inc.
- 3. Fabricate metal drip edges from stainless steel. Extend at least 3 inches (76 mm) into wall and 1/2 inch (13 mm) out from wall, with outer edge bent down 30 degrees[and hemmed].
- 4. Fabricate metal sealant stops from stainless steel. Extend at least 3 inches (76 mm) into wall and out to exterior face of wall. At exterior face of wall, bend metal back on itself for 3/4 inch (19 mm) and down into joint 1/4 inch (6.4 mm) to form a stop for retaining sealant backer rod.
- Fabricate metal expansion-joint strips from stainless steel to shapes indicated.
- 6. Solder metal items at corners.
- B. Flexible Flashing: Use one of the following unless otherwise indicated:
 - Stainless Steel Fabric Flashing: Composite, flashing product consisting of 2-mil (0.05-mm) of Type 304 stainless steel sheet, bonded to a layer of polymeric fabric, to produce an overall thickness of 40-mil (1.0mm).
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Fiberweb, Clark Hammerbeam Corp.
 - 2) Hohmann & Barnard, Inc.
 - 3) STS Coatings, Inc.
 - 4) Wire-Bond.
 - 5) York Manufacturing, Inc.
 - 2. Self-Adhering, Stainless Steel Fabric Flashing: Composite, flashing product consisting of 2 mil (0.05 mm) of Type 304 stainless steel sheet, bonded to a layer of polymeric fabric with a butyl adhesive, to produce an overall thickness of 10 mil (0.25 mm).
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Hohmann & Barnard, Inc.
 - 2) STS Coatings, Inc.

- VaproShield LLC.
- 4) Wire-Bond.
- 5) York Manufacturing, Inc.
- b. Applications: Use 10-mil- (0.25-mm-) thick flashing at windows, doors, and small wall penetrations; not at base of walls. Use 40-mil- (1.0-mm-) thick flashing at base of walls.
- 3. Rubberized-Asphalt Flashing: Composite flashing product consisting of a pliable, adhesive rubberized-asphalt compound, bonded to a high-density, cross-laminated polyethylene film to produce an overall thickness of not less than 30 mil (0.76 mm).
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Advanced Building Products Inc.
 - 2) Carlisle Coatings & Waterproofing Inc.
 - 3) Fiberweb, Clark Hammerbeam Corp.
 - 4) GCP Applied Technologies Inc.
 - 5) Heckmann Building Products, Inc.
 - 6) Hohmann & Barnard, Inc.
 - 7) Polyguard Products, Inc.
 - 8) W.R. Meadows, Inc.
 - 9) Williams Products, Inc.
 - 10) Wire-Bond.
 - b. Accessories: Provide preformed corners, end dams, other special shapes, and seaming materials produced by flashing manufacturer.
- EPDM Flashing: Sheet flashing product made from ethylene-propylenediene terpolymer, complying with ASTM D4637/D4637M, 40 mil (1.0 mm) thick.
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Carlisle Coatings & Waterproofing Inc.
 - 2) Firestone Specialty Products.
 - 3) Heckmann Building Products, Inc.
 - 4) Hohmann & Barnard, Inc.
 - 5) Wire-Bond.

- C. Drainage Plane Flashing: Fabricate from stainless steel and drainage membrane to shapes indicated, including weep tabs, termination bar, and drip edge. Provide flashing materials as follows:
 - 1. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - a. Mortar Net Solutions.
 - b. STS Coatings, Inc.
 - c. York Manufacturing, Inc.
 - 2. Stainless Steel: ASTM A240/A240M or ASTM A666, Type 304, 0.016 inch (0.40 mm) thick.
 - 3. Rubberized Asphalt: 40 mil (1.0 mm) thick.
 - 4. Elastomeric Membrane: EPDM complying with ASTM D4637/D4637M, 40 mil $(1.0\ \text{mm})$.
 - Fabricate continuous flashings in sections 60 inches (1524 mm) long, minimum.
 - 6. Accessories: Provide preformed corners, end dams, other special shapes, and seaming materials produced by flashing manufacturer.
- D. Solder and Sealants for Sheet Metal Flashings: As specified in Section 07 62 00 "Sheet Metal Flashing and Trim."
 - 1. Solder for Stainless Steel: ASTM B32, Grade Sn60, with acid flux of type recommended by stainless steel sheet manufacturer.
 - 2. Elastomeric Sealant: ASTM C920, chemically curing silicone sealant; of type, grade, class, and use classifications required to seal joints in sheet metal flashing and remain watertight.
- E. Adhesives, Primers, and Seam Tapes for Flashings: Flashing manufacturer's standard products or products recommended by flashing manufacturer for bonding flashing sheets to each other and to substrates.
- F. Termination Bars for Flexible Flashing: Stainless steelbars 0.075 inch by 1 inch (1.90 mm by 25 mm).
- G. Termination Bars for Flexible Flashing, Flanged: Stainless steel sheet 0.019 inch by 1-1/2 inches (0.48 mm by 38 mm) with a 3/8-inch (10-mm) flange at top and bottom.

2.07 ACCESSORIES

- A. Compressible Filler: Premolded filler strips complying with ASTM D1056, Grade 2A1; compressible up to 35 percent; of width and thickness indicated; formulated from neoprene, urethane, or PVC.
- B. Preformed Control-Joint Gaskets: Made from styrene-butadiene-rubber compound, complying with ASTM D2000, Designation M2AA-805 and designed to fit standard sash block and to maintain lateral stability in masonry wall; size and configuration as indicated.

- C. Bond-Breaker Strips: Asphalt-saturated felt complying with ASTM D226/D226M, Type I (No. 15 asphalt felt).
- D. Weep/Cavity Vents: Use one of the following unless otherwise indicated:
 - 1. Wicking Material: Absorbent rope, made from cotton, 1/4 to 3/8-inch (6.4 to 10 mm) in diameter, in length required to produce 2-inch (51-mm) exposure on exterior and 18 inches (457 mm) in cavity. Use only for weeps.
 - 2. Round Plastic Weep/Vent Tubing: Medium-density polyethylene, 3/8-inch (10-mm) OD by 4 inches (102 mm) long.
 - 3. Rectangular Plastic Weep/Vent Tubing: Clear butyrate, 3/8 by 1-1/2 by 3-1/2 inches (10 by 38 by 89 mm) long.
 - 4. Cellular Plastic Weep/Vent: One-piece, flexible extrusion made from UV-resistant polypropylene copolymer, full height and width of head joint and depth 1/8 inch (3.2 mm) less than depth of outer wythe, in color selected from manufacturer's standard.
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Advanced Building Products Inc.
 - 2) Heckmann Building Products, Inc.
 - 3) Hohmann & Barnard, Inc.
 - 4) Mortar Net Solutions.
 - 5) Wire-Bond.
 - 5. Mesh Weep/Vent: Free-draining mesh; made from polyethylene strands, full height and width of head joint and depth 1/8 inch (3.2 mm) less than depth of outer wythe; in color selected from manufacturer's standard.
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - CavClear/Archovations, Inc.
 - 2) Hohmann & Barnard, Inc.
 - 3) Keene Building Products.
 - 4) Mortar Net Solutions.
 - 6. Vinyl Weep Hole/Vent: Units made from flexible PVC, designed to fit into a head joint and consisting of a louvered vertical leg, flexible wings to seal against ends of masonry units, and a top flap to keep mortar out of the head joint; in color selected by Architect.

- a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Hohmann & Barnard, Inc.
 - 2) Williams Products, Inc.
 - 3) Wire-Bond.
- E. Cavity Drainage Material: Free-draining mesh, made from polymer strands that will not degrade within the wall cavity.
 - 1. Mortar Deflector: Strips, full depth of cavity and 10 inches (254 mm) high, with dovetail-shaped notches that prevent clogging with mortar droppings.
 - a. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - 1) Advanced Building Products Inc.
 - 2) Hohmann & Barnard, Inc.
 - 3) Keene Building Products.
 - 4) Mortar Net Solutions.
 - 5) Wire-Bond.
 - 6) York Manufacturing, Inc.

2.08 MORTAR AND GROUT MIXES

- A. General: Do not use admixtures, including pigments, air-entraining agents, accelerators, retarders, water-repellent agents, antifreeze compounds, or other admixtures unless otherwise indicated.
 - 1. Do not use calcium chloride in mortar or grout.
 - 2. Use portland cement-lime or mortar unless otherwise indicated.
 - 3. For exterior masonry, use portland cement-lime or mortar cement mortar.
 - 4. Add cold-weather admixture (if used) at same rate for all mortar that will be exposed to view, regardless of weather conditions, to ensure that mortar color is consistent.
- B. Preblended, Dry Mortar Mix: Furnish dry mortar ingredients in form of a preblended mix. Measure quantities by weight to ensure accurate proportions, and thoroughly blend ingredients before delivering to Project site.
- C. Grout for Unit Masonry: Comply with ASTM C476.
 - 1. Use grout of type indicated or, if not otherwise indicated, of type (fine or coarse) that will comply with TMS 602 for dimensions of grout spaces and pour height.

- 2. Proportion grout in accordance with ASTM C476, Table 1 orparagraph 4.2.1.2 for specified 28-day compressive strength indicated, but not less than 2000 psi (14 MPa).
- 3. Provide grout with a slump of 8 to 11 inches (203 to 279 mm) as measured in accordance with ASTM C143/C143M.

PART 3 - EXECUTION

3.01 EXAMINATION

- A. Examine conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of the Work.
 - 1. For the record, prepare written report, endorsed by Installer, listing conditions detrimental to performance of the Work.
 - 2. Verify that foundations are within tolerances specified.
 - 3. Verify that reinforcing dowels are properly placed.
 - 4. Verify that substrates are free of substances that impair mortar bond.
- B. Before installation, examine rough-in and built-in construction for piping systems to verify actual locations of piping connections.
- C. Proceed with installation only after unsatisfactory conditions have been corrected.

3.02 INSTALLATION, GENERAL

- A. Thickness: Build cavity and composite walls and other masonry construction to full thickness shown. Build single-wythe walls to actual widths of masonry units, using units of widths indicated.
- B. Use full-size units without cutting if possible. If cutting is required to provide a continuous pattern or to fit adjoining construction, cut units with motor-driven saws; provide clean, sharp, unchipped edges. Allow units to dry before laying unless wetting of units is specified. Install cut units with cut surfaces and, where possible, cut edges concealed.
- C. Select and arrange units for exposed unit masonry to produce a uniform blend of colors and textures. Mix units from several pallets or cubes as they are placed.
- D. Matching Existing Masonry: Match coursing, bonding, color, and texture of existing masonry.
- E. Wetting of Brick: Wet brick before laying if initial rate of absorption exceeds 30 g/30 sq. in. (30 g/194 sq. cm) per minute when tested in accordance with ASTM C67/C67M. Allow units to absorb water so they are damp but not wet at time of laying.

3.03 TOLERANCES

A. Dimensions and Locations of Elements:

- 1. For dimensions in cross section or elevation, do not vary by more than plus 1/2 inch (13 mm) or minus 1/4 inch (6.4 mm).
- 2. For location of elements in plan, do not vary from that indicated by more than plus or minus 1/2 inch (13 mm).
- 3. For location of elements in elevation, do not vary from that indicated by more than plus or minus 1/4 inch (6.4 mm) in a story height or 1/2 inch (13 mm) total.

B. Lines and Levels:

- 1. For bed joints and top surfaces of bearing walls, do not vary from level by more than 1/4 inch in 10 ft. (6.4 mm in 3 m), or 1/2-inch (13-mm) maximum.
- 2. For conspicuous horizontal lines, such as lintels, sills, parapets, and reveals, do not vary from level by more than 1/8 inch in 10 ft. (3.2 mm in 3 m), 1/4 inch in 20 ft. (6.4 mm in 6 m), or 1/2-inch (13-mm) maximum.
- 3. For vertical lines and surfaces, do not vary from plumb by more than 1/4 inch in 10 ft. (6.4 mm in 3 m), 3/8 inch in 20 ft. (10 mm in 6 m), or 1/2-inch (13-mm) maximum.
- 4. For conspicuous vertical lines, such as external corners, door jambs, reveals, and expansion and control joints, do not vary from plumb by more than 1/8 inch in 10 ft. (3.2 mm in 3 m), 1/4 inch in 20 ft. (6.4 mm in 6 m), or 1/2-inch (13-mm) maximum.
- 5. For lines and surfaces, do not vary from straight by more than 1/4 inch in 10 ft. (6.4 mm in 3 m), 3/8 inch in 20 ft. (10 mm in 6 m), or 1/2-inch (13-mm) maximum.
- 6. For vertical alignment of exposed head joints, do not vary from plumb by more than 1/4 inch in 10 ft. (6.4 mm in 3 m), or 1/2-inch (13-mm)
- 7. For faces of adjacent exposed masonry units, do not vary from flush alignment by more than 1/16 inch (1.6 mm) except due to warpage of masonry units within tolerances specified for warpage of units.

C. Joints:

- 1. For bed joints, do not vary from thickness indicated by more than plus or minus 1/8 inch (3.2 mm), with a maximum thickness limited to 1/2 inch (13 mm).
- 2. For exposed bed joints, do not vary from bed-joint thickness of adjacent courses by more than 1/8 inch (3.2 mm).
- 3. For head and collar joints, do not vary from thickness indicated by more than plus 3/8 inch (10 mm) or minus 1/4 inch (6.4 mm).
- 4. For exposed head joints, do not vary from thickness indicated by more than plus or minus 1/8 inch (3.2 mm).[Do not vary from adjacent bedjoint and head-joint thicknesses by more than 1/8 inch (3.2 mm).]

5. For exposed bed joints and head joints of stacked bond, do not vary from a straight line by more than 1/16 inch (1.6 mm) from one masonry unit to the next.

3.04 LAYING MASONRY WALLS

- A. Lay out walls in advance for accurate spacing of surface bond patterns with uniform joint thicknesses and for accurate location of openings, movement-type joints, returns, and offsets. Avoid using less-than-half-size units, particularly at corners, jambs, and, where possible, at other locations.
- B. Bond Pattern for Exposed Masonry: Unless otherwise indicated, lay exposed masonry in bond pattern indicated on Drawings, matching existing adjacent structures; do not use units with less-than-nominal 4-inch (102-mm) horizontal face dimensions at corners or jambs.
- C. Stopping and Resuming Work: Stop work by stepping back units in each course from those in course below; do not tooth. When resuming work, clean masonry surfaces that are to receive mortar, remove loose masonry units and mortar, and wet brick if required before laying fresh masonry.

3.05 MORTAR BEDDING AND JOINTING

- A. Lay hollow brick as follows:
 - Bed face shells in mortar and make head joints of depth equal to bed joints.
 - 2. Bed webs in mortar in grouted masonry, including starting course on footings.
 - 3. Fully bed entire units, including areas under cells, at starting course on footings where cells are not grouted.
 - 4. Fully bed units and fill cells with mortar at anchors and ties as needed to fully embed anchors and ties in mortar.
- B. Lay solid masonry units and hollow brick with completely filled bed and head joints; butter ends with sufficient mortar to fill head joints and shove into place. Do not deeply furrow bed joints or slush head joints.
- C. Tool exposed joints slightly concave when thumbprint hard, using a jointer larger than joint thickness unless otherwise indicated.
- D. Cut joints flush for masonry walls to receive plaster or other directapplied finishes (other than paint) unless otherwise indicated.

3.06 ANCHORED MASONRY VENEERS

- A. Anchor masonry veneers to concrete and masonry backup with masonry-veneer anchors to comply with the following requirements:
 - 1. Fasten screw-attached anchors to concrete and masonry backup with metal fasteners of type indicated. Use two fasteners unless anchor design only uses one fastener.
 - 2. Embed tie sections in masonry joints.

- 3. Locate anchor sections to allow maximum vertical differential movement of ties up and down.
- 4. Space anchors as indicated, but not more than 18 inches (457 mm) o.c. vertically and 24 inches (610 mm) o.c. horizontally, with not less than one anchor for each 2 sq. ft. (0.2 sq. m) of wall area. Install additional anchors within 12 inches (305 mm) of openings and at intervals, not exceeding 8 inches (203 mm), around perimeter.

3.07 CONTROL AND EXPANSION JOINTS

- A. General: Install control- and expansion-joint materials in unit masonry as masonry progresses. Do not allow materials to span control and expansion joints without provision to allow for in-plane wall or partition movement.
- B. Form expansion joints in brick as follows:
 - 1. Build flanges of metal expansion strips into masonry. Lap each joint 4 inches (102 mm) in direction of water flow. Seal joints below grade and at junctures with horizontal expansion joints if any.
 - 2. Build in compressible joint fillers where indicated.
- 3.08 FLASHING, WEEP HOLES, AND CAVITY VENTS
 - A. General: Install embedded flashing and weep holes in masonry at shelf angles, lintels, ledges, other obstructions to downward flow of water in wall, and where indicated.
 - B. Install flashing as follows unless otherwise indicated:
 - 1. Prepare masonry surfaces so they are smooth and free from projections that could puncture flashing. Where flashing is within mortar joint, place through-wall flashing on sloping bed of mortar and cover with mortar. Before covering with mortar, seal penetrations in flashing with adhesive, sealant, or tape as recommended by flashing manufacturer.
 - Install metal drip edges with sawtooth sheet metal flashing by interlocking hemmed edges to form hooked seam. Seal seam with elastomeric sealant complying with requirements in Section 07 92 00 "Joint Sealants" for application indicated.
 - 3. Install metal drip edges beneath flexible flashing at exterior face of wall. Stop flexible flashing 1/2 inch (13 mm) back from outside face of wall, and adhere flexible flashing to top of metal drip edge.
 - 4. Install metal flashing termination beneath flexible flashing at exterior face of wall. Stop flexible flashing 1/2 inch (13 mm) back from outside face of wall, and adhere flexible flashing to top of metal flashing termination.
 - Cut flexible flashing off flush with face of wall after masonry wall construction is completed.
 - C. Install reglets and nailers for flashing and other related construction where they are indicated to be built into masonry.
 - D. Install weep holes in exterior wythes and veneers in head joints of first course of masonry immediately above embedded flashing.

- Use specified weep/cavity vent products or open-head joints to form weep holes.
- 2. Use wicking material to form weep holes above flashing under brick sills. Turn wicking down at lip of sill to be as inconspicuous as possible.
- 3. Space weep holes 24 inches (610 mm) o.c. unless otherwise indicated.
- 4. Space weep holes formed from plastic tubing or wicking material16 inches (406 mm) o.c.
- 5. Cover cavity side of weep holes with plastic insect screening at cavities insulated with loose-fill insulation.
- Trim wicking material flush with outside face of wall after mortar has set.
- E. Place pea gravel in cavities as soon as practical to a height equal to height of first course above top of flashing, but not less than 2 inches (51 mm), to maintain drainage.
- F. Place cavity drainage material in airspace behind veneers to comply with configuration requirements for cavity drainage material in "Accessories" Article.

3.09 FIELD QUALITY CONTROL

- A. Inspections: Special inspections in accordance with Level 2 in TMS 402.
 - 1. Begin masonry construction only after inspectors have verified proportions of site-prepared mortar.
 - 2. Place grout only after inspectors have verified compliance of grout spaces and of grades, sizes, and locations of reinforcement.
 - 3. Place grout only after inspectors have verified proportions of site-prepared grout.
- B. Testing Prior to Construction: One set of tests.
- C. Testing Frequency: One set of tests for each 5000 sq. ft. (464 sq. m) of wall area or portion thereof.
- D. Clay Masonry Unit Test: For each type of unit provided, in accordance with ASTM C67/C67M for compressive strength.
- E. Mortar Aggregate Ratio Test (Proportion Specification): For each mix provided, in accordance with ASTM C780.
- F. Grout Test (Compressive Strength): For each mix provided, in accordance with ASTM C1019.

3.10 REPAIRING, POINTING, AND CLEANING

A. Remove and replace masonry units that are loose, chipped, broken, stained, or otherwise damaged or that do not match adjoining units. Install new units to match adjoining units; install in fresh mortar, pointed to eliminate evidence of replacement.

- B. Pointing: During the tooling of joints, enlarge voids and holes, except weep holes, and completely fill with mortar. Point up joints, including corners, openings, and adjacent construction, to provide a neat, uniform appearance. Prepare joints for sealant application, where indicated.
- C. In-Progress Cleaning: Clean unit masonry as work progresses by dry brushing to remove mortar fins and smears before tooling joints.
- D. Final Cleaning: After mortar is thoroughly set and cured, clean exposed masonry as follows:
 - Remove large mortar particles by hand with wooden paddles and nonmetallic scrape hoes or chisels.
 - 2. Test cleaning methods on sample wall panel; leave one-half of panel uncleaned for comparison purposes. Obtain Architect's approval of sample cleaning before proceeding with cleaning of masonry.
 - 3. Protect adjacent stone and nonmasonry surfaces from contact with cleaner by covering them with liquid strippable masking agent or polyethylene film and waterproof masking tape.
 - 4. Clean brick by bucket-and-brush hand-cleaning method described in BIA Technical Notes 20.

3.11 MASONRY WASTE DISPOSAL

- A. Salvageable Materials: Unless otherwise indicated, excess masonry materials are Contractor's property. At completion of unit masonry work, remove from Project site.
- B. Waste Disposal as Fill Material: Dispose of clean masonry waste, including excess or soil-contaminated sand, waste mortar, and broken masonry units, by crushing and mixing with fill material as fill is placed.
 - 1. Crush masonry waste to less than 4 inches (102 mm) in each dimension.
 - 2. Mix masonry waste with at least two parts of specified fill material for each part of masonry waste. Fill material is specified in Section 31 20 00 "Earth Moving."
 - 3. Do not dispose of masonry waste as fill within 18 inches (457 mm) of finished grade.
- C. Excess Masonry Waste: Remove excess clean masonry waste that cannot be used as fill, as described above or recycled, and other masonry waste, and legally dispose of off Owner's property.

END OF SECTION

SECTION 08 56 19.03 - SELF-CLOSING SERVICE WINDOWS

PART 1 - GENERAL

1.01 SUBMITTALS

- A. Action Submittals:
 - 1. Shop Drawings: Illustrate products, installation, and relationship to adjacent construction.
 - 2. Product Data: Manufacturer's descriptive data and product attributes.
 - 3. Samples: Samples for verification.

1.02 WARRANTY

A. Manufacturer's one year warranty against defects in materials and workmanship.

PART 2 - PRODUCTS

Basis of Design: Quickserv Inc. extruded aluminum-framed, horizontal-sliding, manual-operating, self-closing, transaction window unit. Units to have a raised profile on the interior bottom frame to prevent intrusion by pushing sash inward and provide for rainwater drainage to the exterior.

- 2.01 Track: Top-hung with no bottom track.
 - A. Slides: Stainless steel slide rail, ball bearing type.
 - B. Frame Depth: 4-1/2 inches, unless otherwise indicated.
- 2.02 SELF-CLOSING WINDOWS
 - A. Type: Self-closing transaction window unit.
 - 1. Functionality: Single
 - 2. Finish: Custom Paint
 - 3. Glazing: Tempered
 - 4. Placement: As indicated
 - 5. Actual Size (w x h): As indicated.

2.03 HARDWARE

- A. Hardware:
 - 1. Latch: Manufacturer's standard spring latch with manual pull and thumb release which automatically locks on closing.

2.04 ACCESSORIES

A. Shelf: Stainless steel with folded edges, complete with matching shroud.

2.05 GLAZING

- A. Glass:
 - 1. Tempered Glass: ASTM C1048; Type I; Quality-Q3; Kind FT; Class 1 clear..
- 2.06 MATERIALS
 - A. Extruded Aluminum: ASTM B 221; alloy and temper recommended by manufacturer for type of use and finish indicated
 - B. Stainless Steel: ASTM A240, Type 304.
- 2.07 FINISHES
 - A. Pigmented Organic Aluminum Finish: AAMA 2603 thermosetting polyester/epoxy powder coating, custom color as directed.

PART 3 - EXECUTION

- 3.01 INSTALLATION
 - A. Install in accordance with manufacturer's instructions and approved Shop Drawings.

END OF SECTION

SECTION 08 83 00 - MIRRORS

PART 1 - GENERAL

1.01 SUMMARY

A. Section includes wall mounted float glass mirrors.

1.02 ACTION SUBMITTALS

- A. Product Data: Submit product data for each product indicated, including description of materials and process used to produce mirrored glass, source of glass, glass coating components, edge sealer, and quality control provisions.
- B. Shop Drawings: Submit shop drawings showing plans, elevations, sections, details, and attachments to other Work.
- C. Samples: Submit samples, 12 inches (300 mm) square in size, of each type of mirror glass specified including edge treatment on two adjoining edges of samples.

1.03 INFORMATIONAL SUBMITTALS

- A. Embodied Carbon Submittals: Refer to Section 01 81 33 "Sustainable Design Requirements Embodied Carbon."
 - 1. Completed Environmental Product Declaration Reporting Form for each principal product type in this Section.
 - 2. For products with completed Environmental Product Declaration Reporting Forms claiming availability of an applicable EPD, provide the Product-Specific or Industry-Wide Type III Environmental Product Declaration (EPD) in compliance with ISO 14025.
 - 3. The Contractor is advised that the submission of the embodied carbon EPD materials to the USGBC is not required.
- B. Product Certificates: Submit product certificates signed by manufacturers of mirror glass certifying that their products and edge sealers comply with specified requirements.
- C. Preconstruction Test Report: Submit mirror mastic glass coating compatibility test reports from organic protective coating manufacturer indicating that mirror mastic has been tested for compatibility and adhesion with organic protective coating. Include organic coating manufacturers' interpretation of test results relative to performance and recommendations for use of mastics with organic protective coating.
- D. Warranty: Submit special warranty specified in this Section.

1.04 QUALITY ASSURANCE

A. Installer Qualifications: Engage an experienced installer who has completed work similar in material, design, and extent to that indicated; whose work has resulted in installations with a record of not less than 5 years of successful in-service performance.

- B. Glazing Publications: Comply with the applicable recommendations of the following. Where recommendations conflict the more stringent shall apply:
 - 1. Glass Association of North America (GANA): "Glazing Manual" and the Mirror Division's "Mirrors, Handle with Extreme Care: Tips for the Professional on the Care and Handling of Mirrors."
 - National Glass Association (NGA): "Custom Mirrors, Fabrication and Installation."

1.05 DELIVERY, STORAGE, AND HANDLING

A. Comply with mirrored glass manufacturer's written instructions for shipping, storing, and handling mirrored glass as needed to prevent deterioration of silvering, damage to edges, and abrasion of glass surfaces and applied coatings. Store indoors, protected from moisture including condensation.

1.06 WARRANTY

- A. Special Warranty: Manufacturer's standard form in which manufacturer agrees to replace mirrored glass units that deteriorate f.o.b. the nearest shipping point to Project site, within five years from date of Substantial Completion.
 - Deterioration of Silvered Mirrored Glass: Defects developed from normal use not caused by maintaining and cleaning mirrored glass contrary to manufacturer's written instructions. Defects include discoloration, black spots, and clouding of the silver film.

PART 2 - PRODUCTS

2.01 MATERIALS - GENERAL

A. Decorative Glass Mirrors: Provide product indicated in the Drawings.

2.02 FABRICATION

- A. Mirror Edge Treatment:
 - 1. Cutting and Polishing: Flat edges where the clean cut "square" edge of the glass is flat and surface edges are slightly arrissed. After grinding the arisses, edges shall be polished to a high gloss surface where the surface reflectivity is similar in appearance to the major surface of the glass.
 - 2. Edge Sealing: Immediately after cutting to final sizes, and applying edge treatment, factory seal edges of mirrors with edge sealer to prevent chemical or atmospheric penetration of glass coating.

2.03 MISCELLANEOUS MATERIALS

A. Setting Blocks: Non-rubber or non neoprene based elastomeric material manufactured for setting silvered flat glass mirrors, compatible with adhesive used for placement, with a Type A Shore durometer hardness of 85, plus or minus 5. 1/8 inch (3.18 mm) wide by 1/4 inch (6.35 mm) high by 4 inches (101.6 mm) long.

- B. Edge Sealer: Coating compatible with glass coating and approved by mirrored glass manufacturer for use in protecting against silver deterioration at mirrored glass edges.
- C. Drywall and Plywood Paint: A high quality flat coating or primer of type as recommended by the mirror mastic manufacturer.
 - 1. VOC Content of Field-Applied Interior Paints and Coatings: Provide products that comply with the following limit for VOC content, when calculated according to 40 CFR 59, Subpart D (EPA Method 24) (ASTM D 3960):
 - a. Flat Coating or Primers: VOC content of not more than 50 g/L.

D. Fasteners:

- Steel Stud Framing: For fastening J-channels to drywall stud and backer sheet framing provide #8 gage diameter, 1 inch (25.4 mm) long, Phillips type pan head drywall screws in quantity as required for support and fastening of continuous j-molds to drywall stud framing.
- 2. Plywood Fasteners: Provide #8 gage diameter, minimum 1 inch (25.4 mm) long, Phillips flat countersunk head, sharp pointed, coarse threaded, zinc coated, steel wood screw fasteners in quantity as required for support and fastening of continuous j-molds to plywood substrates.

PART 3 - EXECUTION

3.01 PREPARATION

- A. Comply with mastic manufacturer's written installation instructions for preparation of substrates.
 - 1. Mirror, drywall and plywood substrates shall be free of dust, be clean, and dry prior to application of mirror mastic and drywall and plywood paint. If plywood or drywall surfaces have been painted prior to application of the specified drywall and plywood paint the existing paint shall be sanded through to the original surface and the substrate cleaned prior to the application of drywall and plywood paint.

3.02 GLAZING

- A. General: Install mirrors with mirror glazing channels to comply with written instructions of mirror and mirror glazing channel manufacturers, with referenced GANA and NGA publications, and as specified. Mount mirrors plumb, in line, and in a manner that avoids distorting reflected images.
- B. Comply with mastic manufacturer's printed directions for preparation and sealing of mounting surfaces by sealing drywall, and plywood, substrates with drywall and plywood paint. Allow paint to dry before applying mirror mastic.

3.03 PROTECTION AND CLEANING

A. Protect mirrored glass from breakage and contaminating substances resulting from construction operations. Using clean warm water, clean mirrors by methods recommended in referenced glazing standards.

END OF SECTION

SECTION 08 91 19 - FIXED LOUVERS

PART 1 - GENERAL

1.01 SUMMARY

- A. Section Includes:
 - 1. Fixed extruded-aluminum louvers.

1.02 DEFINITIONS

- A. Louver Terminology: Definitions of terms for metal louvers contained in AMCA 501 apply to this Section unless otherwise defined in this Section or in referenced standards.
- B. Horizontal Louver: Louver with horizontal blades (i.e., the axis of the blades are horizontal).
- C. Vertical Louver: Louver with vertical blades (i.e., the axis of the blades are vertical).
- D. Drainable-Blade Louver: Louver with blades having gutters that collect water and drain it to channels in jambs and mullions, which carry it to bottom of unit and away from opening.
- E. Wind-Driven-Rain-Resistant Louver: Louver that provides specified wind-driven-rain performance, as determined by testing in accordance with AMCA 500-L.
- F. Windborne-Debris-Impact-Resistant Louver: Louver that provides specified windborne-debris-impact resistance, as determined by testing in accordance with AMCA 540.

1.03 ACTION SUBMITTALS

- A. Product Data: For each type of product.
 - 1. For louvers specified to bear AMCA seal, include printed catalog pages showing specified models with appropriate AMCA Certified Ratings Seals.
- B. Shop Drawings: For louvers and accessories. Include plans, elevations, sections, details, and attachments to other work. Show frame profiles and blade profiles, angles, and spacing.
 - 1. Show mullion profiles and locations.

1.04 INFORMATIONAL SUBMITTALS

- A. Product Test Reports: Based on evaluation of comprehensive tests performed in accordance with AMCA 500-L by a qualified testing agency or by manufacturer and witnessed by a qualified testing agency, for each type of louver and showing compliance with performance requirements specified.
- B. Sample Warranties: For manufacturer's special warranties.
- C. Embodied Carbon Submittals: Refer to Section 01 81 33 "Sustainable Design Requirements - Embodied Carbon."

- 1. Completed Environmental Product Declaration Reporting Form for each principal product type in this Section.
- 2. For products with completed Environmental Product Declaration Reporting Forms claiming availability of an applicable EPD, provide the Product-Specific or Industry-Wide Type III Environmental Product Declaration (EPD) in compliance with ISO 14025.
- 3. The Contractor is advised that the submission of the embodied carbon EPD materials to the USGBC is not required.

1.05 QUALITY ASSURANCE

- A. Welding Qualifications: Qualify procedures and personnel in accordance with the following:
 - 1. AWS D1.2/D1.2M, "Structural Welding Code Aluminum."

1.06 FIELD CONDITIONS

A. Field Measurements: Verify actual dimensions of openings by field measurements before fabrication.

1.07 WARRANTY

- A. Special Finish Warranty, Factory-Applied Finishes: Standard form in which manufacturer agrees to repair finishes or replace aluminum that shows evidence of deterioration of baked enamel, powder coat, or organic finishes within specified warranty period.
 - 1. Deterioration includes, but is not limited to, the following:
 - a. Color fading more than 5 Delta E units when tested in accordance with ASTM D2244.
 - b. Chalking in excess of a No. 8 rating when tested in accordance with ASTM D4214.
 - c. Cracking, checking, peeling, or failure of paint to adhere to bare metal.
 - 2. Warranty Period: 20 years from date of Substantial Completion.

PART 2 - PRODUCTS

2.01 MANUFACTURERS

A. Source Limitations: Obtain fixed louvers from single source from a single manufacturer where indicated to be of same type, design, or factory-applied color finish.

2.02 PERFORMANCE REQUIREMENTS

A. Delegated Design: Design louvers, including comprehensive engineering analysis by a qualified professional engineer, using structural performance requirements and design criteria indicated.

- B. Structural Performance: Louvers withstand the effects of gravity loads and the following loads and stresses within limits and under conditions indicated without permanent deformation of louver components, noise or metal fatigue caused by louver-blade rattle or flutter, or permanent damage to fasteners and anchors. Wind pressures are considered to act normal to the face of the building.
 - 1. Wind Loads:
 - a. Determine loads based on pressures as indicated on Drawings.
- C. Thermal Movements: Allow for thermal movements from ambient and surface temperature changes.
 - 1. Temperature Change (Range): 120 deg F (67 deg C), ambient; 180 deg F (100 deg C), material surfaces.
- D. SMACNA Standard: Comply with recommendations in SMACNA's "Architectural Sheet Metal Manual" for fabrication, construction details, and installation procedures.
- 2.03 FIXED EXTRUDED-ALUMINUM LOUVERS
 - A. Horizontal Nondrainable-Blade Louver, Extruded Aluminum:
 - Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
 - a. Air Balance; a division of MESTEK, Inc.
 - b. Air Flow Company, Inc.
 - c. Airline Louvers; a division of Mestek, Inc.
 - d. Airolite Company, LLC (The).
 - e. Aire Renaissance.
 - f. All-Lite Architectural Products.
 - g. American Warming and Ventilating; a Mestek Architectural Group company.
 - h. Architectural Louvers; Harray, LLC.
 - i. Arrow United Industries.
 - j. Carnes Company.
 - k. Cesco Products; a division of MESTEK, Inc.
 - 1. Construction Specialties, Inc.
 - m. Greenheck Fan Corporation.
 - n. Industrial Louvers Inc.
 - o. Louvers & Dampers, Inc.; a division of Mestek, Inc.

- p. Metal Form Manufacturing, Inc.
- q. NCA Manufacturing, Inc.
- r. Pottorff.
- s. Ruskin Company.
- 2. Louver Depth: 4 inches (100 mm).
- 3. Blade Profile: Plain blade without center baffle.
- 4. Frame and Blade Nominal Thickness: Not less than 0.060 inch (1.52 mm) for blades and 0.080 inch (2.03 mm) for frames.
- 5. Mullion Type: Fully recessed.
- 6. AMCA Seal: Mark units with AMCA Certified Ratings Seal.
- B. Horizontal Drainable-Blade Louver, Extruded Aluminum:
 - 1. Manufacturers: Subject to compliance with requirements, [provide products by the following] [provide products by one of the following] [available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following]:
 - a. Air Balance; a division of MESTEK, Inc.
 - b. Air Flow Company, Inc.
 - c. Aire Technologies.
 - d. Airline Louvers; a division of Mestek, Inc.
 - e. Airolite Company, LLC (The).
 - f. Aire Renaissance.
 - g. All-Lite Architectural Products.
 - h. American Warming and Ventilating; a Mestek Architectural Group company.
 - i. Architectural Louvers; Harray, LLC.
 - j. Arrow United Industries.
 - k. Carnes Company.
 - 1. Cesco Products; a division of MESTEK, Inc.
 - m. Construction Specialties, Inc.
 - n. DAMS Incorporated; D. Architectural Metal Solutions Incorporated.
 - o. Greenheck Fan Corporation.
 - p. Industrial Louvers Inc.

- q. Louvers & Dampers, Inc.; a division of Mestek, Inc.
- r. Metal Form Manufacturing, Inc.
- s. NCA Manufacturing, Inc.
- t. Pottorff.
- u. Ross Technology Company.
- v. Ruskin Company.
- 2. Louver Depth: 6 inches (150 mm).
- 3. Frame and Blade Nominal Thickness: Not less than 0.060 inch (1.52 mm) for blades and 0.080 inch (2.03 mm) for frames.
- 4. Mullion Type: Exposed.
- 5. AMCA Seal: Mark units with AMCA Certified Ratings Seal.

2.04 MATERIALS

- A. Aluminum Extrusions: ASTM B221 (ASTM B221M), Alloy 6063-T5, T-52, or T6.
- B. Aluminum Sheet: ASTM B209 (ASTM B209M), Alloy 3003 or 5005, with temper as required for forming, or as otherwise recommended by metal producer for required finish.
- C. Fasteners: Use types and sizes to suit unit installation conditions.
 - Use Phillips flat-head screws for exposed fasteners unless otherwise indicated.
 - 2. For fastening aluminum, use aluminum or 300 series stainless steel fasteners.
 - 3. For color-finished louvers, use fasteners with heads that match color of louvers.
- D. Bituminous Paint: Cold-applied asphalt emulsion complying with ASTM D1187/D1187M.
- E. Recycled Content of Aluminum Components: Postconsumer recycled content plus one-half of preconsumer recycled content not less than 25 percent.

2.05 FABRICATION

- A. Factory assemble louvers to minimize field splicing and assembly.

 Disassemble units as necessary for shipping and handling limitations.

 Clearly mark units for reassembly and coordinated installation.
- B. Vertical Assemblies: Where height of louver units exceeds fabrication and handling limitations, fabricate units to permit field-bolted assembly with close-fitting joints in jambs and mullions, reinforced with splice plates.
 - 1. Continuous Vertical Assemblies: Fabricate units without interrupting blade-spacing pattern where indicated.

- 2. Horizontal Mullions: Provide horizontal mullions at joints unless continuous vertical assemblies are indicated.
- C. Maintain equal louver blade spacing, including separation between blades and frames at head and sill, to produce uniform appearance.
- D. Fabricate frames, including integral sills, to fit in openings of sizes indicated, with allowances made for fabrication and installation tolerances, adjoining material tolerances, and perimeter sealant joints.
- E. Include supports, anchorages, and accessories required for complete assembly.
- F. Provide subsills made of same material as louvers or extended sills for recessed louvers.
- G. Join frame members to each other and to fixed louver blades with fillet welds concealed from view, threaded fasteners, or both, as standard with louver manufacturer unless otherwise indicated or size of louver assembly makes bolted connections between frame members necessary.

2.06 ALUMINUM FINISHES

- A. Finish louvers after assembly.
- B. High-Performance Organic Finish, Two-Coat PVDF: Fluoropolymer finish complying with AAMA 2605 and containing not less than 70 percent PVDF resin by weight in color coat.
 - 1. Prepare, pretreat, and apply coating to exposed metal surfaces to comply with coating and resin manufacturers' written instructions [for seacoast and severe environments].
 - Color and Gloss: As selected by Architect from manufacturer's full range.

PART 3 - EXECUTION

3.01 EXAMINATION

- A. Examine substrates and openings, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of the Work.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.

3.02 PREPARATION

A. Coordinate setting drawings, diagrams, templates, instructions, and directions for installation of anchorages that are to be embedded in concrete or masonry construction. Coordinate delivery of such items to Project site.

3.03 INSTALLATION

A. Locate and place louvers level, plumb, and at indicated alignment with adjacent work.

- B. Use concealed anchorages where possible. Provide brass or lead washers fitted to screws where required to protect metal surfaces and to make a weathertight connection.
- C. Form closely fitted joints with exposed connections accurately located and secured.
- D. Provide perimeter reveals and openings of uniform width for sealants and joint fillers, as indicated.
- E. Protect unpainted galvanized- and nonferrous-metal surfaces that are in contact with concrete, masonry, or dissimilar metals from corrosion and galvanic action by applying a heavy coating of bituminous paint or by separating surfaces with waterproof gaskets or nonmetallic flashing.
- F. Install concealed gaskets, flashings, joint fillers, and insulation as louver installation progresses, where weathertight louver joints are required. Comply with Section 07 92 00 "Joint Sealants" for sealants applied during louver installation.

3.04 ADJUSTING AND CLEANING

- A. Clean exposed louver surfaces that are not protected by temporary covering, to remove fingerprints and soil during construction period. Do not let soil accumulate during construction period.
- B. Before final inspection, clean exposed surfaces with water and a mild soap or detergent not harmful to finishes. Thoroughly rinse surfaces and dry.
- C. Restore louvers damaged during installation and construction, so no evidence remains of corrective work. If results of restoration are unsuccessful, as determined by Architect, remove damaged units and replace with new units.
 - Touch up minor abrasions in finishes with air-dried coating that matches color and gloss of, and is compatible with, factory-applied finish coating.

END OF SECTION

SECTION 31 31 16

TERMITE CONTROL

PART 1 - GENERAL

- 1.01 SUMMARY
 - A. Section Includes:
 - 1. Soil treatment for use only at New Outdoor Bar.
- 1.02 PREINSTALLATION MEETINGS
 - A. Preinstallation Conference: Conduct conference at Project site.
- 1.03 ACTION SUBMITTALS
 - A. Product Data: For each type of product.
 - Include construction details, material descriptions, dimensions of individual components, and profiles for termite control products.
 - 2. Include the EPA-Registered Label for termiticide products.

1.04 INFORMATIONAL SUBMITTALS

- A. Embodied Carbon Submittals: Refer to Section 01 81 33 "Sustainable Design Requirements Embodied Carbon."
 - 1. Completed Environmental Product Declaration Reporting Form for each principal product type in this Section.
 - 2. For products with completed Environmental Product Declaration Reporting Forms claiming availability of an applicable EPD, provide the Product-Specific or Industry-Wide Type III Environmental Product Declaration (EPD) in compliance with ISO 14025.
 - 3. The Contractor is advised that the submission of the embodied carbon EPD materials to the USGBC is not required.
- B. Qualification Data: For qualified Installer.
- C. Product Certificates: For each type of termite control product.
- D. Soil Treatment Application Report: After application of termiticide is completed, submit report for Owner's records and include the following:
 - 1. Date and time of application.
 - 2. Moisture content of soil before application.
 - 3. Termiticide brand name and manufacturer.
 - 4. Quantity of undiluted termiticide used.
 - 5. Dilutions, methods, volumes used, and rates of application.

- 6. Areas of application.
- 7. Water source for application.
- E. Sample Warranties: For special warranties.

1.05 QUALITY ASSURANCE

A. Installer Qualifications: A specialist who is licensed according to regulations of authorities having jurisdiction to apply termite control treatment and products in jurisdiction where Project is located.

1.06 FIELD CONDITIONS

A. Soil Treatment:

- 1. Environmental Limitations: To ensure penetration, do not treat soil that is water saturated or frozen. Do not treat soil while precipitation is occurring. Comply with requirements of the EPA-Registered Label and requirements of authorities having jurisdiction.
- 2. Related Work: Coordinate soil treatment application with excavating, filling, grading, and concreting operations. Treat soil under footings, grade beams, and ground-supported slabs before construction.

1.07 WARRANTY

- A. Soil Treatment Special Warranty: Manufacturer's standard form, signed by Applicator and Contractor, certifying that termite control work consisting of applied soil termiticide treatment will prevent infestation of subterranean termites, including Formosan termites (Coptotermes formosanus). If subterranean termite activity or damage is discovered during warranty period, re-treat soil and repair or replace damage caused by termite infestation.
 - 1. Warranty Period: Five years from date of Substantial Completion.

PART 2 - PRODUCTS

2.01 MANUFACTURERS

A. Source Limitations: Obtain termite control products from single source from single manufacturer.

2.02 SOIL TREATMENT

- A. Termiticide: EPA-Registered termiticide acceptable to authorities having jurisdiction, in an aqueous solution formulated to prevent termite infestation.
 - 1. Manufacturers: Subject to compliance with requirements, provide products by one of the following:
 - a. BASF Corporation; Termidor HE.
 - b. Bayer Environmental Science; Premise Pre-Construction.
 - c. Syngenta; Altriset.

2. Service Life of Treatment: Soil treatment termiticide that is effective for not less than five years against infestation of subterranean termites.

PART 3 - EXECUTION

3.01 EXAMINATION

- A. Examine substrates, areas, and conditions, with Applicator present, for compliance with requirements for moisture content of soil per termiticide label, interfaces with earthwork, slab and foundation work, landscaping, utility installation, and other conditions affecting performance of termite control.
- B. Proceed with application only after unsatisfactory conditions have been corrected.

3.02 PREPARATION

- A. General: Prepare work areas according to the requirements of authorities having jurisdiction and according to manufacturer's written instructions before beginning application and installation of termite control treatment(s). Remove extraneous sources of wood cellulose and other edible materials, such as wood debris, tree stumps and roots, stakes, formwork, and construction waste wood from soil within and around foundations.
- B. Soil Treatment Preparation: Remove foreign matter and impermeable soil materials that could decrease treatment effectiveness on areas to be treated. Loosen, rake, and level soil to be treated, except previously compacted areas under slabs and footings. Termiticides may be applied before placing compacted fill under slabs if recommended in writing by termiticide manufacturer.
 - Fit filling hose connected to water source at the site with a backflow preventer, according to requirements of authorities having jurisdiction.

3.03 APPLYING SOIL TREATMENT

- A. Application: Mix soil treatment termiticide solution to a uniform consistency. Distribute treatment uniformly. Apply treatment at the product's EPA-Registered Label volume and rate for maximum specified concentration of termiticide to the following so that a continuous horizontal and vertical termiticidal barrier or treated zone is established around and under building construction.
 - Slabs-on-Grade and Basement Slabs: Under ground-supported slab construction, including footings, building slabs, and attached slabs as an overall treatment. Treat soil materials before concrete footings and slabs are placed.
 - 2. Foundations: Soil adjacent to and along the entire inside perimeter of foundation walls; along both sides of interior partition walls; around plumbing pipes and electric conduit penetrating the slab; around interior column footers, piers, and chimney bases; and along the entire outside perimeter, from grade to bottom of footing.
 - 3. Penetrations: At expansion joints, control joints, and areas where slabs and below-grade walls will be penetrated.

- B. Post warning signs in areas of application.
- C. Reapply soil treatment solution to areas disturbed by subsequent excavation, grading, landscaping, or other construction activities following application.

3.04 PROTECTION

- A. Avoid disturbance of treated soil after application. Keep off treated areas until completely dry.
- B. Protect termiticide solution dispersed in treated soils and fills from being diluted by exposure to water spillage or weather until ground-supported slabs are installed. Use waterproof barrier according to EPA-Registered Label instructions.

END OF SECTION

Gensler

Client

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Downtown Redevelopment

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Downtown Redevelopment Authority / TIRZ No. 3

Market Square Park Kiosk Improvements

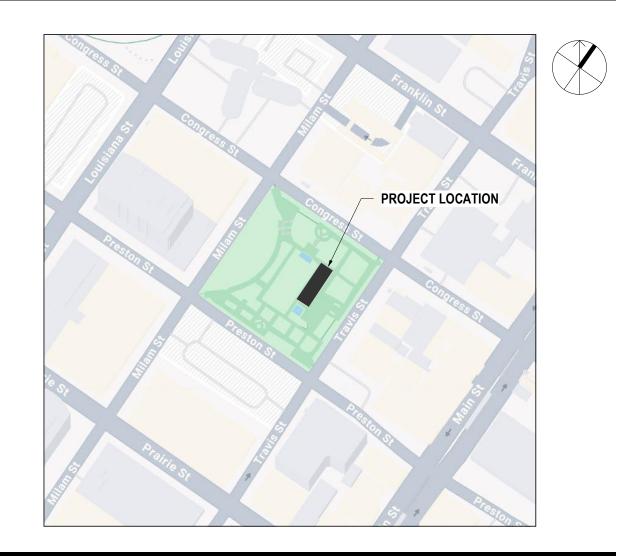
ADDENDUM 2

10.24.2024

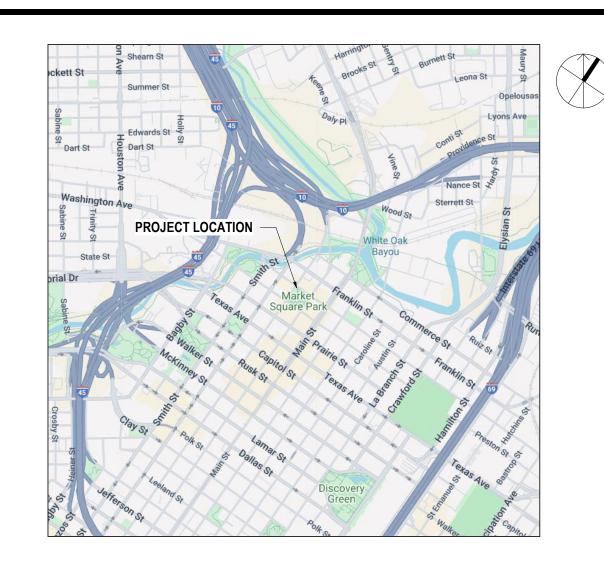
301 Milam St, Houston, TX 77002

PROJECT NUMBER: 002.9349.000 TABS NUMBER: TABS2025002146

VICINITY MAP



LOCATION MAP



MINIMUM PLUMBING FACILITIES

REFER TO G1.101 LIFE SAFETY PLAN

HAZARDOUS MATERIALS NOTES (ASBESTOS)

- A. IN THE EVENT OF ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE OR THE SUBSTANTIAL RISK THEREOF, CLIENT WILL HAVE THE DUTY TO INFORM THE ARCHITECT OF SUCH RISKS KNOWN OR REASONABLE KNOWABLE TO CLIENT.
- B. IF ASBESTOS OR ANY OTHER TOXIC SUBSTANCE, OR RISK TO EXPOSURE THERETO IS DISCOVERED BY ARCHITECT DURING WORK ON THE PROJECT, ARCHITECT SHALL IN ITS SOLE DISCRETION, HAVE THE RIGHT TO SUSPEND WORK ON THE PROJECT.
- C. CLIENT SHALL HAVE THE DUTY TO PROMPTLY RETAIN A QUALIFIED EXPERT SAFELY TO REMOVE OR SUPERVISE THE REMOVAL OF SUCH ASBESTOS OR OTHER TOXIC SUBSTANCE.
- D. CLIENT SHALL INDEMNIFY AND HOLD ARCHITECT, ITS AFFILIATES AND SUBCONTRACTORS AND THEIR OFFICERS, AGENTS, AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY ON THE PART OF OR DAMAGE TO SUCH FEES AND EXPENSES ARE INCLURRED, WHICH MAY RESULT IN ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE ON THE PROJECT.

GENERAL NOTES

COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, ORDERS, RULES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION.

OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING TH BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATI

COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES. BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS

ORDERLY SEQUENCE OF INSTALLATION.

MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNER AND/OR PROPERTY MANAGER TO ENSURE SECURITY.

MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES.

DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE

PROJECT INFORMATION

PROJECT DESCRIPTION: A RENOVATION AND TENANT FIT-OUT OF EXISTING RESTAURANT KIOSK SPACE AND STORAGE, AND NEW FREE-STANDING OUTDOOR BAR, NOT SPRINKLERED. PROJECT SCOPE ALSO INCLUDES ALTERATIONS OF EXISTING TRELLIS STRUCTURE, SEATING AREA, AND SITE IMPROVEMENTS. NO CHANGE OF OCCUPANCY TYPE FROM EXITING USE. **BUILDING ADDRESS:** 301 MILAM STREET, HOUSTON, TX 77002

BLOCK 34 BLOCK AND LOT NO .: OCCUPANCY TYPE: **GROUP A-2** TYPE II-B CONSTRUCTION TYPE: PROJECT AREA: 825 GSF ALLOWABLE AREA 9,500 SF (PER STORY):

BUILDING HEIGHT (STORIES): ALLOWABLE STORIES: BUILDING HEIGHT (FEET):

55 FT. ALLOWABLE HEIGHT:

FIRE PROTECTION:

ACCESSIBILITY CODE:

ENERGY CODE:

KIOSK: EXISTING PORTABLE FIRE EXTINGUISHER IN CABINET, EXISTING AUTOMATIC FIRE DECTION AND MANUAL FIRE ALARM SYSTEM. OUTDOOR BAR: PORTABLE FIRE EXTINGUISHER. STORAGE: EXISTING PORTABLE FIRE EXTINGUISHER.

APPLICABLE CODES / STANDARDS

BUILDING CODE: 2021 INTERNATIONAL EXISTING BUILDING CODE W/ CITY OF HOUSTON **AMENDMENTS**

2021 INTERNATIONAL BUILDING CODE W/ CITY OF HOUSTON AMENDMENTS 2021 UNIFORM PLUMBING CODE W/ CITY OF HOUSTON AMENDMENTS PLUMBING CODE: MECHANICAL CODE: 2021 UNIFORM MECHANICAL CODE W/ CITY OF HOUSTON AMENDMENTS 2023 NATIONAL ELECTRICAL CODE W/ CITY OF HOUSTON AMENDMENTS ELECTRICAL CODE: FIRE/LIFE SAFETY CODE: 2021 INTERNATIONAL FIRE CODE W/ CITY OF HOUSTON AMENDMENTS

> 2012 STATE OF TEXAS ACCESSIBILITY STANDARDS ASHRAE 90.1-2013 W/ CITY OF HOUSTON AMENDMENTS

2021 INTERNATIONAL ENERGY CONSERVATION CODE W/ CITY OF HOUSTON

FIRE-RESISTANCE RATING REQUIREMENTS

BUILDING ELEMENT	REQUIRED	PROVIDED
STRUCTURAL FRAME, INCLUDING COLUMNS, GIRDERS AND TRUSSES	0	0
BEARING WALLS - EXTERIOR	0	0
NONBEARING WALLS - EXTERIOR	0	0
BEARING WALLS - INTERIOR	0	0
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBER	0	0
NONBEARING WALLS - INTERIOR	0	0
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBER	0	0

Indicate section number permitting reduction ** 0-4 hours or N/A - Not applicable

FIRE-RESISTANCE RATED CONSTRUCTION

BUILDING ELEMENT	REQUIRED	PROVIDED
SHAFT ENCLOSURES - EXIT	N/A	N/A
SHAFT ENCLOSURES - OTHER	N/A	N/A
CORRIDOR SEPARATION	N/A	N/A
OCCUPANCY SEPARATION	N/A	N/A
PARTY/FIRE WALL SEPARATION	N/A	N/A
SMOKE BARRIER SEPARATION	N/A	N/A
TENANT SEPARATION	N/A	N/A
INCIDENTAL USE SEPARATION	N/A	N/A

DRAWING INDEX

SHEET NO.	SHEET NAME	CURRENT REVISION	CURRENT ISSUE DATE	CURRENT ISSUE
		l .		
GENERAL				
G0.000	COVER	A	10.24.2024	ADDENDUM #2
G0.001	DRAWING INDEX & PROJECT INFORMATION	A	10.24.2024	ADDENDUM #2
G0.010	GENERAL - GRAPHIC SYMBOLS	1	10.01.2024	ISSUE FOR PERMIT
G0.011	GENERAL - ABBREVIATIONS	1	10.01.2024	ISSUE FOR PERMIT
G1.101	FIRE & LIFE SAFETY PLAN - LEVEL 01	A	10.24.2024	ADDENDUM #2
G9.000	BUILDING 3D VIEWS	A	10.24.2024	ADDENDUM #2
LIVIL				
LIVII				
C1	COVER SHEET	А	10.24.2024	ADDENDUM #2
C1 C2	GENERAL NOTES	A	10.24.2024	ADDENDUM #2
C1 C2 C3	GENERAL NOTES OVERALL SITE AND DEMOLITION PLAN		10.24.2024 10.24.2024	ADDENDUM #2 ADDENDUM #2
C1 C2 C3 C4	GENERAL NOTES OVERALL SITE AND DEMOLITION PLAN GRADING & PAVING PLAN	A	10.24.2024	ADDENDUM #2 ADDENDUM #2 ADDENDUM #2
C1 C2 C3 C4 C5	GENERAL NOTES OVERALL SITE AND DEMOLITION PLAN	A A	10.24.2024 10.24.2024	ADDENDUM #2 ADDENDUM #2
C1 C2 C3 C4 C5	GENERAL NOTES OVERALL SITE AND DEMOLITION PLAN GRADING & PAVING PLAN	A A A	10.24.2024 10.24.2024 10.24.2024	ADDENDUM #2 ADDENDUM #2 ADDENDUM #2
C1 C2 C3 C4 C5	GENERAL NOTES OVERALL SITE AND DEMOLITION PLAN GRADING & PAVING PLAN STORM SEWER PLAN	A A A A	10.24.2024 10.24.2024 10.24.2024 10.24.2024	ADDENDUM #2 ADDENDUM #2 ADDENDUM #2 ADDENDUM #2
C1 C2 C3 C4 C5 C6	GENERAL NOTES OVERALL SITE AND DEMOLITION PLAN GRADING & PAVING PLAN STORM SEWER PLAN DRAINAGE AREA MAP & CALCULATIONS	A A A A	10.24.2024 10.24.2024 10.24.2024 10.24.2024 10.24.2024	ADDENDUM #2 ADDENDUM #2 ADDENDUM #2 ADDENDUM #2 ADDENDUM #2 ADDENDUM #2
CIVIL C1 C2 C3 C4 C5 C6 C7 C8 C9	GENERAL NOTES OVERALL SITE AND DEMOLITION PLAN GRADING & PAVING PLAN STORM SEWER PLAN DRAINAGE AREA MAP & CALCULATIONS UTILITY PLAN	A A A A A	10.24.2024 10.24.2024 10.24.2024 10.24.2024 10.24.2024 10.24.2024	ADDENDUM #2

DEMOLITION D1.101

DEMOLITION PLAN - LEVEL 01

A0.100	ARCHITECTURAL SITE PLAN	A	10.24.2024	ADDENDUM #2
A0.300	PARTITION TYPES & DETAILS	1	10.01.2024	ISSUE FOR PERMIT
A0.400	DOOR & WINDOW SCHEDULES	A	10.24.2024	ADDENDUM #2
A0.401	DOOR & WINDOW DETAILS	1	10.01.2024	ISSUE FOR PERMIT
A0.600	FINISH SCHEDULE	A	10.24.2024	ADDENDUM #2
A1.101	CONSTRUCTION PLAN - LEVEL 01	A	10.24.2024	ADDENDUM #2
A2.000	BUILDING ELEVATIONS	1	10.01.2024	ISSUE FOR PERMIT
A2.001	BUILDING ELEVATIONS	A	10.24.2024	ADDENDUM #2
A3.000	BUILDING SECTIONS	A	10.24.2024	ADDENDUM #2
A5.000	ENLARGED PLANS - KIOSK	A	10.24.2024	ADDENDUM #2
A5.010	ENLARGED PLANS - BAR	A	10.24.2024	ADDENDUM #2
A5.011	ENLARGED PLANS - BAR	A	10.24.2024	ADDENDUM #2
A5.020	ENLARGED PLANS - STORAGE	1	10.01.2024	ISSUE FOR PERMIT
A6.000	EXTERIOR DETAILS - PLAN	A	10.24.2024	ADDENDUM #2
A6.001	EXTERIOR DETAILS - PLAN	A	10.24.2024	ADDENDUM #2
A6.010	EXTERIOR DETAILS - SECTION	1	10.01.2024	ISSUE FOR PERMIT
A6.020	EXTERIOR DETAILS - SECTION	A	10.24.2024	ADDENDUM #2
46.021	EXTERIOR DETAILS - SECTION	A	10.24.2024	ADDENDUM #2
A7.000	ENLARGED ELEVATIONS & DETAILS	A	10.24.2024	ADDENDUM #2
A7.001	ENLARGED ELEVATIONS & DETAILS	1	10.01.2024	ISSUE FOR PERMIT

10.24.2024

ADDENDUM #2

STRUCTURAL

S0.01	GENERAL NOTES	1	10.01.2024	ISSUE FOR PERMIT
S0.02	GENERAL NOTES	1	10.01.2024	ISSUE FOR PERMIT
S1.01	FOUNDATION PLAN	A	10.24.2024	ADDENDUM #2
S2.01	LOWER ROOF FRAMING PLAN	A	10.24.2024	ADDENDUM #2
S2.02	UPPER ROOF FRAMING PLAN	A	10.24.2024	ADDENDUM #2
S3.01	FOUNDATION DETAILS	A	10.24.2024	ADDENDUM #2
S3.02	FOUNDATION DETAILS	A	10.24.2024	ADDENDUM #2
S4.01	FRAMING DETAILS	A	10.24.2024	ADDENDUM #2
S4.02	FRAMING DETAILS	A	10.24.2024	ADDENDUM #2
S5.01	STANDARD CONCRETE DETAILS	1	10.01.2024	ISSUE FOR PERMIT
S5.02	STANDARD CONCRETE DETAILS	1	10.01.2024	ISSUE FOR PERMIT
S5.03	STANDARD CONCRETE DETAILS	1	10.01.2024	ISSUE FOR PERMIT
S6.01	STANDARD STEEL DETAILS	1	10.01.2024	ISSUE FOR PERMIT
S6.02	STANDARD STEEL DETAILS	1	10.01.2024	ISSUE FOR PERMIT
S7.01	STANDARD CMU DETAILS	A	10.24.2024	ADDENDUM #2

MECHANICAL

M0.01	MECHANICAL COVER SHEET	1	10.01.2024	ISSUE FOR PERMIT
M0.02	MECHANICAL SCHEDULES	Α	10.24.2024	ADDENDUM #2
M0.03	MECHANICAL SPECIFICATIONS	1	10.01.2024	ISSUE FOR PERMIT
M2.01	MECHANICAL PLAN	Α	10.24.2024	ADDENDUM #2
M6.01	MECHANICAL DETAILS	1	10.01.2024	ISSUE FOR PERMIT

PLUMBING

P0.01	PLUMBING COVER SHEET	1	10.01.2024	ISSUE FOR PERMIT
P0.03	PLUMBING SCHEDULES	1	10.01.2024	ISSUE FOR PERMIT
P0.03	PLUMBING SPECIFICATIONS	1	10.01.2024	ISSUE FOR PERMIT
P0.04	PLUMBING SPECIFICATIONS	1	10.01.2024	ISSUE FOR PERMIT
P2.01	PLUMBING FLOOR PLAN	A	10.24.2024	ADDENDUM #2
P2.02	PLUMBING ENLARGED PLANS	A	10.24.2024	ADDENDUM #2
P3.01	PLUMBING ROOF PLAN	A	10.24.2024	ADDENDUM #2
P5.01	PLUMBING RISERS	A	10.24.2024	ADDENDUM #2
P6.01	PLUMBING DETAILS	1	10.01.2024	ISSUE FOR PERMIT

ELECTRICAL

LLLCTRICAL				
E0.01	ELECTRICAL COVER SHEET	A	10.24.2024	ADDENDUM #2
E0.02	ELECTRICAL SPECIFICATIONS	1	10.01.2024	ISSUE FOR PERMIT
E2.01	POWER PLAN	A	10.24.2024	ADDENDUM #2
E3.01	LIGHTING PLAN	A	10.24.2024	ADDENDUM #2
E3.02	LIGHTING PLAN	A	10.24.2024	ADDENDUM #2
E4.01	POWER HVAC EQUIPMENT PLAN	A	10.24.2024	ADDENDUM #2
E6.01	ELECTRICAL DETAILS	1	10.01.2024	ISSUE FOR PERMIT
E7.00	PANEL SCHEDULES & RISER	A	10.24.2024	ADDENDUM #2
E7.01	PANEL SCHEDULES	A	10.24.2024	ADDENDUM #2

FOOD SERVICE				
FS0.0	COVER SHEET	Α	10.24.2024	ADDENDUM #2
FS1.0	EQUIPMENT FLOOR PLAN	А	10.24.2024	ADDENDUM #2
FS2.0	EQUIPMENT SCHEDULE	Α	10.24.2024	ADDENDUM #2
FS3.0	PLUMBING ROUGH-INS	Α	10.24.2024	ADDENDUM #2
FS4.0	ELECTRICAL ROUGH-INS	Α	10.24.2024	ADDENDUM #2
FS6.0	ELEVATIONS	Α	10.24.2024	ADDENDUM #2

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Description

10.01.2024 ISSUE FOR PERMIT A 10.24.2024 ADDENDUM #2

Seal / Signature





Market Square Park Kiosk Improvements

Project Number

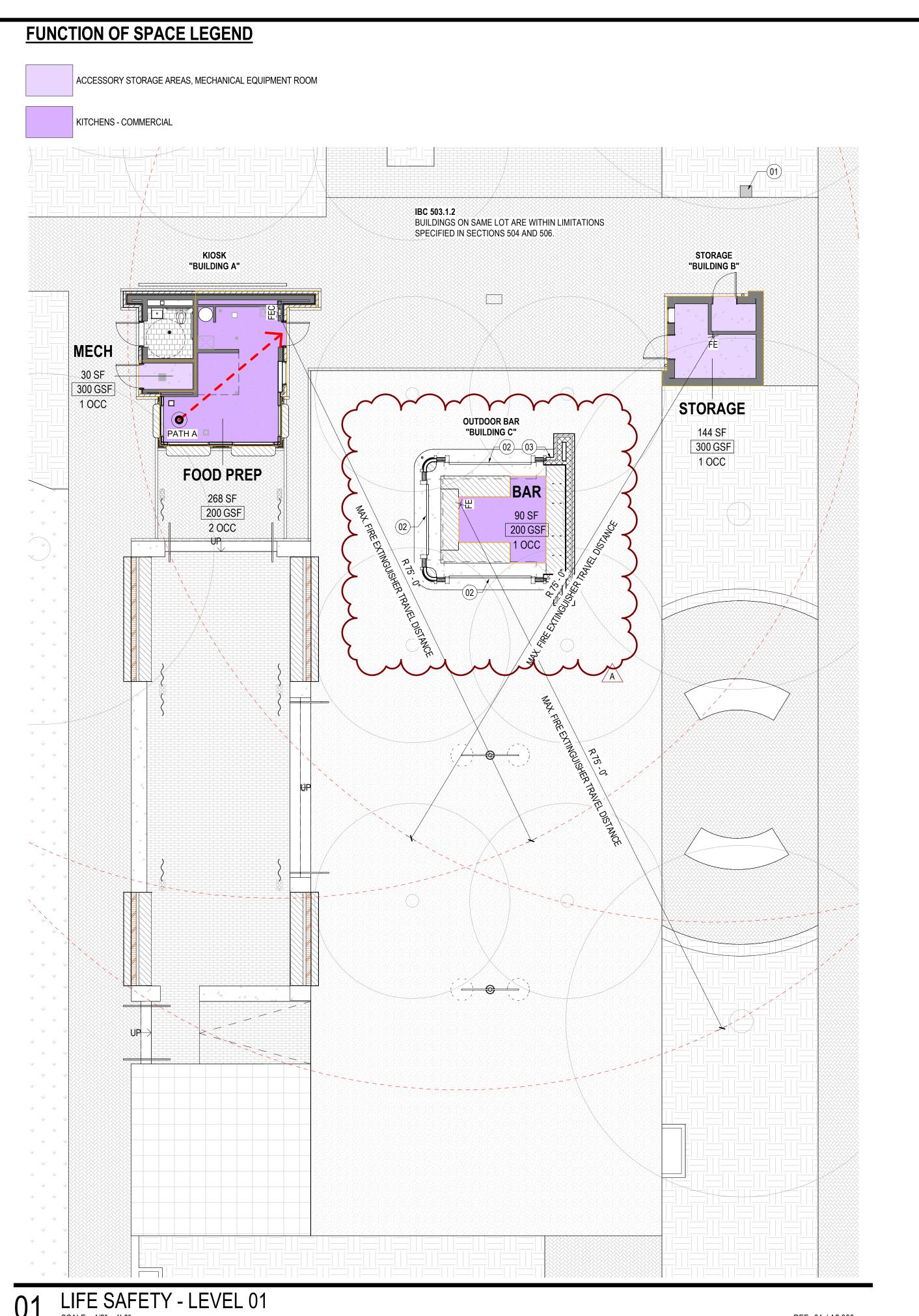
002.9349.000

Description

DRAWING INDEX & PROJECT INFORMATION

As indicated

G0.001



FUNCTION OF SPACE

	FUNCTION OF SPACE - LEVEL 01				
Name	FUNCTION OF SPACE	AREA	OCC LOAD FACTOR	ARFA TYPE	OCCUPANTS
Hamo	TOTAL TOTAL STATE	7111271	17101011	/ II \ L / \	00001711110
MECH	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	30 SF	300	GSF	1
STORAGE	ACCESSORY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM	144 SF	300	GSF	1
BAR	KITCHENS - COMMERCIAL	90 SF	200	GSF	1
FOOD PREP	KITCHENS - COMMERCIAL	268 SF	200	GSF	2
Grand Total (Occupied Area) =		532 SF			5

MEANS OF EGRESS

DOORS:

[PER IBC CH. 10] THE MINIMUM CLEAR WIDTH AND HEIGHT OF A DOOR SHALL NOT BE LESS THAN 32 INCHES AND 80 INCHES

[PER IBC CH. 10] DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL, WHERE SERVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY.

EXIT CAPACITY FACTORS:

[PER IBC CH. 10]

RESPECTIVELY.

MINIMUM REQUIRED EGRESS WIDTH: ☐ SPRINKLERED

☐ EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM 0.3 OTHER EGRESS COMPONENTS: 0.2

*REFER TO THE LIFE SAFETY PLANS FOR COMPLIANCE WITH MEANS OF EGRESS WIDTH REQUIREMENTS

MINIMUM WIDTH REQUIRED EGRESS:

STAIRWAYS: 0.3 x 5 Occupants = 1.5"
OTHER EGRESS COMPONENTS: 0.2 x 5 Occupants = 1"

MINIMUM WIDTH PROVIDED:

STAIRWAYS: N/A
OTHER EGRESS COMPONENTS: 36"

COMMON	PATH OF EGRES	SS TRAVEL (IBC CH. 10)	EXIT ACCESS TRAVEL DISTANCE (IBC CH. 10)		
OCCUPANCY	SPRINKLERED	MAX. DISTANCE	OCCUPANCY	SPRINKLERED	MAX. DISTANCE
Α	NO	75' - 0"	Α	NO	200' - 0"

DEAD ENDS (IBC CH. 10)			MIN. NUMBER OF E	EXITS FOR OCCUPANT LOAD (IBC CH. 10)		
OCCUPANCY	SPRINKLERED	MAX. DISTANCE	OCCUPANT LOAD MIN. # OF EXITS PER STO			
Α	NO	20' - 0"	1-49 1			
			50-500	2		
			501-1,000	3		
			MODE THAN 1 000	Λ		

MIN NUMBER OF EXITS FOR OCCUPANCT LOAD:

REQUIRED PER TABLE ABOVE: PROVIDED:

EXIT AND EXIT ACCESS DOORWAY CONFIGURATION (PER CHAPTER 10 IBC):

MINIMUM SEPARATION DISTANCE REQUIRED: N/A SEPARATION DISTANCE PROVIDED:

EGRESS TRAVEL SUMMARY LEVEL - L1						
EXIT ROUTE	TRAVEL DISTANCE					
	17' - 1"					
PATH A	17' - 1"					

MINIMUM PLUMBING FACILITIES

OCCUPANTS: 5	(3 MALE,	3 FEMALE	=)			
OCCUPANCY:	WATER	CLOSET	LAVATORIES		BATHTUBS OR	DRINKING	OTHER
ASSEMBLY	MALE	FEMALE	MALE	FEMALE	SHOWERS	FOUNTAINS	OTTIER
(RESTAURANTS, ETC.)							
RATIO:	1:75	1:75	1:200	1:200		1:500	
REQUIRED:	1.00	1.00	1.00	1.00	_	1.00	1 SERVICE SINK
PROVIDED:	1	1	1	1		1	1

GRAPHIC LEGEND

USE GROUP AND FUNCTION OF SPACE TAG

Name → AREA NAME AREA OF SPACE - OCCUPANCY LOAD FACTOR XXX GSF -OCCUPANT LOAD XXX OCC -

EXITING SYMBOLS

EGRESS COMPONENT CAPACITY SYMBOLS

NUMBER OF OCCUPANTS CALCULATED **EXITING** EXIT WIDTH REQUIRED (IN.) EXIT WIDTH 33" /-PROVIDED (IN.)

FIRE PROTECTION SYMBOLS

FEC = FIRE

EXTING EXTINGUISHER CABINET FE = FIRE **EXTINGUISHER**

SHEET NOTES

- 01 EXISTING DRINKING FOUNTAIN 02 OVERHEAD COILING DOORS AT BAR PERIMETER
- FOR SECURITY DURING UNOCCUPIED HOURS. 03 KEY SWITCH STATION FOR OVERHEAD COILING Houston, TX 77043 DOOR, MOUNTED AT EXTERIOR; RE: ENLARGED Tel 832.714.2568

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アマロ C&T Design and Equipment Co. CONSULTING ProE Consulting

C&T Design and Equipment Co. 9555 Baythorne Dr. Suite 200 Houston, TX 77041

Tel 713.682.6390

riangle Date Description

1 10.01.2024 ISSUE FOR PERMIT A 10.24.2024 ADDENDUM #2

GENERAL NOTES

- A. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A WITHIN 75-FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY AUTHORITY HAVING JURISDICTION.
- B. PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS AND AS REQUIRED BY APPLICABLE CODES, AND ADDITIONAL SIGNS AS REQUIRED BY AUTHORITY HAVING JURISDICTION. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS AS REQUIRED. COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
- DOORS OPENING INTO REQUIRED 1-HOUR, FIRE-RESISTIVE CORRIDORS SHALL BE PROTECTED WITH A SMOKE OR DRAFT STOP ASSEMBLY HAVING A 20-MINUTE RATING AND SHALL BE SELF-CLOSING.
- D. 20-MINUTE DOOR JAMBS TO BE TIGHT-FITTING, SMOKE AND DRAFT CONTROLLED.
- E. STORAGE, DISPENSING OR USE OF ANY FLAMMABLE OR COMBUSTIBLE LIQUIDS, FLAMMABLE GAS AND HAZARDOUS SUBSTANCES SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS.
- . WOOD BLOCKING WHERE PERMITTED SHALL BE FIRE TREATED IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
- G. EXTEND OR MODIFY EXISTING FIRE/LIFE SAFETY SYSTEM AS REQUIRED TO PROVIDE AN APPROVED FIRE/ LIFE SAFETY SYSTEM. SUBMIT PLANS TO AUTHORITY HAVING JURISDICTION WITH COMPLETE DESCRIPTION OF SEQUENCE OF OPERATION, AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- H. EXTEND OR MODIFY EXISTING AUTOMATIC FIRE EXTINGUISHING SYSTEM AS REQUIRED TO PROVIDE AN APPROVED AUTOMATIC FIRE EXTINGUISHING SYSTEM. SUBMIT PLANS TO AUTHORITY HAVING JURISDICTION AND OBTAIN APPROVAL PRIOR TO INSTALLATION.
- AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE STATION SERVICE OR A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION.

Seal / Signature



Market Square Park Kiosk Improvements

Project Number

002.9349.000

Description

FIRE & LIFE SAFETY PLAN - LEVEL 01

Scale

As indicated



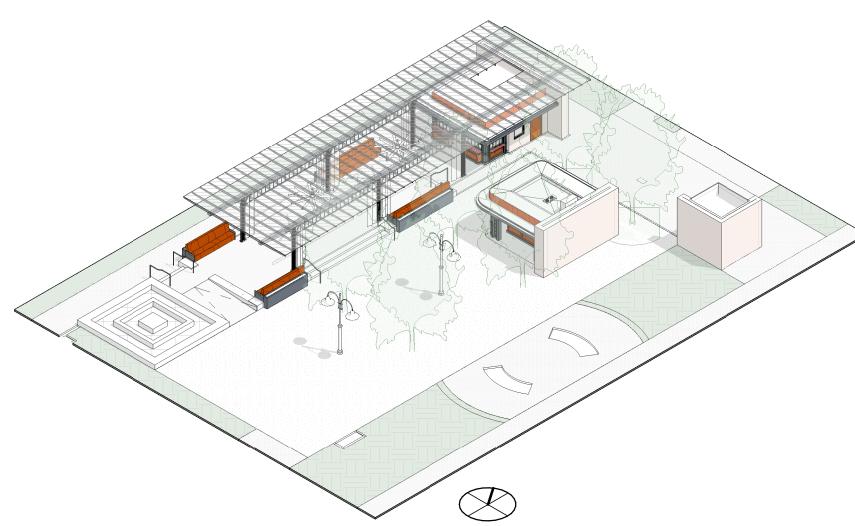
G1.101

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REF: 01 / A2.000







BAR FRONT VIEW SCALE: 1 1/2" = 1'-0"

REF: /

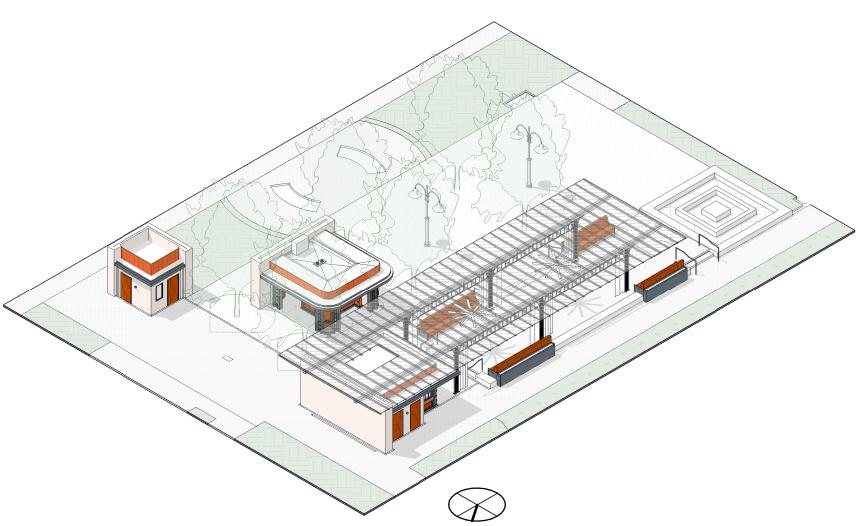
TRELLIS SHADE STRUCTURE
SCALE: 1 1/2" = 1'-0"

REF: /

3D AXONOMETRIC VIEW - SE

REF: /





06 BAR SIDE VIEW SCALE: 1 1/2" = 1'-0"

REF: /

STORAGE BACK PATHWAY

SCALE: 1 1/2" = 1'-0"

REF: /

3D AXONOMETRIC VIEW - NW SCALE:

REF: /

Downtown Redevelopment Authority / TIRZ No. 3

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10.01.2024 ISSUE FOR PERMIT A 10.24.2024 ADDENDUM #2

Seal / Signature



Market Square Park Kiosk Improvements

Project Number

002.9349.000

Description

BUILDING 3D VIEWS

1 1/2" = 1'-0"

G9.000

(PRIVATE ON-SITE)

UTILITIES AND PAVING

CITY OF HOUSTON, HARRIS COUNTY TEXAS

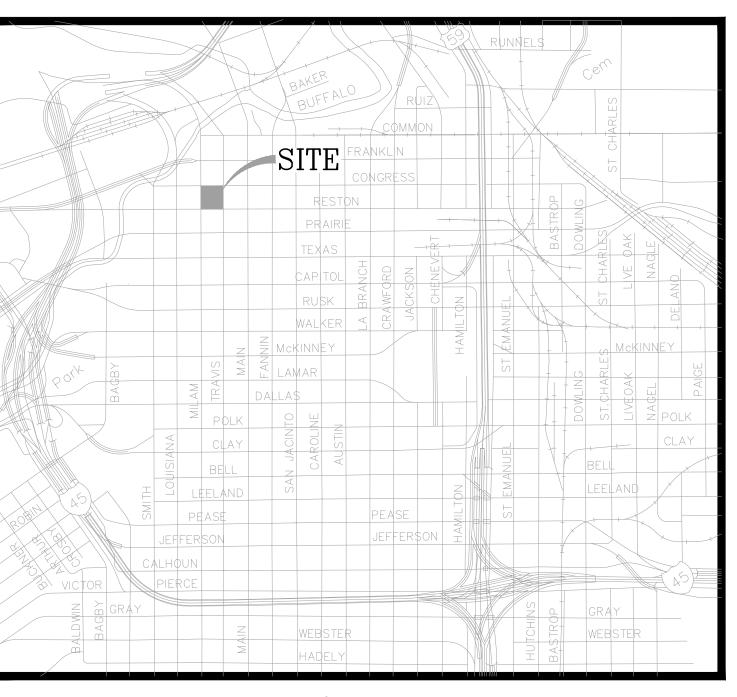
301 MILAM ST HOUSTON, TX 77002

OCTOBER, 2024

Sheet Li	st Table
Sheet Number	Sheet Title
C1	COVER SHEET
C2	GENERAL NOTES
C3	OVERALL SITE AND DEMOLITION PLAN
C4	GRADING & PAVING PLAN
C5	STORM SEWER PLAN
C6	DRAINAGE AREA MAP & CALCULATIONS
C7	UTILITY PLAN
C8	STORM WATER POLLUTION PREVENTION PLAN
C9	STORM WATER POLLUTION PREVENTION DETAILS
C10	CONSTRUCTION DETAILS



KE GIM



VICINITY MAP N.T.S. KEYMAP NO. : 493-L GIMS MAP NO. : 5457A ZIP CODE NO. : 77002

DATE REVISION
10-01-24 ISSUE FOR PERMIT
10-24-24 ADDENDUM 2



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NCHMARK.

RM 210045

- THE HORIZONTAL CONTROL FOR THE SURVEY IS REFERENCED TO TH NORTH AMERICAN DATUM OF 1983 (NAD83), (2001 ADJ.).
- 2. ALL ELEVATIONS SHOWN THEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), (2001, ADJ).
- 3. THE HORIZONTAL AND VERTICAL CONTROL FOR THE SURVEY IS BASED ON TROPICAL STORM ALLISON RECOVERY PROJECT (TSARP) REFERENCE MARK RM 210045.
- 4. ALL EXISTING ELEVATIONS ARE BASED OFF APPROVED PLANS DATED

FLOOD STATEMENT

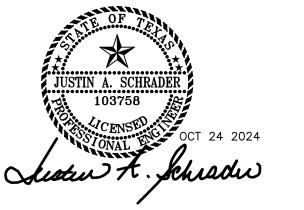
THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF HOUSTON, HARRIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY NO. 480296, DATED JANUARY 6, 2017, INDICATES THAT THIS TRACT IS WITHIN ZONE "X" SHADED, AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE "X" UNSHADED AREAS OF MINIMAL FLOOD HAZARD, AS SHOWN ON MAP AND PANEL NO. 48201C0690N. THIS DETERMINATION HAS BEEN MADE BY SCALING THE PROPERTY ON THE ABOVE REFERENCED MAP AND IS NOT THE RESULT OF AN ELEVATION SURVEY. WARNING: IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FOOD HAZARD AREA, THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR OR ENGINEER.



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CAUTION!

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.



SHEET No: C1 OF C10

GENERAL NOTES:

- WATER LINES, WASTEWATER COLLECTION SYSTEMS, AND DRAINAGE SYSTEMS SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE CITY OF HOUSTON, HOUSTON PUBLIC WORKS "STANDARD CONSTRUCTION SPECIFICATIONS" DATED JULY 2018. AND "STANDARD CONSTRUCTION DETAILS FOR WASTEWATER COLLECTION. SYSTEMS, WATER LINES, STORM DRAINAGE AND STREET PAVING" DATED JULY 2018 UNLESS OTHERWISE NOTED AND AP-PROVED ON THESE PLANS. THE DESIGN IS CONSISTENT WITH THE MINIMUM STANDARDS ESTABLISHED IN THE "DESIGN MANUAL FOR WASTEWATER COLLECTION SYSTEMS, WATER LINES, STORM DRAINAGE AND STREET PAVING". DATED JULY 2018.
- 2. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING PUBLIC OR PRIVATE UTILITY LINES, INCLUDING BUT NOT LIMITED TO WATER LINES, WASTEWATER COLLECTION SYSTEMS AND STORM SEWERS, DURING CONSTRUCTION. ALL DAMAGES SHALL BE REPAIRED IN ACCORDANCE WITH CITY OF HOUSTON, DEPARTMENT OF PUBLIC WORKS AND ENGINEERING "STANDARD CONSTRUCTION SPECIFICATIONS" WITH LATEST ADDENDA AND AMENDMENTS THERETO, WITH NO COST TO THE CITY OF HOUSTON, DISTRICT OR OWNER.
- 3. ALL AREAS DISTURBED ALONG SIDE AND BACK-OF-LOT EASEMENTS OR OTHER UNNECESSARY DISTURBANCES AS A RESULT OF CONSTRUCTION WORK SHALL BE SEEDED AND FERTILIZED IN ACCORDANCE WITH SEEDING SPECIFICATIONS (NO SEPARATE PAY).
- 4. ALL STATIONS ARE CENTERLINE OF STREET RIGHT-OF-WAY UNLESS OTHERWISE NOTED.
- 5. THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE FLAGMEN, SIGNING, STRIPING AND WARNING DEVICES, ETC., DURING CONSTRUCTION BOTH DAY AND NIGHT IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- 7. SUBGRADES FOR ALL TYPES OF ROADS SHALL BE ACCURATELY SHAPED PRIOR TO PLACING BASE MATERIAL OR PAVEMENT THEREON, AND SHALL BE COMPACTED TO PROVIDE FOR UNIFORM DENSITY CAPABLE OF SUPPORTING THE PAVEMENT LOADS TO BE IMPOSED THERE UPON. UNSTABLE SUBGRADE IS TO BE CAREFULLY STABILIZED BY THE ADDITION OF SUITABLE MATERIAL OR REMOVING THE UNSTABLE AREA AND PLACING THEREIN SUITABLE SUBGRADE MATERIAL. SUBGRADES WITH HIGH PLASTICITY, (THOSE WITH A PLASTICITY INDEX OF MORE THAN 15) SHALL BE LIME TREATED. ALL STABILIZED SUBGRADE SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY, COMPACTION TO BE ACCOMPLISHED BY USE OF APPROVED AND ACCEPTABLE MIXING AND ROLLING EQUIPMENT AND CONSTRUCTION METHODS. ALL TYPE SUBGRADES SHALL BE TESTED BY AN APPROVED COMMERCIAL LABORATORY A MINIMUM OF EVERY 500 FT. FOR DENSITY AND PLASTICITY INDEX. EMBANKMENTS THAT ARE NOT UNDER ROADWAYS OR HOUSES SHALL HAVE A MINIMUM PLASTICITY INDEX OF 25.
- 8. IN THE CASE OF ONGOING PROJECTS ADJACENT TO OR NEAR THE PROPOSED PROJECT, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION WITH OTHER CONTRACTORS.
- 9. THE CONTRACTOR SHALL LAYOUT THE ENTIRE PROJECT AND VERIFY CRITICAL DIMENSIONS BEFORE PROCEEDING WITH THE WORK
- 10. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED AND NOTIFY ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS OR OTHER PERSONS IN CHARGE OF PRIVATE OR PUBLIC CONSTRUCTION OPERATIONS OR EXISTING FACILITIES IN THE PROJECT AREA, PRIOR TO COMMENCEMENT OF THE WORK.
- 11. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY THE CITY OF HOUSTON FOR CONSTRUCTION. (NO SEPARATE PAY)
- 12. TAP FEES AND PERMIT FEES ARE THE CONTRACTOR'S RESPONSIBILITY.
- 13. PROVIDE SUCH TEMPORARY BARRICADES AS ARE REQUIRED TO ASSURE THE SAFETY OF WORKMEN AND THE GENERAL PUBLIC.
- 14. FLAG CONSTRUCTION SITE TO PREVENT UNAUTHORIZED ENTRY.
- 15. THE CONTRACTOR SHALL SUPPORT ALL EXISTING UTILITIES IN THE PATH OF THE EXCAVATION DURING CONSTRUCTION. REPAIR DAMAGES AT NO ADDITIONAL COST TO THE OWNER.
- 16. SEE SPECIFICATIONS FOR PROPOSED TREATMENT OF LAWN AREAS DISTURBED BY CONSTRUCTION.
- 17. ALL EXCESS MATERIALS FROM THE EXCAVATIONS SHALL BECOME THE PROPERTY OF THE CONTRACTOR WHO SHALL DISPOSE OFF- SITE IN A LAWFUL MANNER.

CONSTRUCTION SAFETY NOTES:

- THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE TRENCH SAFETY REQUIREMENTS OF THIS PROJECT: CONTRACTOR SHALL PROVIDE A TRENCH SAFETY SYSTEM MEETING THE REQUIREMENTS OF CURRENT OSHA REGULATIONS, STATE LAW AND LOCAL CODES.
- 2. THESE PLANS PREPARED BY JUSTIN A. SCHRADER, P.E., DO NOT EXTEND TO OR INCLUDE DESIGNS OR SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES, AGENTS, SUBCONTRACTORS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK.

STORM SEWER NOTES

- STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (C-76, CLASS III), AND SHALL BE INSTALLED, BEDDED, AND BACK FILLED IN ACCORDANCE WITH THE CITY OF HOUSTON DRAWING NOS. 2317-02, 02317-3, 02317-05, 02317-06, AND 02317-07 (OCT, 2002) AS APPLICABLE UNLESS OTHERWISE SHOWN ON THE DRAWINGS.
- 2. ALL STORM SEWER CONSTRUCTED IN SIDELOT EASEMENT SHALL BE R.C.P (C-76, CLASS III) AND SHALL BE EMBEDDED IN ACCORDANCE WITH THE CITY OF OF HOUSTON DRAWING NOS. 02317-02, 02317-03, 02317-05, 02317-06, AND 02317-07 AS APPLICABLE.
- 3. ALL SEWER UNDER PROPOSED OR FUTURE PAVEMENT AND TO A POINT ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE BACKFILLED WITH 1-1/2 SACK CEMENT/C.Y. STABLIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE. THE REMAINING DEPTH OF TRENCH SHALL BE BACKFILLED WITH SUITABLE EARTH MATERIAL.
- 4. ALL TRENCH BACKFILL SHALL BE IN 8" LIFTS, WITH TESTS TAKEN AT 100 FOOT INTERVALS IN EACH LIFT, AND MECHANICALLY COMPACTED TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM D-698/AASHTO T99).
- 5. CIRCULAR AND ELLIPTICAL REINFORCED CONCRETE PIPE SHALL BE INSTALLED USING RUBBER GASKET JOINT CONFORMING TO ASTM C443 AND ASTM C877 RESPECTIVELY.
- 6. ALL STORM SEWER PIPES AND INLET LEADS SHALL BE 24" AND LARGER P.C.P. (C-76, CLASS III).
- 7. ALL PROPOSED PIPE STUB-OUTS FROM MANHOLES AND INLET LEADS ARE TO BE PLUGGED WITH 8" BRICK WALLS UNLESS OTHERWISE NOTED.
- 8. MINIMUM HORIZONTAL CLEARANCE BETWEEN ANY STORM PIPE AND BOX SHALL BE AT LEAST 48-INCHES FROM EXTERIOR OF THE STORM PIPE OR BOX TO THE EXTERIOR OF THE EXISTING OR PROPOSED PUBLIC OR PRIVATE UTILITY AND OTHER APPURTENANCES. MINIMUM VERTICAL CLEARANCE BETWEEN ANY STORM PIPE AND BOX SHALL BE AT LEAST 24-INCHES FROM EXTERIOR OF THE STORM PIPE OR BOX TO THE EXTERIOR OF THE EXISTING OR PROPOSED PUBLIC OR PRIVATE UTILITY AND OTHER APPURTENANCES.
- 9. ADJUST MANHOLE COVERS TO GRADE CONFORMING TO REQUIREMENTS OF SECTION 02086-ADJUSTING MANHOLES, INLETS, AND VALVE BOXES TO GRADE.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING, MAINTAINING, AND RESTORING ANY BACK SLOPE DRAINAGE SYSTEM DISTURBED AS A RESULT OF THIS WORK.
- 11. ALL DITCHES SHALL BE GRADED TO PROPOSED ELEVATIONS TO INSURE PROPER DRAINAGE. ALL OUTFALLS SHALL BE PROPERLY BACKFILLED AND COMPACTED. ALL DISTURBED AREA SHALL BE REGRADED, SEEDED, AND
- 12. ALL DRIVEWAYS WILL BE LOCATED TO AVOID EXISTING CURB INLET STRUCTURES.

GRADING NOTES:

- 1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE STARTING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
- 2. BEFORE STARTING CONSTRUCTION, CONTRACTOR SHALL VERIFY BENCHMARK ELEVATION AND NOTIFY ENGINEER IF ANY DISCREPANCY AND/OR CONFLICT IS FOUND.

- CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE FROM THE PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS, AND SHALL NOTIFY ENGINEER IF ANY GRADING DISCREPANCIES ARE FOUND IN THE EXISTING AND PROPOSED GRADES PRIOR TO PLACEMENT OF PAVEMENT OF UTILITIES.
- 4. CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, POWER POLES, GUY WIRES, AND TELEPHONE BOXES THAT ARE TO REMAIN IN PLACE AND UNDISTURBED DURING
- 5. ALL EXISTING CONCRETE PAVING, SIDEWALK, AND CURB DEMOLITION SHALL BE REMOVED AND DISPOSED OF BY CONTRACTOR. DISPOSAL SHALL BE AT AN APPROVED OFF-SITE, LAWFUL LOCATION, UNLESS DIRECTED

- CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY CITY OF HOUSTON FOR CONSTRUCTION OF UTILITY PIPELINES WITHIN THE CITY ROAD RIGHT-OF-WAY FOR THE OWNER. (NO SEPARATE PAY)
- CONTRACTOR SHALL PROTECT WATER, SEWER, AND DRAINAGE FACILITIES; AND WILL REPLACE AT HIS EXPENSE ANY FACILITIES DAMAGED DURING PAVING OPERATIONS.
- 3. CONTRACTOR SHALL PROVIDE SILT BARRIER FENCE ON ALL STAGE I CURB INLETS. (NO SEPARATE PAY)
- 4. EXISTING PAVEMENTS, CURBS, SIDEWALKS, AND DRIVEWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO CITY OF HOUSTON STANDARDS AND SPECIFICATIONS
- 5. CONDITION OF THE ROAD AND / OR RIGHT-OF-WAY, UPON COMPLETION OF JOB, SHALL BE AS GOOD AS OR BETTER THAN THE CONDITION PRIOR TO STARTING WORK.
- 6. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY. ALL CONSTRUCTION STORM RUNOFF SHALL COMPLY WITH THE FINAL DRAFT OF STORMWATER MANAGEMENT HANDBOOK FOR CONSTRUCTION ACTIVITIES AS PREPARED BY THE CITY OF HOUSTON ALL IN COMPLIANCE WITH THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS,
- 7. ALL DRIVEWAYS WILL BE LOCATED TO AVOID EXISTING CURB INLET STRUCTURES UNLESS NOTED ON PLANS.
- 8. VEHICULAR PAVING AT THE TRUCK DOCK, ACCESS DRIVEWAYS, PEDESTRIAN WALKS, INTEGRAL WALK-CURB AND CAST-IN-PLACE CURBS SHALL BE CONSTRUCTED OF REINFORCED PORTLAND CEMENT CONCRETE.
- 9. NO SAND BED OR SAND LEVELING COURSE SHALL BE PERMITTED UNDER ANY VEHICULAR PAVING.
- 10. FOR PAVEMENT JOINT SPACING, CONTRACTOR SHALL PROVIDE A LAYOUT FOR REVIEW GEOTECH RECOMMENDATIONS. JOINTS WILL BE SPACED A MAXIMUM OF 15'. JOINTS TERMINATING AT CURBS WILL BE PERPENDICULAR TO CURB AND BE NO LESS
- 11. SUBGRADE SHALL BE STABILIZED PER GEOTECH RECOMMENDATIONS AS MENTIONED IN THE GEOTECHNICAL
- 12. REINFORCING STEEL SHALL COMPLY WITH OR EXCEED A.S.T.M. SPECIFICATION 615, GRADE 60, FOR NO 4 BARS AND LARGER.

STORM WATER POLLUTION PREVENTION CONSTRUCTION NOTES:

- CONTRACTOR SHALL IMPLEMENT INLET PROTECTION DEVICES AND REINFORCED FILTER FABRIC BARRIER ALONG ROAD AND SIDE DITCHES AT LOCATIONS SHOWN ON THE TYPICAL STORM WATER POLLUTION PREVENTION (SWPP) PLANS TO KEEP SILT AND/OR EXCAVATED MATERIALS FROM ENTERING INTO THE STORM WATER INLETS AND DITCHES EVENTUALLY POLLUTING THE RECEIVING STORM.
- 2. DURING EXCAVATION PHASE OF THE PROJECT, CONTRACTOR SHALL SCHEDULE THE WORK IN SHORT SEGMENTS SO THAT EXCAVATED MATERIAL CAN BE QUICKLY HAULED AWAY FROM THE SITE AND TO PREVENT IT FROM STAYING UNCOLLECTED ON THE EXISTING PAVEMENT. ANY LOOSE EXCAVATED MATERIAL WHICH FALLS ON PAVEMENTS OR DRIVEWAYS SHALL BE SWEPT BACK INTO THE EXCAVATED AREA.
- 3. CONTRACTOR SHALL CLEAN UP THE EXISTING STREET INTERSECTIONS AND DRIVEWAYS DAILY, AS NECESSARY, TO REMOVE ANY EXCESS MUD, SILT OR ROCK TRACKED FROM THE EXCAVATED AREA.
- 4. CONTRACTOR SHALL FOLLOW GOOD HOUSEKEEPING PRACTICES DURING THE CONSTRUCTION OF THE PROJECT, ALWAYS CLEANING UP DIRT AND LOOSE MATERIALS AS CONSTRUCTION PROGRESSES.
- 5. CONTRACTOR TO INSPECT AND MAINTAIN THE AREAS LISTED BELOW AT LEAST ONCE EVERY FOURTEEN(14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER.
- DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION.
- STRUCTURAL CONTROL MEASURES.
- LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.
- 6. CONTRACTOR TO BE RESPONSIBLE TO MAINTAIN EXISTING DITCHES AND/OR CULVERTS FOR UNOBSTRUCTED DRAINAGE AT ALL TIMES. WHERE SODDING IS DISTURBED BY EXCAVATION ON BACKFILLING OPERATIONS, SUCH AREAS SHALL BE REPLACED BY SEEDING OR SODDING. SLOPE 4:1 OR STEEPER SHALL BE REPLACED BY BLOCK

TRAFFIC NOTES:

- CONTRACTOR OR OWNER SHALL SUBMIT TRAFFIC CONTROL PLANS WITH THE MOBILITY PERMIT APPLICATION. THE PLANS SHALL BE DRAWN TO SCALE AND SEALED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS.
- THE GENERAL NOTES THAT SHALL BE INCLUDED ON THE TRAFFIC CONTROL PLAN CAN BE FOUND IN CHAPTER 15 (15.12 TRAFFIC CONTROL PLAN) OF THE CITY OF HOUSTON'S (CITY) INFRASTRUCTURE DESIGN MANUAL (IDM). BELOW ARE SEVERAL KEY NOTES FROM THE IDM TO BE AWARE OF:
- THE CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART VI OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD) LATEST EDITION WITH REVISIONS DURING THE ENTIRE CONSTRUCTION PERIOD
- 2. NO WORK SHALL BE PERFORMED IN RESIDENTIAL AREAS FROM 7:00PM TO 7:00AM.
- 3. CONTRACTOR SHALL MAINTAIN APPROVED NUMBER OF LANES OF TRAFFIC IN EACH DIRECTION DURING CONSTRUCTION WORKING HOURS. TRAFFIC CONTROL PLANS SHALL INCLUDE ONE-WAY AND/OR DETOUR PLANS. CONTRACTOR SHALL MAINTAIN ADA COMPLIANT PEDESTRIAN ACCESS TO BUS STOPS AND ADEQUATE BUS ACCESS TO THE BUS STOP.
- 4. CONTRACTOR SHALL COVER OPEN PAVEMENT EXCAVATIONS FOR MINOR UTILITY WORK WITH ANCHORED STEEL PLATES DURING NON-WORKING HOURS, OPEN THE LANES FOR NORMAL TRAFFIC FLOW WHEN FEASIBLE.
- CONTRACTOR SHALL SECURE LAND/SIDEWALK/BICYCLE FACILITY CLOSURE PERMITS FROM TRANSPORTATION & DRAINAGE OPERATIONS (MOBILITY PERMIT SECTION AT WWW.GIM.HOUSTONTX.GOV) BEFORE IMPLEMENTING THE TRAFFIC CONTROL PLAN. THE APPLICATION MUST BE SUBMITTED AT LEAST TEN BUSINESS DAYS PRIOR TO THE IMPLEMENTATION OF THE TRAFFIC CONTROL PLAN AND/OR BEGINNING OF CONSTRUCTION WORK. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS, CONSTRUCTION SEQUENCING, AND CONSTRUCTION SCHEDULE WITH THE APPLICATION.
- 6. CONTRACTOR SHALL HAVE APPROVED TRAFFIC CONTROL PLAN AND PERMIT AT THE JOB SITE FOR INSPECTION AT ALL TIMES.
- 7. ACCESS TO DRIVEWAYS ADJACENT TO THE CONSTRUCTION WORK ZONE SHALL BE MAINTAINED AT ALL TIMES AS MUCH AS POSSIBLE. ADDITIONAL CONES AND/OR DELINEATORS MAY BE REQUIRED TO DELINEATE THE DRIVEWAY ACCESS ROUTE THROUGH THE CONSTRUCTION WORK ZONE. A MINIMUM OF ONE TRAVEL LANE SHALL BE MAINTAINED ACROSS THE DRIVEWAY, UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED FROM THE CITY OF
- 8. ADDITIONAL OFF DUTY POLICE OFFICERS/FLAGGERS MAY BE REQUESTED TO DIRECT TRAFFIC WHEN LANES ARE BLOCKED AT THE DIRECTION OF THE CITY EVEN IF THEY ARE NOT SPECIFICALLY IDENTIFIED ON THE PROJECT

SANITARY SEWER NOTES:

- ALL SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF HOUSTON "STANDARD CONSTRUCTION SPECIFICATIONS FOR WASTEWATER COLLECTION SYSTEMS, WATER LINES, STORM DRAINAGE, STREET PAVING. AND TRAFFIC" AND ALL CURRENT AMENDMENTS THERETO AND BE SUBJECT TO A STANDARD EXFILTRATION TEST. TESTS ARE TO BE PERFORMED ON THE TOTAL FOOTAGE OF SEWER LINE INCLUDED IN THE PROJECT. REQUIREMENTS OF TEXAS ADMINISTRATIVE CODE, TITLE 30 CHAPTER 317, "DESIGN CRITERIA FOR SEWERAGE SYSTEMS" SHALL GOVERN WHERE CONFLICTS EXIST EXCEPT WHERE CITY REQUIREMENTS ARE MORE
- ALL MANHOLES ARE TO BE PER CITY OF HOUSTON STANDARD DETAILS DRAWING NUMBERS 02082-01, 02082-02, 02082N-02, 02082-03, AND 02082N-03 UNLESS OTHERWISE NOTED. USE 2010 VERSION AS APPLICABLE.
- 3. SANITARY SEWER MANHOLES WILL HAVE BEDDING AND BACKFILL PER CITY OF HOUSTON STANDARD DETAILS DRAWING NO. 02317-08 UNLESS OTHERWISE NOTED.
- 4. THE SANITARY SEWER PVC PIPE SHALL BE ASTM D 3034 TYPE PSM SDR 26 GRAVITY SEWER PIPE, ASTM D2241 SDR 26 PRESSURE RATED SEWER PIPE OR AWWA C-900 DR-18 GREEN PVC PRESSURE RATED SEWER PIPE BASED ON CONSTRUCTION CONDITION REQUIREMENT AND CONFORMING TO ASTM D1784 AND CITY OF HOUSTON STANDARD SPECIFICATION SECTION 02506 POLYVINYL CHLORIDE PIPE.
- 5. WHEN SS PRESSURE RATED PVC PIPE IS USED ON WATERLINE (WL) CROSSING UNDER CONDITION 1 OF COH IDM TABLE 7.3, THE SAME TYPE OF D2241 SDR 26 PVC PIPE OR C-900 GREEN DR-18 PVC GREEN PRESSURED TO BE UTILIZING IN-BETWEEN TWO SS MH'S. OR TO UTILIZE A DI TRANSITION ADAPTER FOR THE CONNECTING OF ASTM D-3034 PVC GRAVITY PIPE TO DI-OD AWWA C-900 PVC PIPE CENTERED AT WL WHEN CONNECTING TWO DIFFERENT TYPES OF PVC PIPES FOR SEWER CONSTRUCTION.
- 6. AWWA C-900 DR-18 PVC PIPE USES EITHER AWWA C900 DR-18 PVC FITTINGS OR DIP FITTINGS.
- ALL SANITARY SEWER LINES UNDER PROPOSED OR FUTURE PAVEMENT AND TO A POINT ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL HAVE BEDDING PER CITY OF HOUSTON STANDARD DETAILS DRAWING NUMBERS 02317-01 02317-02 OR 02317-03 AS APPLICABLE, WITH 1 1/2 SACK CEMENT/CY STABILIZED SAND BACKFILL UP TO THE BOTTOM OF THE PAVEMENT SUBGRADE. 100 PSI PERFORMANCE RESULTS ARE STILL REQUIRED.
- 8. ALL SANITARY SEWERS CROSSING WATER LINES WITH A CLEARANCE BETWEEN 12 INCHES AND 9 FEET SHALL HAVE A MINIMUM OF ONE 18' JOINT OF 150 PSI DUCTILE IRON OR (GREEN) C900 PVC PIPE MEETING ASTM SPECIFICATION D2241 CENTERED ON WATER LINE. WHEN WATER LINE IS BELOW SANITARY SEWER PROVIDE MINIMUM 2 FOOT SEPARATION.
- 9. CONTRACTOR SHALL PROVIDE A MINIMUM HORIZONTAL CLEARANCE OF 9' FEET BETWEEN WATER LINES AND SANITARY SEWER MANHOLES AND LINES.
- 10. SANITARY SEWER MANHOLE RIMS OUTSIDE OF PROPOSED PAVING WILL BE SET 3" 6" ABOVE THE SURROUNDING LEVEL FINISHED GRADE AFTER PAVING WITH SLOPED BACKFILL ADDED FOR STORM WATER TO DRAIN AWAY FROM MANHOLF RIM
- 11. IN WET STABLE TRENCH AREAS USE BEDDING PER CITY OF HOUSTON STANDARD DETAILS DRAWING NUMBER
- 12. DEFLECTION TEST: DEFLECTION TESTS SHALL BE PERFORMED ON ALL FLEXIBLE AND SEMI-RIGID SEWER PIPE THE TEST SHALL BE CONDUCTED AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS. NO PIPE SHALL EXCEED A DEFLECTION OF 5% IF THE DEFLECTION TEST IS TO BE RUN USING A RIGID MANDREL, IT SHALL HAVE A DIAMETER EQUAL TO 95% OF THE INSIDE DIAMETER OF THE PIPE. THE TEST SHALL BE PERFORMED AS PER 30 TAC 317.2 LATEST AMENDMENT AND WITHOUT MECHANICAL PULLING DEVICES. NO BALL-TYPE MANDREL IS ALLOWED.
- 13. INFILTRATION, EXFILTRATION OR LOW-PRESSURE AIR TEST: EITHER OF THE FOLLOWING TESTS SHALL BE PERFORMED AS PER TAC, TITLE 30 317.2 WITHIN THE SPECIFIED TOLERANCES ON ALL GRAVITY SEWERS.
- A.INFILTRATION OR EXFILTRATION TEST: TOTAL LEAKAGE AS DETERMINED BY A HYDROSTATIC HEAD TEST SHALL NOT EXCEED 50 GALLONS PER INCH DIAMETER PER MILE OF PIPE PER 24 HOURS AT A MINIMUM TEST HEAD OF TWO (2) FEET.
- B. LOW-PRESSURE AIR TEST: PERFORM TEST ACCORDING TO UNI-B-6-90 OR OTHER
- APPROPRIATE PROCEDURES. FOR SECTIONS OF PIPE LESS THAN 36" (INCH) AVERAGE INSIDE DIAMETER, THE MINIMUM ALLOWABLE TIME FOR PRESSURE DROP FROM 3.5 P.S.I.G. TO 2.5 P.S.I.G.
- SHALL BE AS FOLLOWS: 6" 340 SECONDS OR 0.855(L) FOR TEST LENGTHS GREATER THAN 398'
- 8" 454 SECONDS OR 1.520(L) FOR TEST LENGTHS GREATER THAN 298' 10" 567 SECONDS OR 2.374(L) FOR TEST LENGTHS GREATER THAN 239'
- 15" 850 SECONDS OR 5.342(L) FOR TEST LENGTHS GREATER THAN 159'
- 18" 1020 SECONDS OR 7.693(L) FOR TEST LENGTHS GREATER THAN 133' WHERE L = LENGTH OF LINE OF SAME PIPE SIZE IN FEET.
- 14. SAN. S. E." INDICATES "SANITARY SEWER EASEMENT"

FOOTAGE OF WATER PIPE LINE INCLUDED IN THE PROJECT.

15. FOR SANITARY MANHOLE (MH) RIMS SET INSIDE OF OR @ CURB & GUTTER PAVEMENT AND/OR BELOW T.C., MH RIMS WILL BE SET FLUSHED WITH AN ABUTTING PAVED SURFACE. THE (VALCUN, NEENAH OR EQUAL) HEAVY DUTY BOLTED SOLID MH COVER SHALL BE PROPERLY (AND SECURELY) ATTACHED AND SEALED TO ITS COMPATIBLE THREADED 1/2"-13 UNC STAINLESS STEEL BOLTS. THE HEAVY DUTY FRAME MH COVER SHALL BE SOLID (NO AIR HOLES). SAID FRAME SHALL BE BOTH EMBEDDED INTO THE MH'S TOP ALSO SECURELY ANCHORED TO THE UNDERLYING MH STRUCTURE WITH EITHER SECURELY ATTACHED EMBEDDED ANCHOR BOLTS OR THE CONCRETE MH'S EXPOSED REBARS WELDED TO THE FRAME OR OTHER EQUALLY SECURED METHODS TO PREVENT MH COVER/FRAME BLOW-OFFS/EJECTIONS.

WATER NOTES:

- 1. WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF HOUSTON INFRASTRUCTURE DESIGN MANUAL, STANDARD SPECIFICATION, STANDARD SPECIFICATION, AND CONSTRUCTION
- 2. ALL 4" THROUGH 12" WATER LINE TO BE AWWA C-900 PVC DR-18 BLUE PRESSURE RATED WATER MAIN WITH 2" AND SMALLER WATER SERVICE LINE TO BE CONTINUOUS TYPE K COPPER TUBING PER COH STANDARD SPECIFICATION SECTION 02503. ALL 4" THRU 54" DI PIPE WATER LINES SHALL BE AWWA C151 WITH INSIDE LINING WITH AWWA C104 AND DOUBLE WRAPPED WITH 8-MIL POLYETHYLENE SHEETS.
- CONCRETE THRUST BLOCKS SHALL BE PROVIDED AS NECESSARY TO PREVENT PIPE MOVEMENT. USE RESTRAINED JOINTS WHERE PREVENTING MOVEMENT OF 16" OR GREATER PIPE IS NECESSARY DUE TO THRUST.
- ALL WATERLINE UNDER PROPOSED OR FUTURE PAVING AND TO A POINT OF ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE ENCASED IN BANK SAND TO 12" OVER PIPE AND BACKFILLED WITH CEMENT STABILIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE.
- 5. ALL WATER LINE AND SEWER LINE CROSSINGS SHALL BE CONSTRUCTED PER CITY OF HOUSTON AND TCEQ
- 6. ALL WATER VALVES SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA C-500 AND SHALL BE OF THE RESILIENT SEAT TYPE.
- 7. ALL WATER LINES TO BE DISINFECTED IN CONFORMANCE WITH AWWA C-651 AND THE TEXAS STATE DEPARTMENT OF HEALTH. AT LEAST ONE BACTERIOLOGICAL SAMPLE SHALL BE COLLECTED FOR EVERY 1,000 LINEAR FEET OF WATER LINE AND SHALL BE REPEATED IF CONTAMINATION PERSISTS.
- 8. ALL BELOW GRADE VALVES SHALL BE GASKETED, HUB-END GATE VALVES WITH A CAST IRON BOX, EXCEPT WHERE FLANGES ARE CALLED OUT ON THE PLANS.
- ANSI A21.53, OR PUSH ON FITTINGS PER ANSI A21.10 PRESSURE RATED AT 250 PSIG. 10. HYDROSTATIC TESTING: ALL WATER PIPE SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LATEST CITY OF HOUSTON STANDARD CONSTRUCTION SPECIFICATIONS. TESTS ARE TO BE PERFORMED ON THE ENTIRE

9. 4" THRU 12" FITTINGS SHALL BE CEMENT MORTAR LINED COMPACT DUCTILE IRON PRESSURE FITTINGS PER

- 11. ALL WATER LINES TO HAVE 4' MINIMUM COVER TO FINISHED GRADE AND MINIMUM 12" CLEARANCE TO OTHER UTILITIES AT CROSSING UNLESS OTHERWISE NOTED ON PLANS. ALL WATER LINE INSTALLED OVER 8' DEEP SHALL UTILIZE RESTRAINED JOINT FITTINGS.
- 12. CONTRACTOR SHALL KEEP WATER PIPE CLEAN AND CAPPED (OR OTHERWISE EFFECTIVELY COVERED) OPEN PIPE ENDS TO EXCLUDE INSECTS, ANIMALS OR OTHER SOURCES OF CONTAMINATION FROM UNFINISHED PIPE LINES AT TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS

STREET AND BRIDGE CONSTRUCTION NOTES:

- 1. FILL AREAS ON PLANS SHALL BE FILLED IN LAYERS NOT EXCEEDING 8" IN DEPTH AND EACH COMPACTED TO NOT LESS THAN 95% STANDARD PROCTOR DENSITY PRIOR TO INSTALLATION OF WATER LINE AND FILL AREA SHALL BE SEEDED AND FERTILIZED WITHIN 10 WORKING DAYS.
- 2. UTILITY CONTRACTOR SHALL PROVIDE TEMPORARY SILT BARRIER FENCE ON ALL NON-CURBED INLETS WHICH WILL REMAIN IN PLACE AFTER UNDERGROUND CONTRACT IS COMPLETE.
- 3. CONTRACTOR SHALL PROVIDE SILT BARRIER FENCE ON ALL STAGE 1 CURB INLETS.
- 4. EXISTING PAVEMENTS, CURBS, DRIVEWAYS, AND SIDEWALKS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO CITY OF HOUSTON STANDARDS, WITH LATEST ADDENDA AND AMENDMENTS THERETO.
- CONDITION OF THE ROAD AND/OR RIGHT-OF-WAY UPON COMPLETION OF JOB SHALL BE AS GOOD AS OR BETTER THAN PRIOR TO STARTING WORK.
- 6. EXPOSED 15" OF REINFORCING STEEL AT PROPOSED SAWED JOINT IF NO REINFORCING STEEL EXISTS, USE HORIZONTAL DOWELS. HORIZONTAL DOWELS SHALL BE #6 BARS 24" LONG 24" C-C DRILLED AND EMBEDDED 8" INTO THE CENTER OF THE EXISTING SLAB WITH "PO ROC" OR EQUAL.
- 7. WHEELCHAIR RAMPS SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF HOUSTON STANDARDS AT ALL INTERSECTIONS WHERE SIDEWALKS EXIST AND THE EXISTING CURB OR SIDEWALK IS DAMAGED OR REMOVED
- PRIOR TO STREET CONSTRUCTION, THE CONTRACTOR SHALL CONTACT HOUSTON PUBLIC WORKS AT (PHONE) 832-394-9578 AND COMPLY WITH ALL REQUIREMENTS FOR THE ISSUANCE OF NECESSARY PERMITS/WORK ORDERS FOR STREET CONSTRUCTION.
- DOUBLE REFLECTORIZED BLUE TRAFFIC MARKERS SHALL BE PLACED 6-INCHES OFFSET OF THE CENTERLINE OF ALL FIRE HYDRANT LOCATIONS BY THE PAVING CONTRACTOR. HYDRANTS LOCATED AT INTERSECTIONS SHALL HAVE A BUTTON PLACED ON EACH STREET.

CAUTION: UNDERGROUND GAS FACILITIES:

LOCATIONS OF CENTERPOINT ENERGY MAIN LINES (TO INCLUDE CENTERPOINT ENERGY INTRASTATE PIPELINE, LLC. WHERE APPLICABLE) ARE SHOWN IN AN APPROXIMATE LOCATION ONLY. SERVICE LINES ARE USUALLY NOT SHOWN. OUR SIGNATURE ON THESE PLANS ONLY INDICATES THAT OUR FACILITIES ARE SHOWN IN APPROXIMATE LOCATION. IT DOES NOT IMPLY THAT A CONFLICT ANALYSIS HAS BEEN MADE

THE CONTRACTOR SHALL CONTACT THE UTILITY COORDINATING COMMITTEE AT 1-800-545-6005 OR 811 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE MAIN AND SERVICE LINES FIELD LOCATED.

- WHEN CENTERPOINT ENERGY PIPE LINE MARKINGS ARE NOT VISIBLE, CALL (713) 207-5463 OR (713) 945-8037 (7:00 A.M. TO 4:30 P.M.) FOR STATUS OF LINE LOCATION REQUEST BEFORE EXCAVATION BEGINS.
- WHEN EXCAVATING WITHIN EIGHTEEN INCHES (18") OF THE INDICATED LOCATION OF CENTERPOINT ENERGY FACILITIES, ALL EXCAVATION MUST BE ACCOMPLISHED USING NON-MECHANIZED EXCAVATION PROCEDURES.
- WHEN CENTERPOINT ENERGY FACILITIES ARE EXPOSED, SUFFICIENT SUPPORT MUST BE PROVIDED TO THE FACILITIES TO PREVENT EXCESSIVE STRESS ON THE PIPING.
- FOR EMERGENCIES REGARDING GAS LINES CALL (713) 659-3552 OR (713) 207-4200.
- THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND FACILITIES.

WARNING: OVERHEAD ELECTRICAL LINES:

OVERHEAD LINES MAY EXIST ON THE PROPERTY. WE HAVE NOT ATTEMPTED TO MARK THOSE LINES SINCE THEY ARE CLEARLY VISIBLE, BUT YOU SHOULD LOCATE THEM PRIOR TO BEGINNING ANY CONSTRUCTION, TEXAS LAW SECTION 752, HEALTH & SAFETY CODE, FORBIDS ACTIVITIES THAT OCCUR IN CLOSE PROXIMITY TO HIGH VOLTAGE LINES, SPECIFICALLY

- ANY ACTIVITIES WHERE PERSON OR THINGS MAY COME WITHIN SIX(6) FEET OF LIVE OVERHEAD HIGH VOLTAGE
- OPERATING A CRANE, DERRICK, POWER SHOVEL, DRILLING RIG, PILE DRIVER, HOISTING EQUIPMENT, OR SIMILAR APPARATUS WITHIN 10 FEET OF LIVE OVERHEAD HIGH VOLTAGE LINES.

PARTIES RESPONSIBLE FOR THE WORK, INCLUDING CONTRACTORS ARE LEGALLY RESPONSIBLE FOR THE SAFETY OF CONSTRUCTION WORKERS UNDER THIS LAW. THIS LAW CARRIES BOTH CRIMINAL AND CIVIL LIABILITY. TO ARRANGE FOR LINES TO BE TURNED OFF OR REMOVED, CALL CENTERPOINT ENERGY AT (713) 207-2222.

ACTIVITIES ON OR ACROSS CENTERPOINT ENERGY FEE OR EASEMENT PROPERTY:

NO APPROVAL TO USE, CROSS OR OCCUPY CENTERPOINT FEE OR EASEMENT PROPERTY IS GIVEN. IF YOU NEED TO USE CENTERPOINT PROPERTY, PLEASE CONTACT OUR SURVEYING & RIGHT OF WAY DIVISION AT (713) 207-6348 OR (713) 207-5769.

AT&T TEXAS/SWBT FACILITIES:

TEXAS/SWBT FACILITIES.

- 1. THE LOCATIONS OF AT&T TEXAS/SWBT FACILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THIS FAILURE TO EXACTLY LOCATE AND PRESERVE THESE UNDERGROUND UTILITIES.
- 2. THE CONTRACTOR SHALL CALL 1-800-344-8377 A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION TO HAVE UNDERGROUND LINES FIELD LOCATED.
- WHEN EXCAVATING WITHIN EIGHTEEN INCHES (18") OF THE INDICATED LOCATION OF AT&T TEXAS/SWBT FACILITIES. ALL EXCAVATIONS MUST BE ACCOMPLISHED USING NON-MECHANIZED EXCAVATION PROCEDURES. WHEN BORING, THE CONTRACTOR SHALL EXPOSE THE AT&T TEXAS/SWBT FACILITIES.
- WHEN AT&T TEXAS/SWBT FACILITIES ARE EXPOSED. THE CONTRACTOR WILL PROVIDE SUPPORT TO PREVENT DAMAGE TO THE CONDUIT DUCTS OR CABLES. WHEN EXCAVATING NEAR TELEPHONE POLES THE CONTRACTOR SHALL BRACE THE POLE FOR SUPPORT.
- FACILITIES SHOWN ON THESE PLAN DOES NOT MEAN THAT THERE ARE NO DIRECT BURIED CABLES OR OTHER CABLES IN CONDUIT IN THE AREA. PLEASE CONTACT THE AT&T TEXAS DAMAGE PREVENTION MANAGER MR. KEVIN RAY AT (713) 614-1983 OR

E-MAIL HIM AT KR7896@ATT.COM, IF THERE ARE QUESTIONS ABOUT BORING OR EXCAVATING NEAR OUR AT&T

THE PRESENCE OR ABSENCE OF AT&T TEXAS/SWBT UNDERGROUND CONDUIT FACILITIES OR BURIED CABLE

DOWNTOWN

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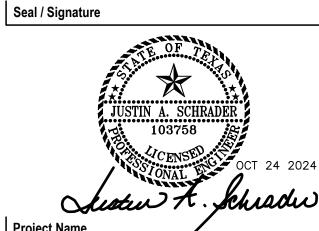
10260 Westheimer Road

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Description

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Project Number

1125-0001

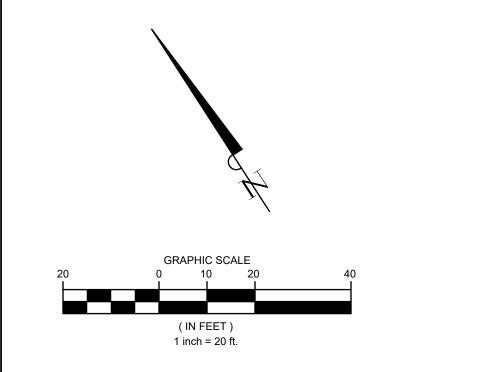
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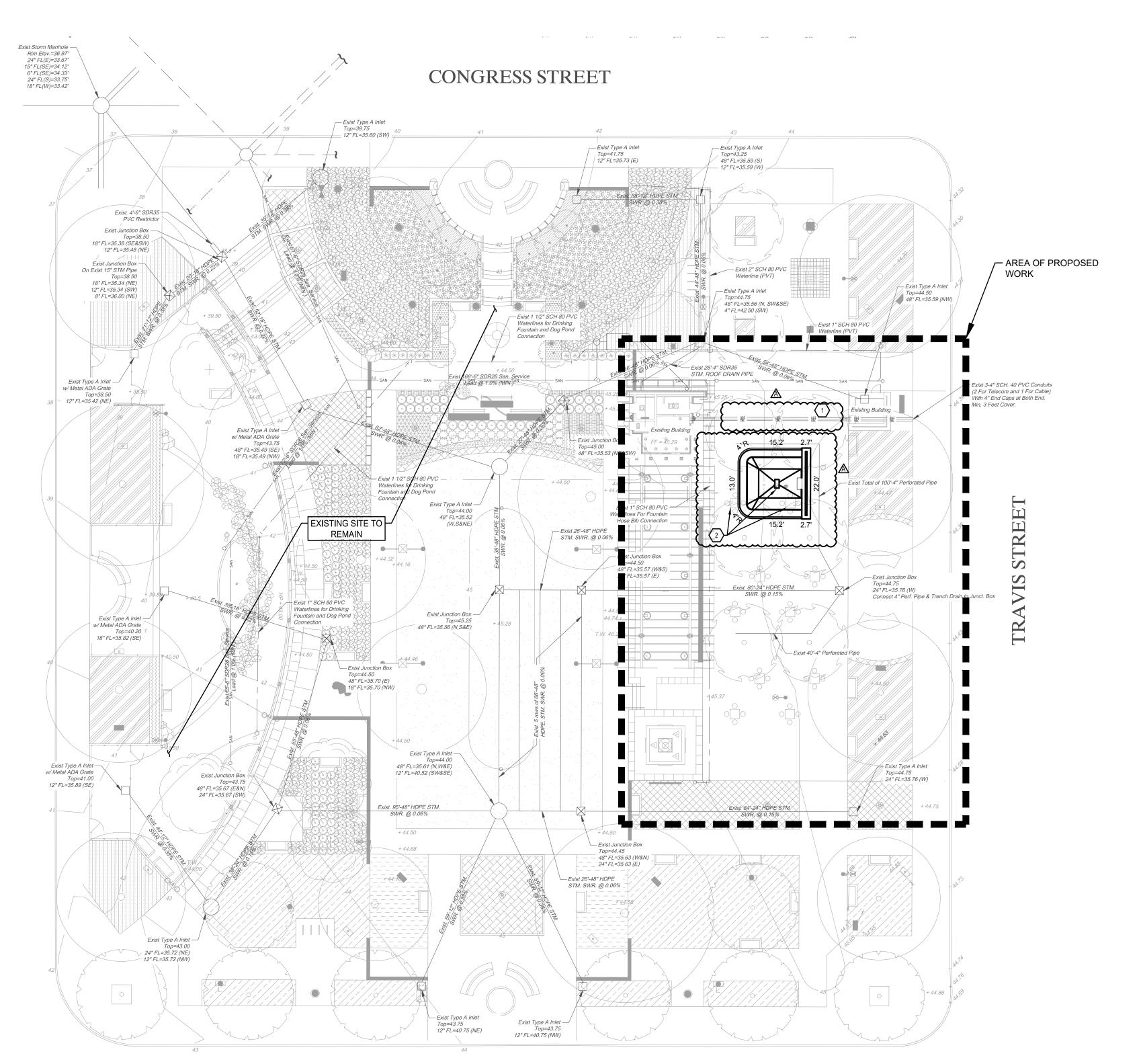
Scale

GENERAL NOTES

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N.T.S.





DEMOLITION NOTES

. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL

2. LOCATIONS OF PUBLIC AND PRIVATE UTILITIES SHOWN ARE APPROXIMATE AND MAY NOT BE COMPLETE. CONTRACTOR SHALL CALL 713-223-4567 AT LEAST 48 HOURS PRIOR TO COMMENCING DEMOLITION OR CONSTRUCTION ACTIVITIES. CONTRACTOR SHALL CONTACT ANY OTHER UTILITY COMPANIES WHO DO NOT SUBSCRIBE TO THE TEXAS ONE CALL PROGRAM FOR LINE MARKINGS. THE CONTRACTOR BEAR SOLE RESPONSIBILITY FOR VERIFYING LOCATIONS OF EXISTING UTILITIES, SHOWN OR NOT SHOWN, AND FOR ANY DAMAGES DONE TO THESE FACILITIES.

3. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS ARE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTORS RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK, IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR

ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE. BRACE. SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK. 4. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE

ATTENTION OF THE OWNER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.

5. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES AND APPROVED BY THE

6. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PER THE PLANS.

7. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT

8. ALL DEMOLITION WORK OR CONSTRUCTION VEHICLE TRAFFIC WITHIN 10 FEET OF THE CANOPY OF ANY TREE TO BE SAVED SHALL BE CLOSELY COORDINATED WITH TREE

9. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.

10. CONTRACTOR TO REMOVE FULL DEPTH OF PAVEMENT (ASPHALT AND CONCRETE). REFERENCE SURVEY FOR LIMITS OF PAVEMENT.

11. CONTRACTOR TO EPOXY ALL EXPOSED REBAR.

12. CONTRACTOR IS RESPONSIBLE FOR MANAGING STORM WATER RUNOFF WITHIN THE PROJECT AREA DURING CONSTRUCTION, INCLUDING PROVIDING MEASURES FOR TEMPORARY CONVEYANCE OF FLOW WHICH MAY CONSIST OF DIVERSION SWALES OR PUMPING OF WATER TO EXISTING STORM OUTFALL LOCATIONS FROM PROJECT AREA TO MATCH EXISTING DRAINAGE PATTERNS PER THE EXISTING CONDITIONS DRAINAGE AREA MAP.

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS

BENCHMARK:

RM 210045

- THE HORIZONTAL CONTROL FOR THE SURVEY IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), (2001 ADJ.).
- 2. ALL ELEVATIONS SHOWN THEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), (2001, ADJ).
- THE HORIZONTAL AND VERTICAL CONTROL FOR THE SURVEY IS BASED ON TROPICAL STORM ALLISON RECOVERY PROJECT (TSARP) REFERENCE MARK RM
- 4. ALL EXISTING ELEVATIONS ARE BASED OFF APPROVED PLANS DATED JANUARY 2010.

FLOOD STATEMENT:

THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF HOUSTON, HARRIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY NO. 480296, DATED JANUARY 6, 2017 INDICATES THAT THIS TRACT IS WITHIN ZONE "X" SHADED, AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE "X" UNSHADED AREAS OF MINIMAL FLOOD HAZARD, AS SHOWN ON MAP AND PANEL NO. 48201C0690N. THIS DETERMINATION HAS BEEN MADE BY SCALING THE PROPERTY ON THE ABOVE REFERENCED MAP AND IS NOT THE RESULT OF AN ELEVATION SURVEY. WARNING: IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FOOD HAZARD AREA, THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR OR ENGINEER.

SHEET NOTES

CONTRACTOR TO VERIFY LOCATION OF CENTERPOINT ENERGY, AT&T, AND OTHER UNDERGROUND UTILITIES. COORDINATE WITH UTILITY OWNERS FOR REMOVAL AND/OR RELOCATION OF UTILITIES IN ORDER TO CONSTRUCT THE PROPOSED STRUCTURE

CONTRACTOR TO REMOVE AND RELOCATE LIGHT POLES AND TABLES.

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Description

A 10.24.2024 ADDENDUM 2

1 10.01.2024 ISSUE FOR PERMIT

GENERAL NOTES

GENERAL NOTES

DIMENSIONS ARE TO FACE OF CURB UNLESS THERWISE NOTED.

2. ALL RADII 3' UNLESS OTHERWISE NOTED.

B. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.

4. SIDEWALKS TO HAVE A 5% MAXIMUM RUNNING SLOPE AND A 2% MAXIMUM CROSS SLOPE IN ACCORDANCE WITH

ADA REQUIREMENTS. 5. FIELD VERIFY ADA GRADES PRIOR TO PLACING PAVEMENT. CONTRACTOR SHALL CONSTRUCT ALL

ACCESSIBLE ROUTES IN ACCORDANCE WITH ADA

NECESSARY.

STANDARDS AND TAS 6. REF. IRRIGATION PLANS PRIOR TO PLACING PAVEMENT

7. CONTRACTOR TO ADJUST EXISTING SANITARY SEWER MANHOLES, STORM SEWER MANHOLES, ELECTRICAL MANHOLES, FIRE HYDRANTS, VALVE BOXES, WATER METERS, ETC. TO MATCH PROPOSED FINISHED GRADES IF

Seal / Signature

Market Square Park Kiosk **Improvements**

Project Number

Project Name

1125-0001

Description

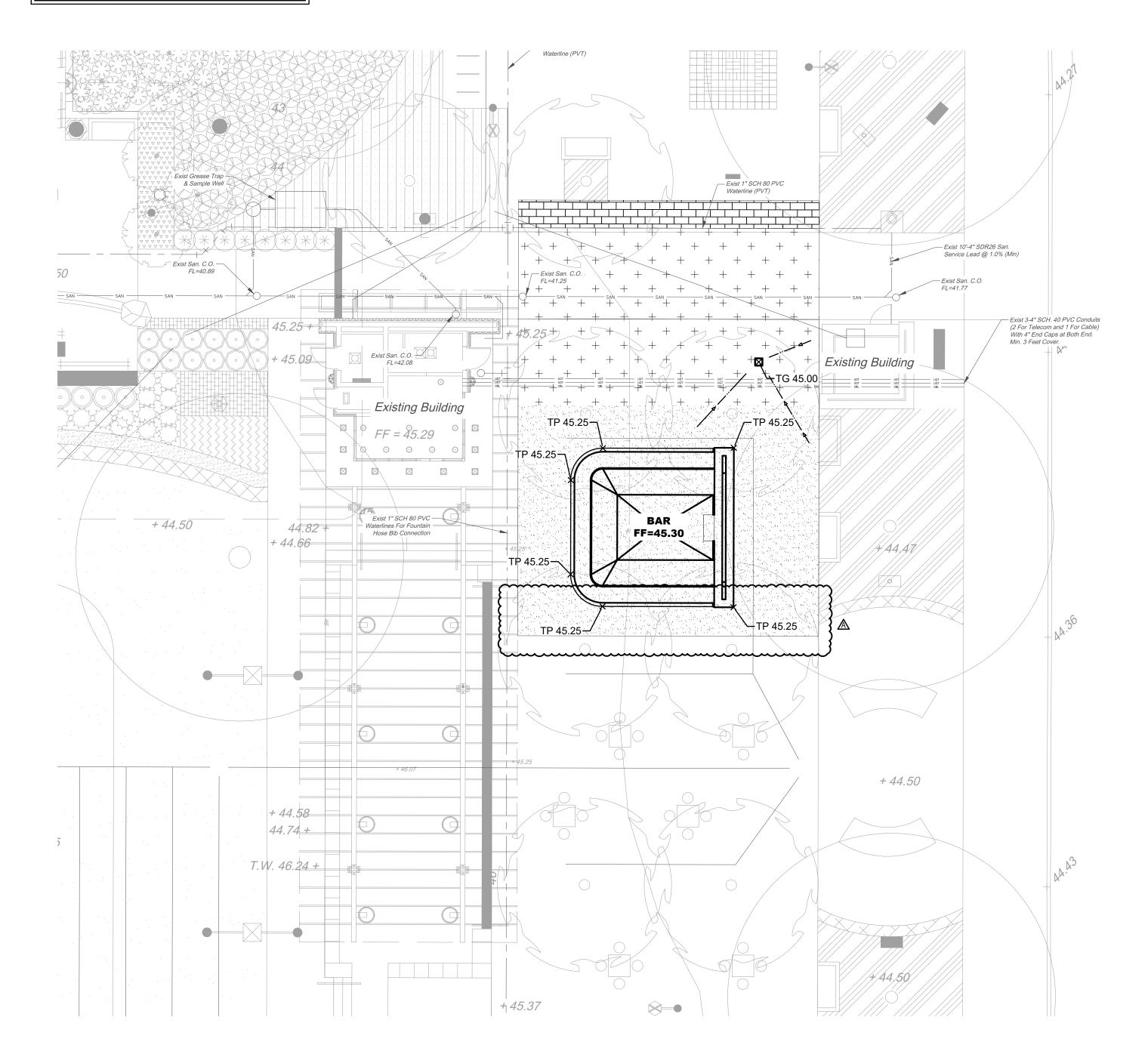
OVERALL SITE AND DEMOLITION PLAN

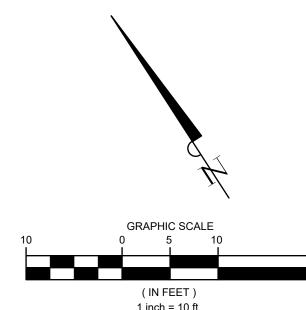
Scale

1"=20'

C3

LEGEND						
	DECOMPOSITE GRANITE					
+ +	CONCRETE PAVERS					
	OLD BRICK PAVING					





1 inch = 10 ft. PROPOSED SITE LEGEND TOP OF PAVEMENT TOP OF CURB GUTTER **BOTTOM OF WALL** FINISHED GRADE NATURAL GROUND TOP OF STAIR BOTTOM OF STAIR TOP OF WALK HIGH BANK WSEL WATER SURFACE ELEVATION FLOW LINE GRADE TO DRAIN

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

BENCHMARK:

- THE HORIZONTAL CONTROL FOR THE SURVEY IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), (2001 ADJ.).
- 2. ALL ELEVATIONS SHOWN THEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), (2001, ADJ).
- 3. THE HORIZONTAL AND VERTICAL CONTROL FOR THE SURVEY IS BASED ON TROPICAL STORM ALLISON RECOVERY PROJECT (TSARP) REFERENCE MARK RM
- 4. ALL EXISTING ELEVATIONS ARE BASED OFF APPROVED PLANS DATED JANUARY 2010.

FLOOD STATEMENT:

OR ENGINEER.

THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF HOUSTON, HARRIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY NO. 480296, DATED JANUARY 6, 2017, INDICATES THAT THIS TRACT IS WITHIN ZONE "X" SHADED, AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE "X" UNSHADED AREAS OF MINIMAL FLOOD HAZARD, AS SHOWN ON MAP AND PANEL NO. 48201C0690N. THIS DETERMINATION HAS BEEN MADE BY SCALING THE PROPERTY ON THE ABOVE REFERENCED MAP AND IS NOT THE RESULT OF AN ELEVATION SURVEY. WARNING: IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FOOD HAZARD AREA, THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR

SHEET NOTES

GRADING NOTES

** CONTRACTOR SHALL MAINTAIN DRAINAGE DURING CONSTRUCTION AS TO NOT IMPACT ADJASCENT / NEIGHBORING PROPERTIES.

** ANY AREAS OF GRASS WITHIN THE CITY'S RIGHT OF WAY WHICH ARE DISTURBED OR DUG UP DURING CONSTRUCTION SHALL BE REPLACED WITH ST. AUGUSTINE OR GRASSS WHICH MATCHED THE GRASS REMOVED.

** ANY DRAINAGE TO EXISTING ROADS, DRIVEWAYS, SIDEWALKS, OR OTHER APPURTENANCES WITHIN THE CITY'S RIGHT OF WAY SHALL BE SAW CUT , REMOVED AND REPLACED WITH MATERIALS EQUAL TO OR SUPERIOR MATERIAL, AND MUST BE INSTALLED TO CITY STANDARDS.

** ALL SURFACE ORGANIC, TOPSOIL AND UNSUITABLE MATERIAL SHALL BE STRIPPED FROM ALL PROPOSED BUILDING AND PAVING AREAS.

** ALL TREE-STUMPS THAT ARE TO BE REMOVED SHALL BE DONE THOROUGHLY BY REMOVING ALL THE ROOTS AND FILLING UP THE VOID WITH SELECT FILL AND COMPACTED PRIOR TO CONSTRUCTION.

** PROOF ROLL THE SUBGRADE TO DETECT ANY WET, SOFT OR PUMPING AREAS, TREAT THESE AREAS WITH DRYING/STABILIZING AGENTS AS NECESSARY OR REMOVE & REPLACE THEM WITH SELECT FILL.

** COMPACT THE SUBGRADE TO A MINIMUM OF 95% OF ITS DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR COMPACTION TEST (ASTM D 698).

** ADDITIONAL FILL MATERIAL WITHIN THE BUILDING AREA SHOULD BE SILTY OR SANDY CLAY HAVING A PLASTICITY INDEX (PI) OF 10 - 20 & A LIQUID LIMIT OF 28 OR MORE. SILL MATERIALS SHOULD BE PLACED IN 6 TO 8 INCH LIFTS & COMPACTED AT OPTIMUM MOISTURE CONTENT TO 98% OF THEIR MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR COMPACTION TEST (ASTM D 698).

GENERAL NOTES

NOTE: CONTRACTOR TO REMOVE EXISTING GRANITE AND PAVERS AS SHOWN, REUSE AND REINSTALL EXISTING PAVERS ONCE PROPOSED UTILITIES HAVE BEEN INSTALLED. ANY DEBRIS RM 210045 NOT ABLE TO BE REUSED SHALL BE DISPOSED OF OFFSITE. NO SEPARATE PAY FOR MATERIAL DISPOSAL.

> SEE LANDSCAPE PLANS FOR HARDSCAPE DETAILS.

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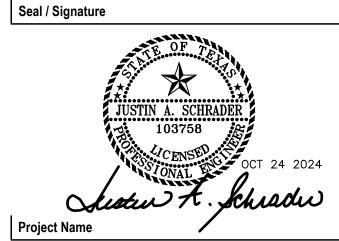
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△ Date Description

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Market Square Park Kiosk Improvements

Project Number

Description

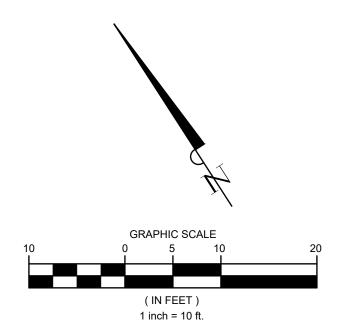
1125-0001

GRADING & PAVING PLAN

Scale

1" = 10'

C4



LEGEND

TOP OF PAVEMENT

MATCH EXISTING PAVEMENT

PROPOSED STORM INLET

PROPOSED WATER METER

PROPOSED FIRE HYDRANT

PROPOSED STORM SEWER

PROPOSED STORM SEWER

PROPOSED JUNCTION BOX

PROPOSED CLEAN OUT

PROPOSED MANHOLE

(12" - 18" DIAMETER)

(24" - 48" DIAMETER)

PROPOSED RIP RAP

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL

NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

BENCHMARK:

PROPOSED TS&V

PROPOSED BACKFLOW PREVENTER

PROPOSED CURB INLET

TOP OF GRATE

TOP OF CURB

GUTTER

TC

G

TP

TG

MEP

— Exist Type A Inlet Top=44.50 48" FL=35.59 (NW) *{|*|*|*|*|*|*|*| + 44.50 STM. ROOF DRAIN PIPE -PROP. 10 LF. 12" HDPE @ 0.44% PROP. LANDSCAPE INLET RIM ELEV=45.00 - Exist 3-4" SCH. 40 PVC Conduits 12" HDPE FL(NE,SW) : 40.00' (2 For Telecom and 1 For Cable) With 4" End Caps at Both End. Min. 3 Feet Cover. + 45.09 Existing Building UGT UGT UGT UGT UGT CBL CBL CBL PROP. 24 LF. 12" Existing Building HDPE @ 0.44% (Top=45.00 48" FL=35.53 (NE&SW) + 44.50 44.82 + FF=45.30 /+/44,47 Exist 26'-48" HDPE STM. SWR. @ 0.06% 48" FL=35.57 (W&S) - 24" FL=35.57 (E) Exist Junction Box Top=44.75 24" FL=35.76 (W) Connect 4" Perf. Pipe & Trench Drain to Junct. Box + 44.50 Exist Junction Box 48" FL=35.56 (N,S&E) + 45.25 — Exist 40'-4" Perforated Pipe /+/44,50/ + 45.37

24" FL=35.76 (W)

Exist Type A Inlet — Top=44.00 .=35.61 (N,W&E)

Exist Type A Inlet Top=44.75 48" FL=35.56 (N, SW&SE)

4" FL=42.50 (SW)

SHEET NOTES

KEYED NOTES CONTRACTOR TO FIELD VERIFY EXISTING STORM SEWER MANHOLE LOCATION AND ELEVATIONS PRIOR TO ANY CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

STORM SEWER STUB 5' FROM SLAB. SEE ARCHITECTURAL PLANS FOR DOWNSPOUT CONNECTION. SEE SHEET C10 FOR DOWNSPOUT DETAILS.

PROPOSED LANDSCAPE INLET. SEE SHEET DETAILS ON SHEET C10.

Gensler

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Description

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GENERAL NOTES

RM 210045

. ALL EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY BASED ON EXISTING TOPO FROM IFC SET AND THE BEST AVAILABLE INFORMATION.

. ALL PRIVATE STORM PIPING MATERIAL SHALL BE H.D.P.E. PIPE. ALL PUBLIC STORM PIPING MATERIAL SHALL BE R.C.P.

4. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY CITY OF HOUSTON PRIOR TO STARTING CONSTRUCTION.

JTILITY AND/OR CULVERTS WITHIN THE RIGHT OF WAY. PAVEMENTS, CURBS, DRIVEWAYS AND SIDEWALKS

OF HOUSTON PRIOR TO STARTING CONSTRUCTION OF

4. ALL EXISTING ELEVATIONS ARE BASED OFF APPROVED PLANS DATED JANUARY 2010.

THE HORIZONTAL CONTROL FOR THE SURVEY IS REFERENCED TO THE NORTH AMERICAN DATUM OF

REFERENCED TO THE NORTH AMERICAN VERTICAL

THE HORIZONTAL AND VERTICAL CONTROL FOR THE

RECOVERY PROJECT (TSARP) REFERENCE MARK RM

SURVEY IS BASED ON TROPICAL STORM ALLISON

FLOOD STATEMENT:

OR ENGINEER.

1983 (NAD83), (2001 ADJ.).

2. ALL ELEVATIONS SHOWN THEREON ARE

DATUM OF 1988 (NAV88), (2001, ADJ).

THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF HOUSTON, HARRIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY NO. 480296, DATED JANUARY 6, 2017, INDICATES THAT THIS TRACT IS WITHIN ZONE "X" SHADED, AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE "X" UNSHADED AREAS OF MINIMAL FLOOD HAZARD, AS SHOWN ON MAP AND PANEL NO. 48201C0690N. THIS DETERMINATION HAS BEEN MADE BY SCALING THE PROPERTY ON THE ABOVE REFERENCED MAP AND IS NOT THE RESULT OF AN ELEVATION SURVEY. WARNING: IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FOOD HAZARD AREA, THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR

. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF NY DISCREPANCIES FOUND.

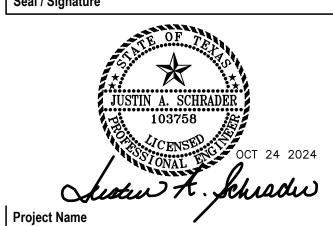
. OWNER TO OBTAIN ALL PERMITS REQUIRED BY THE CITY

EXISTING PRIVATE AND PUBLIC GREEN AREAS, UTILITIES, DAMAGED OR REMOVED DURING CONSTRUCTION OR AS A RESULT OF CONSTRUCTION SHALL BE REPLACED TO THE CITY OF HOUSTON STANDARDS.

DOWNSPOUT DRAINAGE NOTE:

PROPOSED HOUSES.

DOWNSPOUTS SHALL BE CONNECTED TO SUBSURFACE DRAINAGE SYSTEM. ADDITIONAL AREA DRAINS MAY BE INSTALLED TO IMPROVE DRAINAGE COLLECTION AROUND Seal / Signature



Market Square Park Kiosk **Improvements**

Project Number

1125-0001

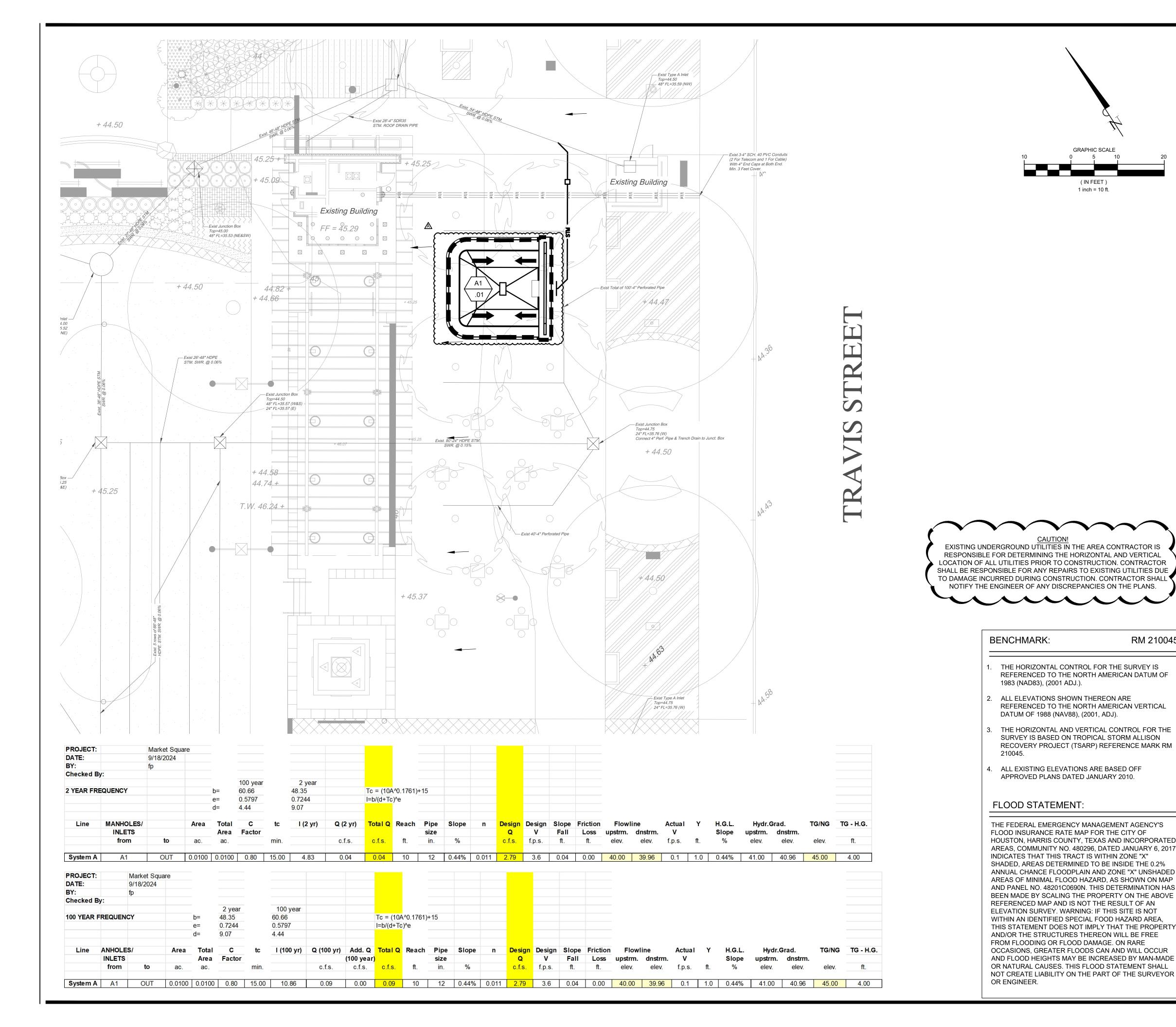
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STORM SEWER PLAN

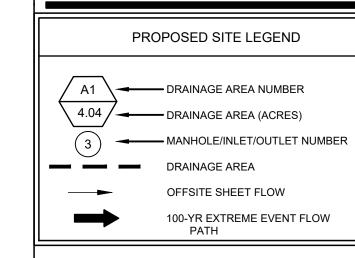
Scale

1"=10'

C5



SHEET NOTES



REDEVELOPMENT NOTE:

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AS SHOWN ON TOPOGRAPHIC SURVEY PRIOR TO STARTING CONSTRUCTION. IF THERE IS ANY DISCREPANCY, NOTIFY ENGINEER IMMEDIATELY.

DOWNTOWN HOUSTON

301 MILAM ST, HOUSTON, TX 77002

Gensler

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Imeg Corp. 3700 W Sam Houston Pkwy S Suite 100 Houston, TX 77042 Tel 832.856.8064 Fax 816.842.6441



Tel 832.714.2568

C&T Design and Equipment Co. 9555 Baythorne Dr. Suite 200 Houston, TX 77041

Tel 713.682.6390

Description

1 10.01.2024 ISSUE FOR PERMIT

A 10.24.2024 ADDENDUM 2

GENERAL NOTES

BENCHMARK:

RM 210045

1. THE HORIZONTAL CONTROL FOR THE SURVEY IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), (2001 ADJ.).

(IN FEET)

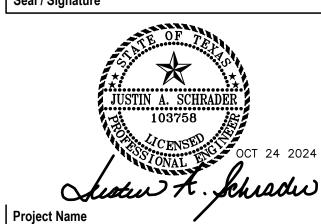
1 inch = 10 ft.

- 2. ALL ELEVATIONS SHOWN THEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), (2001, ADJ).
- 3. THE HORIZONTAL AND VERTICAL CONTROL FOR THE SURVEY IS BASED ON TROPICAL STORM ALLISON RECOVERY PROJECT (TSARP) REFERENCE MARK RM
- 4. ALL EXISTING ELEVATIONS ARE BASED OFF APPROVED PLANS DATED JANUARY 2010.

FLOOD STATEMENT:

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Seal / Signature



Market Square Park Kiosk Improvements

Project Number

1125-0001

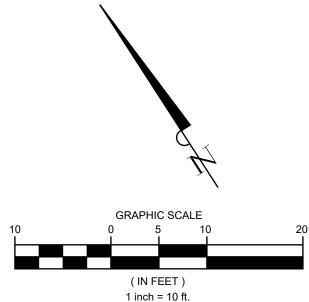
Description

DRAINAGE AREA MAP & CALCULATIONS

Scale

1"=10'

C6



NOTE:

CONTRACTOR TO COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING FOR PLACEMENT OF ANY CONDUITS NEEDED. SEE MEP PLANS. I.E. KIOSK/BAR LIGHTING, TREE/LANDSCAPING/HARDSCAPE LIGHTING, ETC.

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

BENCHMARK:

RM 210045

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SHEET NOTES

KEYED NOTES CONTRACTOR TO FIELD VERIFY EXISTING 8" WATER LINE LOCATION $\overline{\left(1\right)}$ PRIOR TO ANY CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.

- CENTER 1-FULL SECTION, TYPE K COPPER TUBING WATER LINE ON PROPOSED SANITARY SEWER WITH RESTRAINED JOINTS AT THE END.
- PROVIDE WATER LINE STUB 5' FROM 3 BUILDING. SEE MEP PLANS FOR CONTINUATION.
- CONTRACTOR TO VERIFY WATER LINE DEPTH AND OFFSET IF FLOWLINE CONFLICT.
- CONTRACTOR TO FIELD VERIFY EXISTING SANITARY SEWER LOCATION AND ELEVATIONS PRIOR TO ANY CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER. CENTER 1-FULL SECTION OF SANITARY
- SEWER PIPE SDR 26 PVC, 160 PSI RATED, CENTERED OVER PROPOSED WATER LINE. INSTALL SANITARY CLEAN OUT. SEE
- CONTRACTOR TO VERIFY IF EXISTING CLEANOUT IS A ONE WAY CLEANOUT AND REPLACE WITH A TWO CLEANOUT.

DETAIL SHEET C10.

DOWNTOWN

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Infinity MEP+S

Suite 400

10260 Westheimer Road



Imeg Corp. 3700 W Sam Houston Pkwy S Suite 100 Houston, TX 77042





Tel 713.682.6390

Description

GENERAL NOTES

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CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND.

SANITARY SEWER LINES CROSSING WATER LINES ARE TO BE CASED (C-900 OR DUCTILE IRON) TO CITY OF HOUSTON SPECIFICATIONS.

. THE CITY OF HOUSTON IS TO BE NOTIFIED 48 HOURS PRIOR TO WATER AND SANITARY SEWER TAPS THAT ARE TO BE MADE. AN AUTHORIZED REPRESENTATIVE MUST INSPECT SAID TAPS.

5. ALL PRIVATE STORM PIPING MATERIAL SHALL BE H.D.P.E. PIPE. ALL PUBLIC STORM PIPING MATERIAL SHALL BE R.C.P. PIPE.

6. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY CITY OF HOUSTON PRIOR TO STARTING CONSTRUCTION.

. OWNER TO OBTAIN ALL PERMITS REQUIRED BY THE CITY OF HOUSTON PRIOR TO STARTING CONSTRUCTION OF UTILITY AND/OR CULVERTS WITHIN THE RIGHT OF WAY.

. WATER LINES 4" AND LARGER SHALL BE PVC PER AWWA C900, 3" AND SMALLER WATER LINES SHALL BE TYPE K COPPER TUBING.

1 10.01.2024 ISSUE FOR PERMIT

ProE Consulting

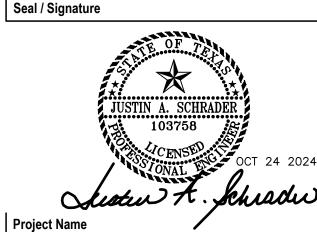
Suite 2808

1334 Brittmoore Rd.

Houston, TX 77043

Tel 832.714.2568

A 10.24.2024 ADDENDUM 2



Market Square Park Kiosk Improvements

Project Number

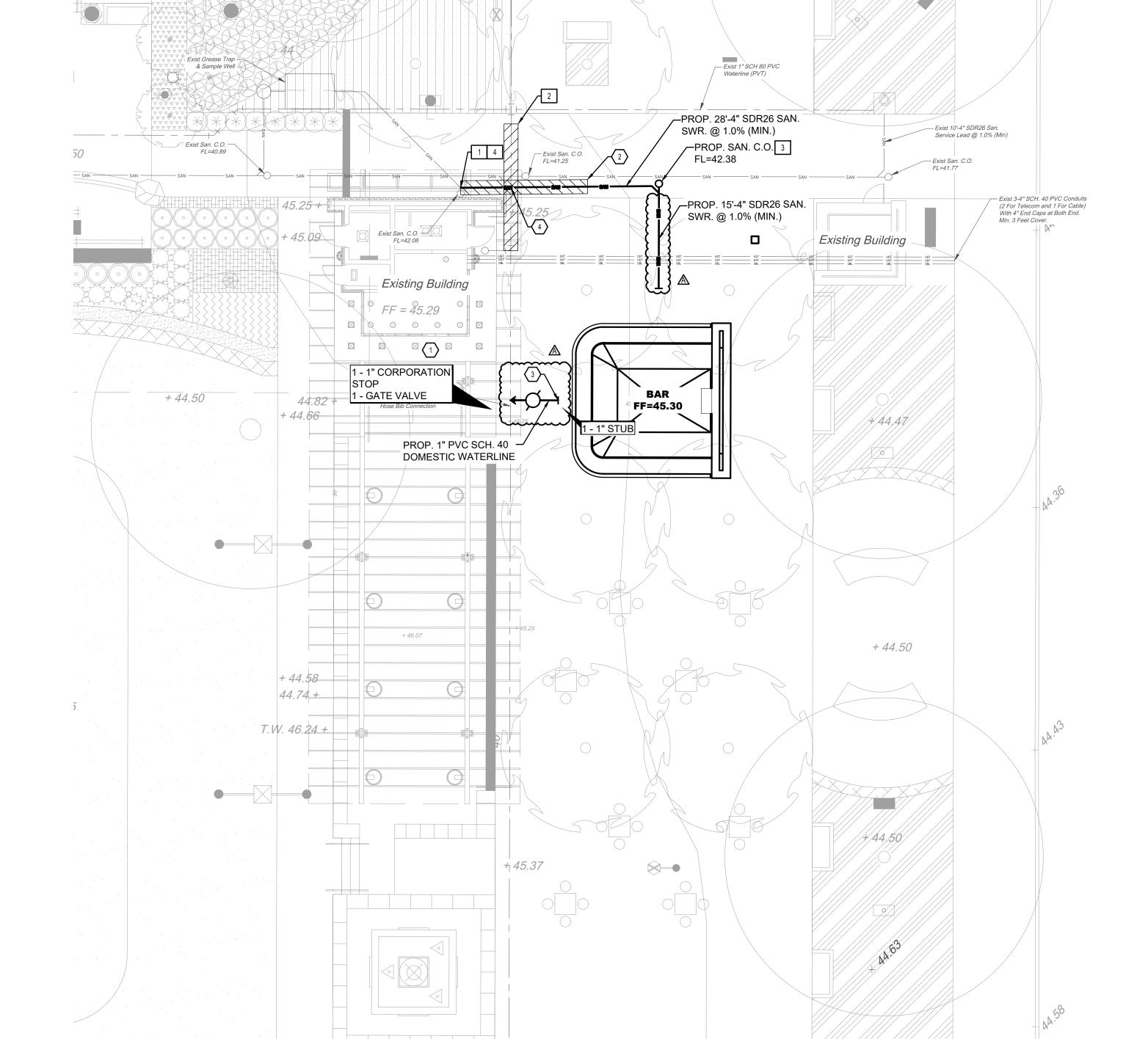
1125-0001

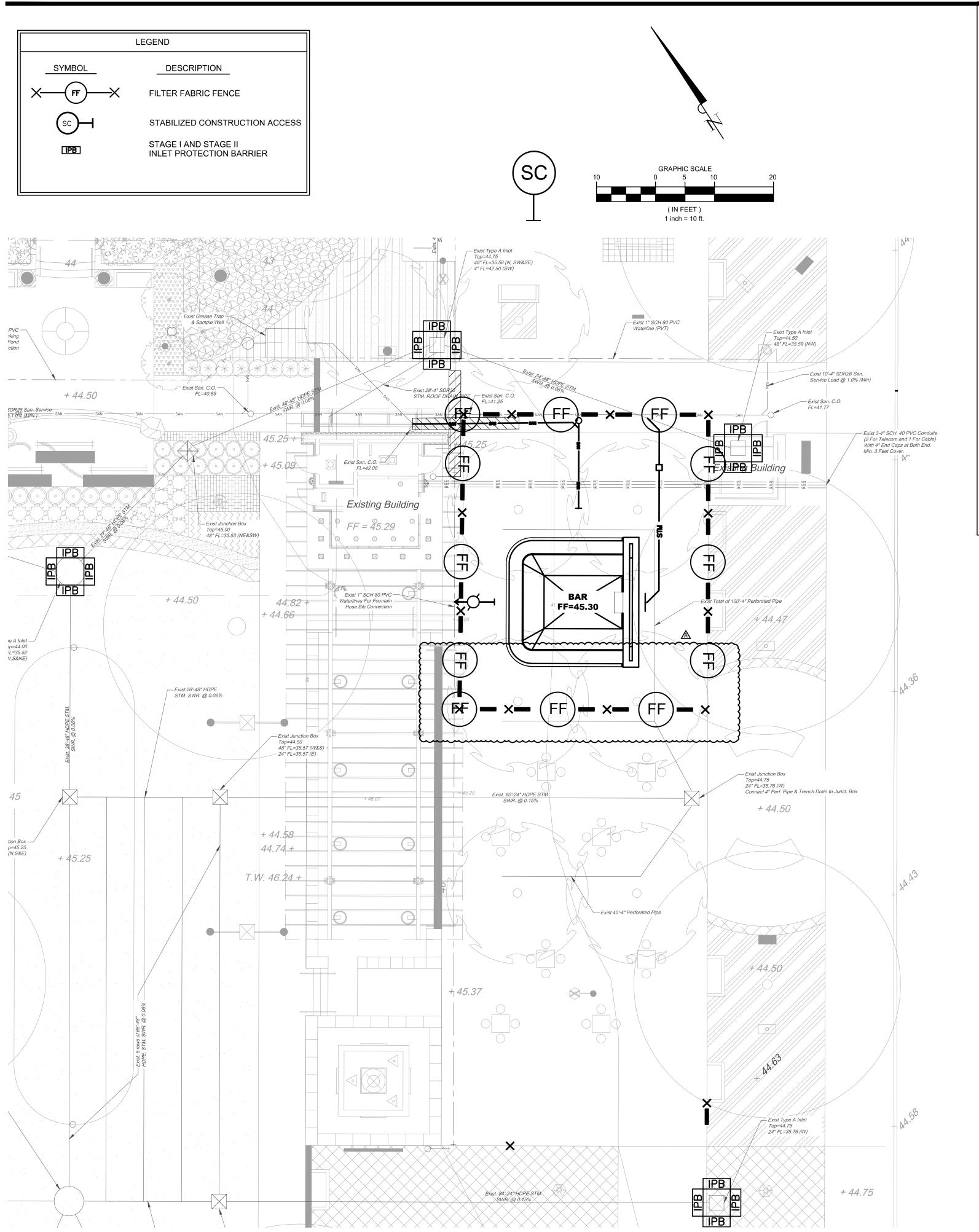
Description

UTILITY PLAN

Scale

1"=10'





STORM WATER POLLUTION PREVENTION NOTES

- SEDIMENT WILL BE RETAINED ON SITE TO THE MAXIMUM EXTENT PRACTICABLE.
- 2. CONTROL MEASURE WILL BE PROPERLY SELECTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICE. IF DAMAGED OR RENDERED INEFFECTIVE, THE EROSION AND SEDIMENT CONTROLS WILL BE REPAIRED OR REPLACED IMMEDIATELY
- 3. WHEN PUMPING (DEWATERING) STANDING STORM WATER FROM THE SITE, THE OPERATOR SHALL USE APPROPRIATE BEST MANAGEMENT PRACTICES (BMP'S) FROM THE STORM WATER MANAGEMENT HANDBOOK FOR CONSTRUCTION ACTIVITIES THAT ADDRESS DEWATERING ACTIVITIES. UNTREATED/DIRECT DISCHARGE INTO A STORM SEWER WILL NOT BE ALLOWED.
- 4. IF THE INTERIM PERIOD BETWEEN CONSTRUCTION OF UTILITIES AND STREET CONSTRUCTION WILL BE MORE THEN 21 DAYS, THE STREET RIGHT-OF-WAY WILL BE MULCHED OR OTHERWISE STABILIZED WITHIN THE 14 DAYS.
- 5. AFTER PAVING COMPLETION, NEWLY GRADED AREAS AND ALL EXPOSED SOILS WILL BE COMPLETELY STABILIZED.
- 6. CONTROL MEASURES WILL BE INSTALLED ALONG BACK OF CURB TO ADEQUATELY PREVENT SEDIMENT RUNOFF INTO STREETS ONCE PAVING COMPLETE.
- 7. CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE, UNLESS THEY ARE USING A PROPERLY DESIGNED AND DESIGNATED CONCRETE WASHOUT AREA.
- 8. EROSION AND SEDIMENT CONTROL MEASURES THAT HAVE BEEN IMPROPERLY INSTALLED OR HAVE BEEN DISABLED, RUN-OVER, REMOVED, OR OTHERWISE RENDERED INEFFECTIVE MUST BE REPLACED OR CORRECTED IMMEDIATELY.
- 9. MAINTENANCE AND REPAIRS WILL BE CONDUCTED WITHIN 24 HOURS OF INSPECTION REPORT

10. SEDIMENT WILL BE REMOVED FROM BEHIND THE FILTER FABRIC FENCE WHEN IT REACHES 1/3 THE HEIGHT OF THE FENCE.

11. SEDIMENT WILL BE REMOVED AROUND THE INLET BARRIERS AND DIKES WHEN THE STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED.

12.INSPECTIONS OF ALL BMP'S WILL BE CONDUCTED EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER; OR EVERY 7 CALENDAR DAYS.

13. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLANS WILL BE INSPECTED TO INSURE EFFECTIVE OPERATION.

14. THE SWPPP WILL BE AMENDED TO REPLACE INEFFECTIVE BMPS IDENTIFIED THROUGH INSPECTIONS WITHIN 7 DAYS OF IDENTIFYING THE DEFICIENCY.

15. REPORTS WILL INCLUDE WHAT MAINTENANCE WAS DONE AS A RESULT OF THE INSPECTION.

16. ALL LITTER, TRASH AND FLOATABLE DEBRIS WILL BE CONTAINED WITHIN THE SITE.

EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS

BENCHMARK:

RM 210045

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SHEET NOTES

DOWNTOWN HOUSTON

301 MILAM ST, HOUSTON, TX 77002

Gensler

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INFINITY Infinity MEP+S 10260 Westheimer Road Suite 400 Houston, TX 77042

Tel 713.429.4949



Tel 832.714.2568



Tel 713.682.6390

Description

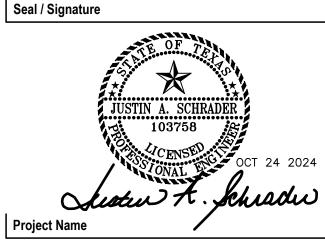
1 10.01.2024 ISSUE FOR PERMIT

A 10.24.2024 ADDENDUM 2

GENERAL NOTES

IMPORTANT NOTE:

THE OWNER-DEVELOPER, CONTRACTORS, **BUILDERS AND OTHERS PERFORMING WORK** ON THIS PROJECT SHALL COMPLY WITH THE TCEQ RULES REGARDING STORM WATER POLLUTION. ALL PAPERWORK REQUIRED BY THE TCEQ SHALL BE PRESENT ON THE JOB SITE AT ALL TIMES. IT'S SUGGESTED THAT THE REQUIRED PAPERWORK BE POSTED ON A "SIGN, POST OR BULLETIN BOARD" THAT WOULD BE READILY AVAILABLE FOR INSPECTION BY GOVERNMENTAL PERSONNEL. AS THE RESPONSIBILITY FOR POLLUTION PREVENTION IS PASSED FROM ONE PARTY TO ANOTHER, THE RESPONSIBLE PARTY SHOULD BE NOTED AND DISPLAYED, SO THAT IF A VIOLATION OCCURS, THE PROBABLE RESPONSIBLE PARTY CAN BE IDENTIFIED. CONTACT TCEQ FOR ANY CLARIFICATION OF REQUIREMENTS.



Market Square Park Kiosk **Improvements**

Project Number

1125-0001

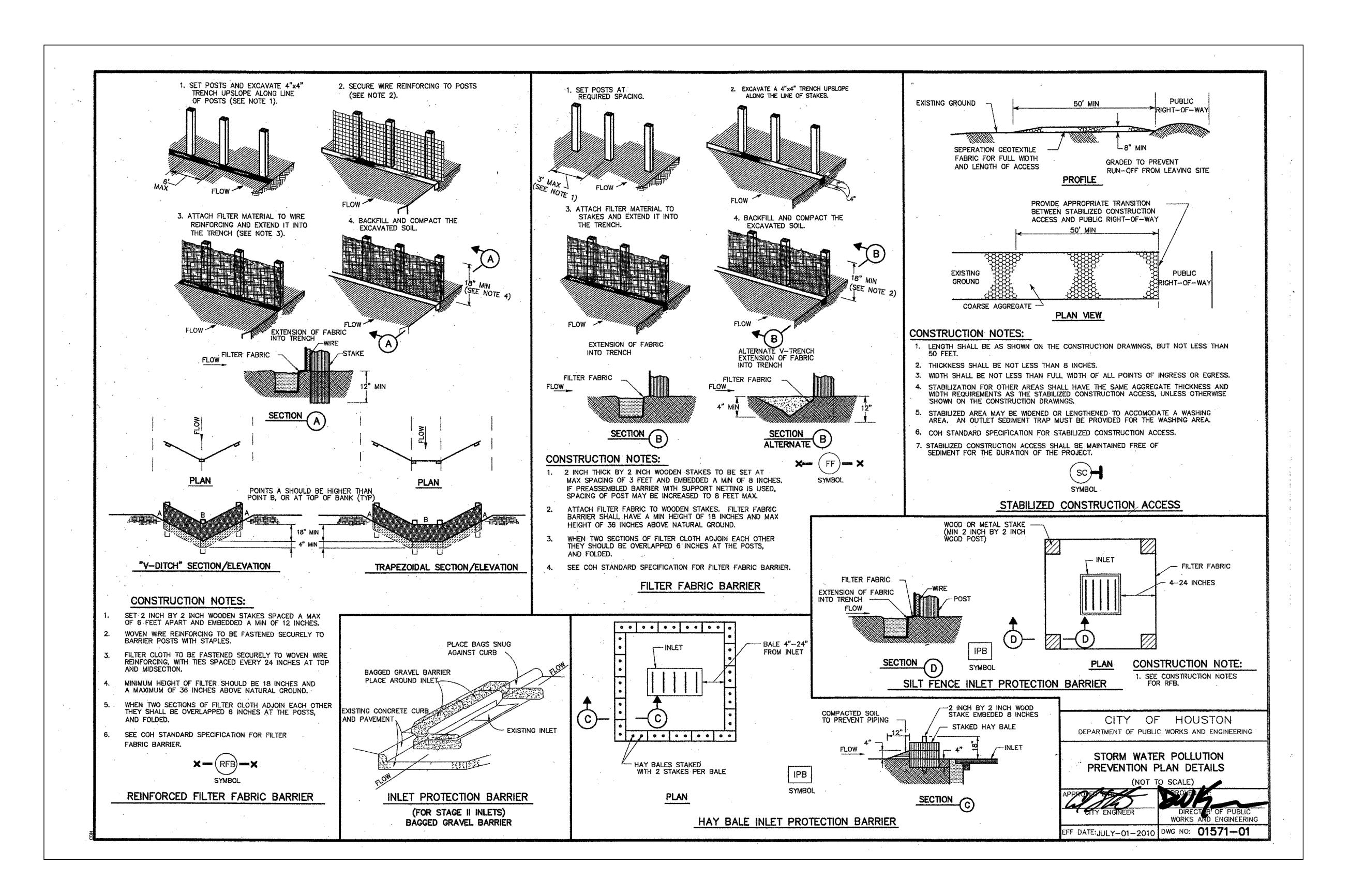
Description

STORM WATER POLLUTION PREVENTION PLAN

Scale

1"=10'

C8



DOWNTOWN HOUSTON

301 MILAM ST, HOUSTON, TX 77002

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9555 Baythorne Dr.

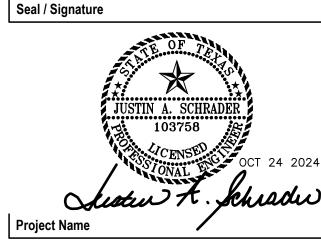
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Description

1 10.01.2024 ISSUE FOR PERMIT

A 10.24.2024 ADDENDUM 2



Market Square Park Kiosk **Improvements**

Project Number

1125-0001

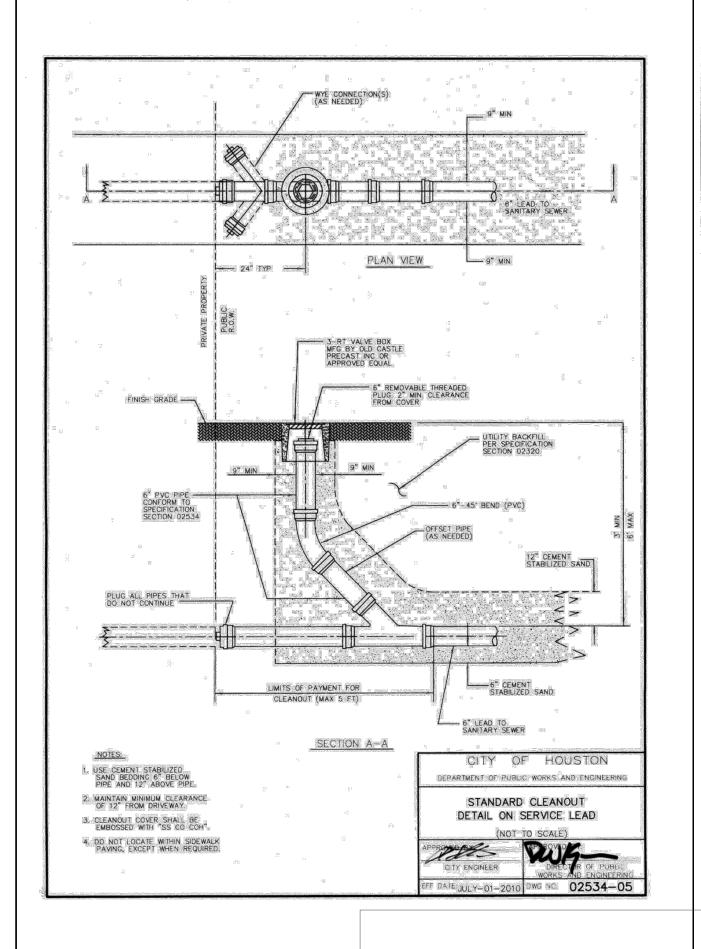
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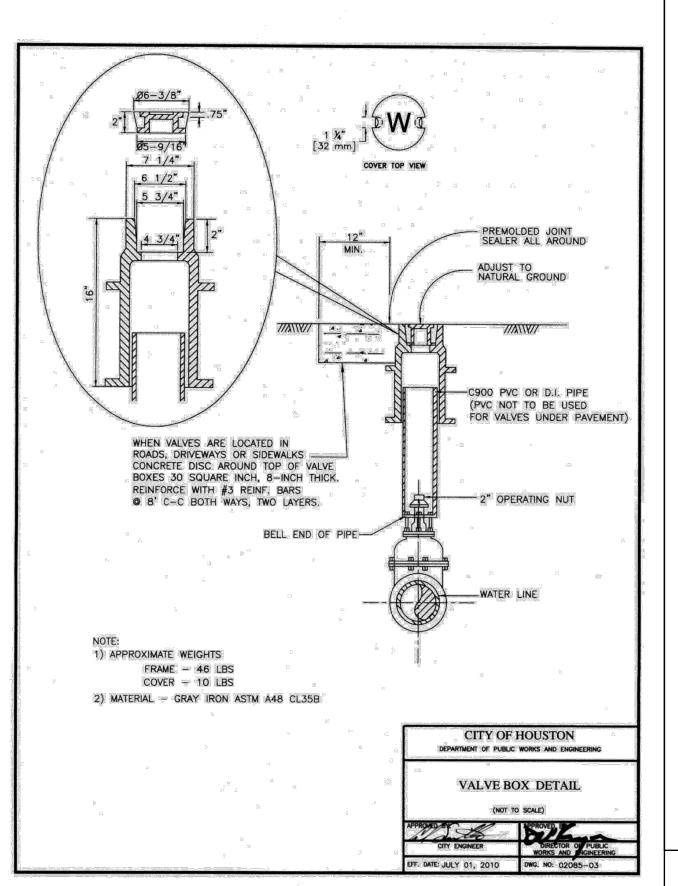
STORM WATER POLLUTION PREVENTION DETAILS

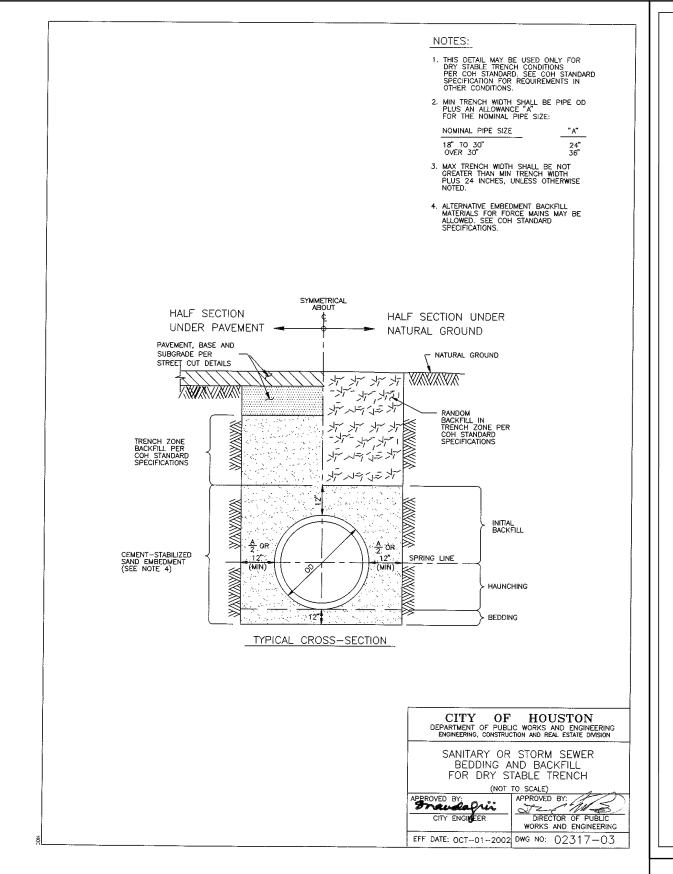
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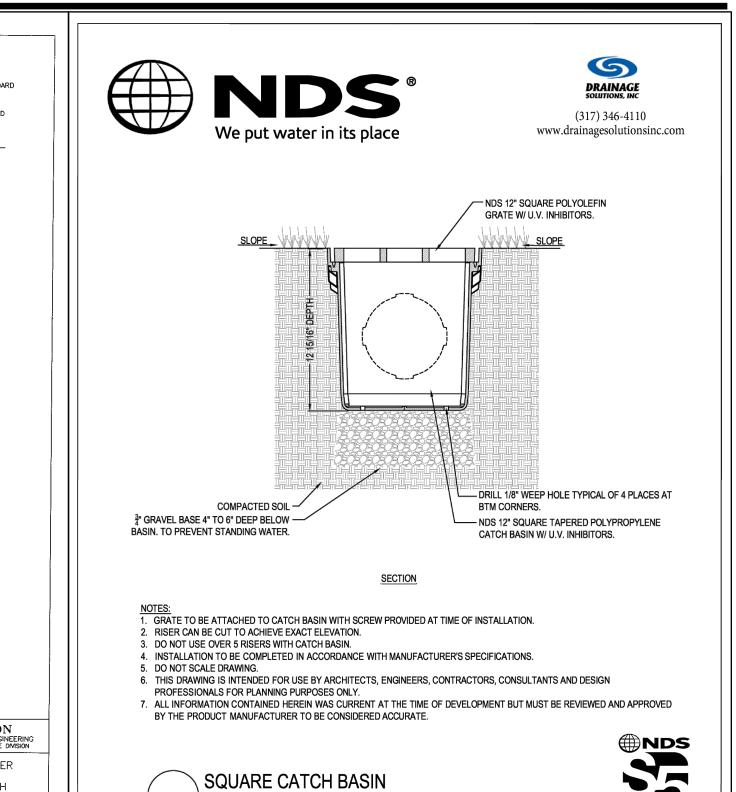
N.T.S.

C9

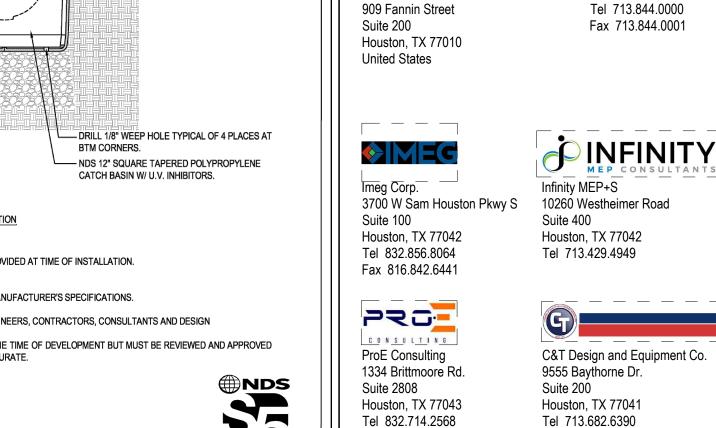








12" SQUARE CATCH BASIN - TYPICAL INSTALLATION FOR LANDSCAPE APPLICATIONS



REVISION DATE 8-24-2015

Description

1 10.01.2024 ISSUE FOR PERMIT

DOWNTOWN

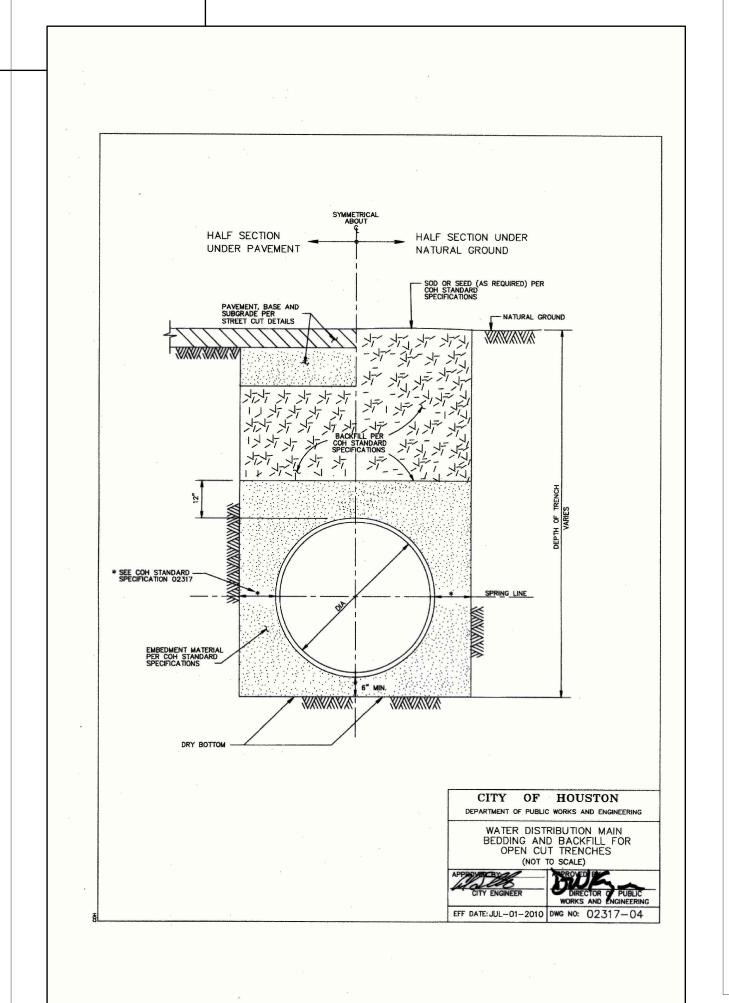
301 MILAM ST, HOUSTON, TX 77002

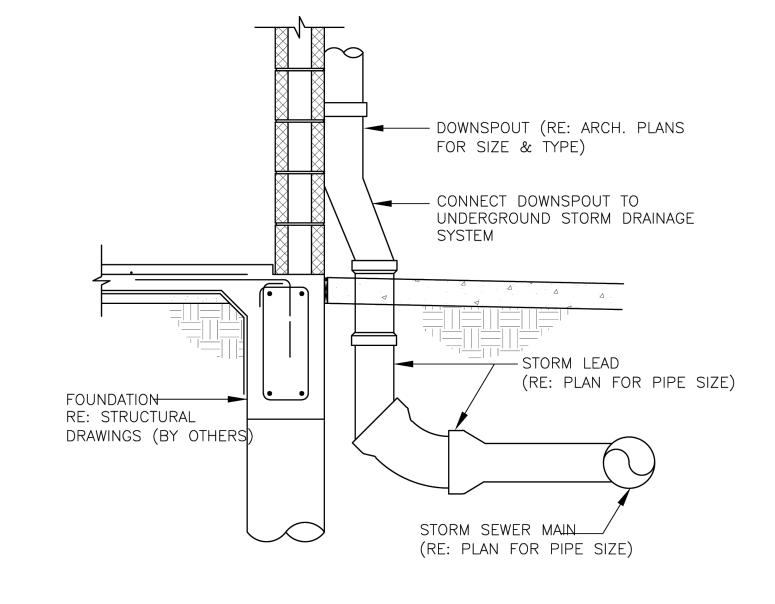
HOUSTON

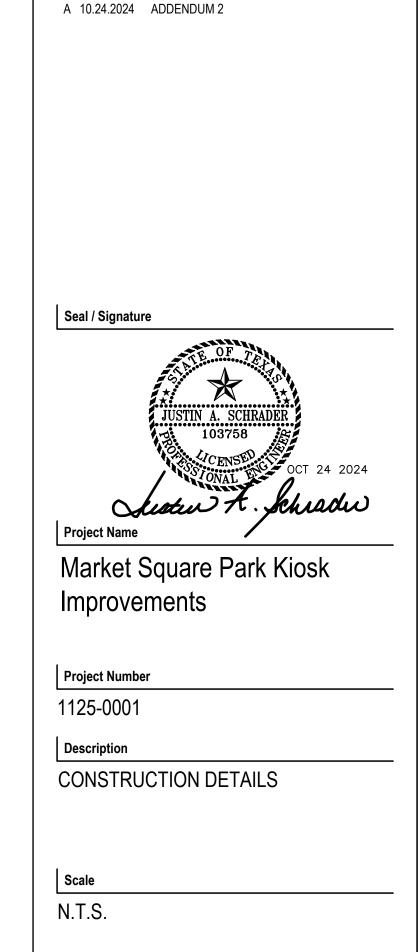
Gensler

·· WALL NATURAL--SUBSURFACE GROUND STORM SEWER

DOWNSPOUT DETAIL FOR CONNECTION TO SUBSURFACE DRAINAGE N.T.S

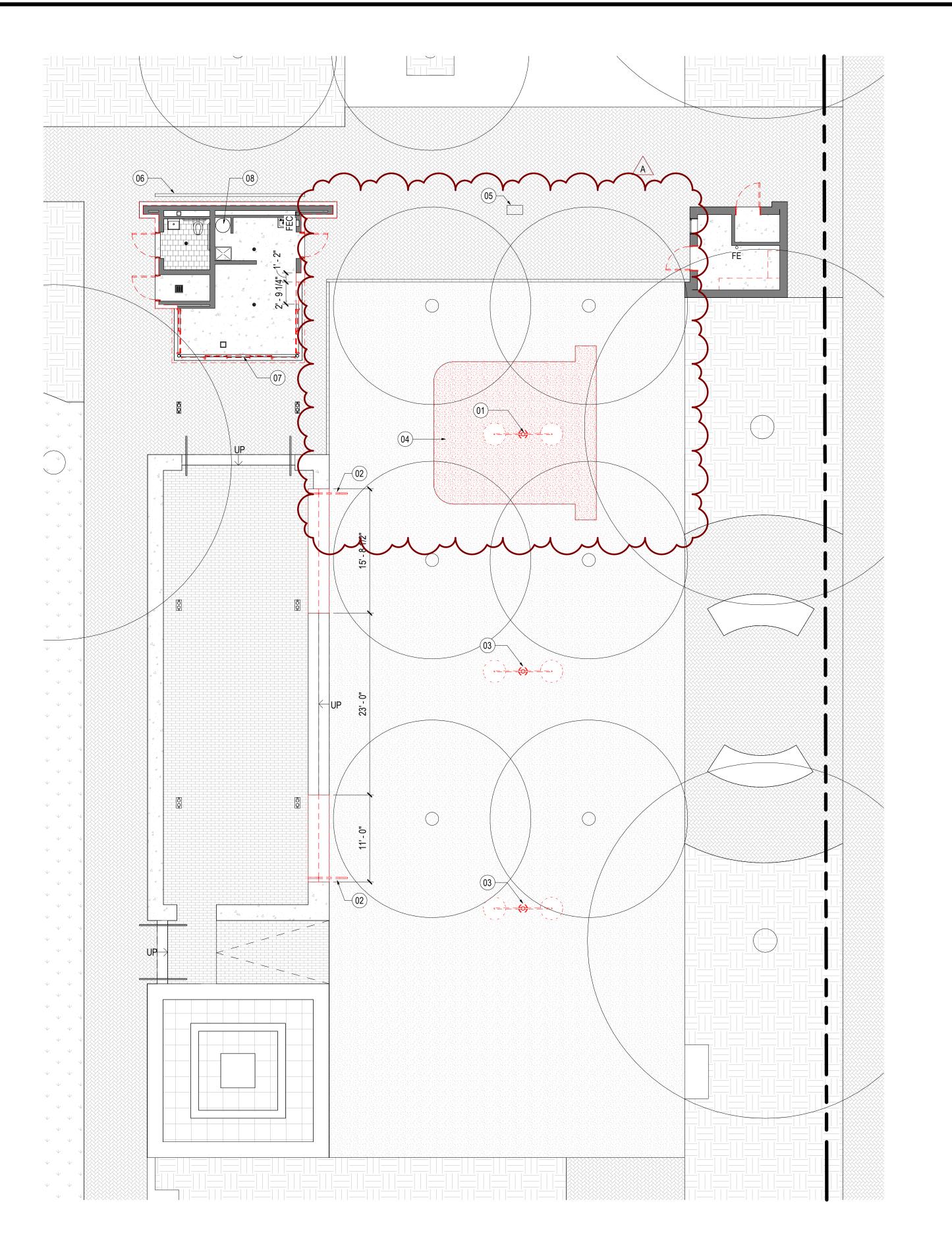






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C10



SHEET NOTES

- 01 REMOVE EXISTING LIGHT POLE
- 02 REMOVE AND RELOCATE EXISTING HANDRAILS; RE: CONSTRUCTION PLAN
- 03 REMOVE AND RELOCATE EXISTING DECORATIVE LIGHTPOLES TO BE ON CENTER WITH NEW BAR STRUCTURE; EXTEND CONDUIT AND FEEDERS AS NECESSARY; RE SITE PLAN
- REMOVE AREA OF EXISTING DECOMPOSED
 GRAVEL AS INDICATED IN PLAN
- 05 EXISTING ELECTRICAL PULL BOX TO REMAIN
 06 EXISTING IN-GROUND LIGHT FIXTURES TO REMAIN
 07 REMOVE EXISTING EXTERIOR WINDOWS, WALL
 CLADDING, AND EXTERIOR SOFFIT PLASTER
 CEILING. EXISTING CMU STRUCTURE AND STEEL
 FRAMING TO REMAIN U.N.O.
- 08 EXISTING WATER HEATER TO REMAIN

Downtown Redevelopment Authority / TIRZ No. 3

1221 McKinney St., Suite 4250 Houston, TX 77010

Gensler

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Houston, TX 77043
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C&T Design and Equipment Co.
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Houston, TX 77042

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C&T Design and Equipment Co. 9555 Baythorne Dr. Suite 200 Houston, TX 77041 Tel 713.682.6390

1 10.01.2024 ISSUE FOR PERMIT

Description

A 10.24.2024 ADDENDUM #2

GENERAL NOTES

- A. RE: G0 SHEET SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- B. FOR CONSTRUCTION PLAN AND OTHER PLAN REFERENCES, RE: A1 SHEET SERIES.
- C. COORDINATE WITH PROPERTY MANAGER FOR RETURN OF SALVAGE ITEMS TO BUILDING OWNER FOR FUTURE REUSE. COORDINATE WITH PROPERTY MANAGER FOR ITEMS REQUIRED.
- D. REMOVE EXISTING INTERIOR PARTITIONS, DOORS, FRAMES, HARDWARE, FLOOR AND WALL FINISHES, LIGHTS AND CEILING SYSTEMS NOT SHOWN TO REMAIN OR AS REQUIRED FOR NEW WORK.
- E. REMOVE EXISTING COMMUNICATIONS CABLING NOT SHOWN TO REMAIN ON CONSULTANT'S PLANS OR AS REQUIRED FOR NEW WORK.
- F. REMOVE EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS NOT SHOWN TO REMAIN ON CONSULTANT'S PLANS OR AS REQUIRED FOR NEW WORK.
- G. PATCH, REPAIR, AND AFFECTED AREAS IN PREPARATION FOR NEW WORK.
- H. ERECT AND MAINTAIN DUSTPROOF PARTITIONS
 AS REQUIRED TO PREVENT SPREAD OF DUST,
 FUMES, AND SMOKE, ETC. TO OTHER PARTS OF
 THE BUILDING. UPON COMPLETION, REMOVE
 PARTITIONS AND REPAIR DAMAGED SURFACES
- TO MATCH ADJACENT SURFACES.

 I. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER.
- J. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- K. REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED FOR NEW FLOOR FINISHES.
- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- M. PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND OTHER WORKERS.

Seal / Signature





Project Name

Market Square Park Kiosk Improvements

Project Number

002.9349.000

Description

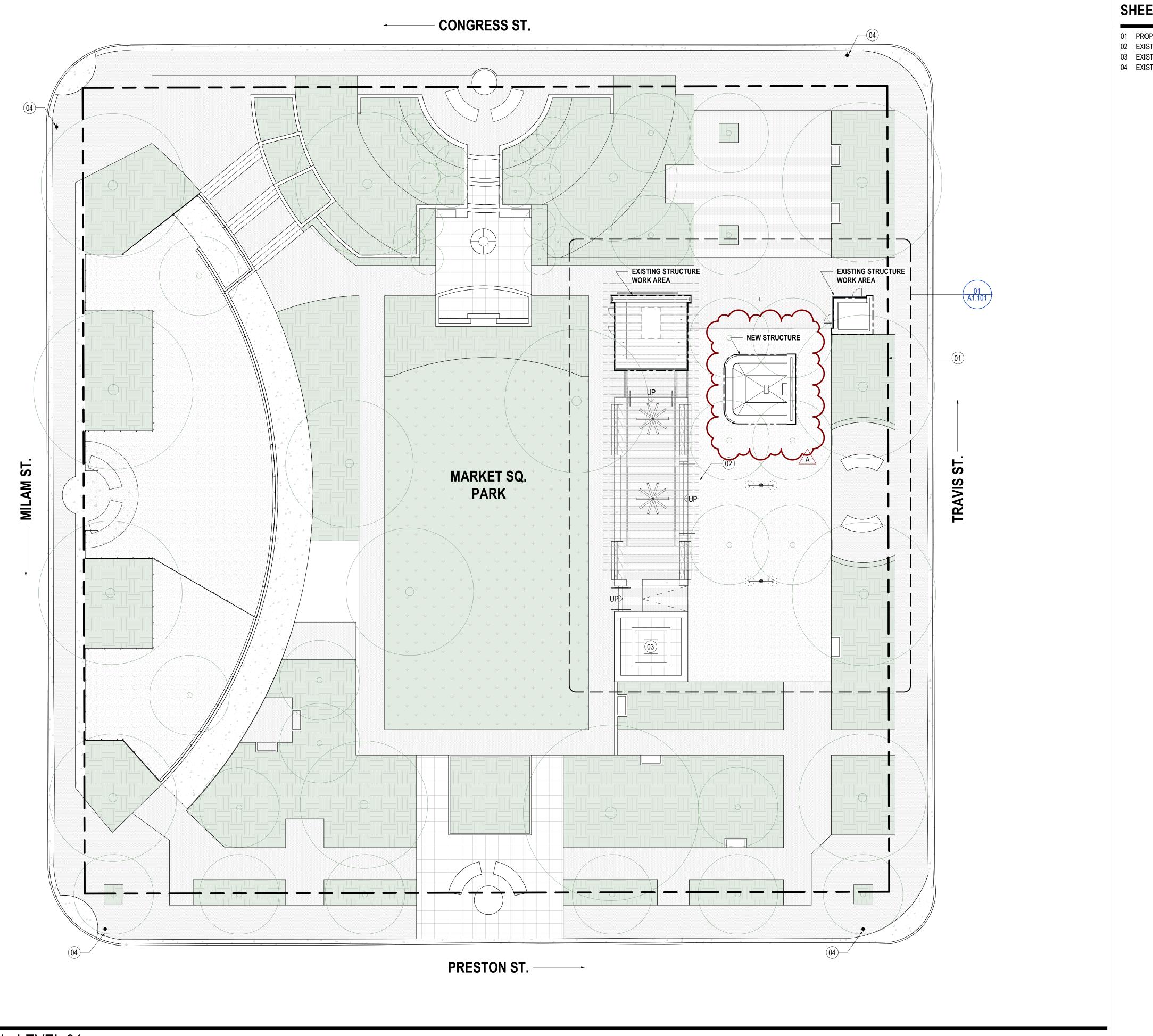
DEMOLITION PLAN - LEVEL 01

Scale

1/8" = 1'-0"



D1.101



SHEET NOTES

- 01 PROPERTY LINE 02 EXISTING TRELLIS AND CANOPY STRUCTURE
- 03 EXISTING WATER FOUNTAIN FEATURE
- 04 EXISTING FIRE HYDRANT

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1334 Brittmoore Rd. Suite 2808 Houston, TX 77043 Tel 832.714.2568

C&T Design and Equipment Co. 9555 Baythorne Dr. Suite 200 Houston, TX 77041 Tel 713.682.6390

Description

1 10.01.2024 ISSUE FOR PERMIT

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Market Square Park Kiosk Improvements

Project Number

002.9349.000

Description

ARCHITECTURAL SITE PLAN

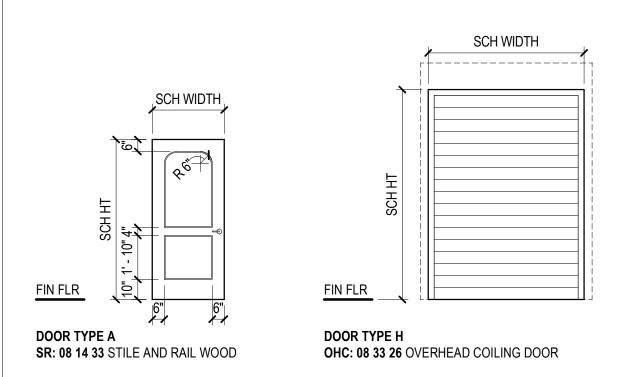
REF: 01 / A2.000

1/16" = 1'-0"

A0.100

DOOR TYPES SCALE 1/4" = 1' - 0"

DOOR SCHEDULE



ASSEMBLY: DOOR				ASSEMBLY: FRAME				ASSEMBLY: RATING							
	DIMENSIONS			DETAILS					FIRE		SMOKE	HARDWARE			
NUMBER	TYPE	WIDTH	HEIGHT	THICKNESS	FINISH	HEAD	JAMB	SILL	MATERIAL	FINISH	RATING	TEMP RISE	LABEL	SET	REMARKS
101	Α	3' - 0"	6' - 8"	0' - 1 3/4"	WD01	01 A0.401	03 A0.401	02 A0.401	WOOD	WD01	NR			1	
102	Α	3' - 0"	6' - 8"	0' - 1 3/4"	WD01	01 A0.401	03 A0.401	02 A0.401	WOOD	WD01	NR			1	
103	A	3'_0'	6'-8"	0' - 1 3/4"	WD01	01 A0.401	03 A0.401	02 A0.401	WOOD	WD01	NR			1	
201	Н	10' - 6"	8' - 0"	0' - 2"	PT01					PT01	NR			(KEY SWITCH STATION, SURFACE MTD, LOCATED AT EXTERIOR
202	Н	9' - 0"	8' - 0"	0' - 2"	PT01					PT01	NR				
203	Н	10' - 6"	8' - 0"	0' - 2"	PT01					PT01	NR				
301	A	3-0"	6'-8"	0' - 1 3/4"	WD01	01 A0.401	03 A0.401	02 A0.401	WOOD	WD01	NR			1	
02	Α	3' - 0"	6' - 8"	0' - 1 3/4"	WD01	01 A0.401	03 A0.401	02 A0.401	WOOD	WD01	NR			1	
OTAL: 8															

HARDWARE GROUPS

1 DOOR SWEEP

1 THRESHOLD

1 LOCK GUARD

GROUP 1 (SINGLE - ENTRAN	NCE)	
3 HINGES	WALL MANUF STD	
1 LOCKSET	ALX80P	612
1 SURFACE CLOSER	PR7500	691
1 FLOOR STOP	FS18S	
1 SET OF SEALS	5050B	BRN

425

NORTON F-BLK IVES NGP 97VDKB NGP DKB NGP DLP DON-JO ALP-206 6"

F-BLK BY MANUF

SCHLAGE

NOTE: KEY ALL LOCKS TO BUILDING MASTER KEY SYSTEM. ALL KEYING & INSTALLING OF THE BUILDING STD CYLINDERS TO BE BY LANDLORD'S LOCKSMITH, AT TENANT'S EXPENSE. COORDINATE THE WORK THROUGH BUILDING MANAGEMENT. PROVIDE LEVER SETS IN THE FUNCTION LISTED IN THE HARDWARE GROUPS. LOCKSETS MUST ACCOMMODATE **BUILDING CYLINDERS.**

* NOTE: MOUNT ALL SURFACE CLOSERS ON THE NON-PUBLIC SIDE OF THE DOOR. * NOTE: TIE ELECTRONIC ACCESS DEVICES TO THE SECURITY & FIRE ALARM SYSTEMS.

* NOTE: PROVIDE NRP ON OUTWARD SWINGING DOOR HINGES.

SHEET NOTES

- CO CASED OPENING
- ENTRANCES, AUTOMATIC EΑ
- EB ENTRANCES, BALANCED ENTRANCES, SLIDING AUTOMATIC ES
- ER ENTRANCES, REVOLVING
- FLUSH FLUSH, BI-FOLD
- FB
- FD FLUSH, DUTCH FLUSH, FULL LITE
- FLUSH, HALF LITE FLUSH, LOUVER
- FLUSH, NARROW LITE FLUSH, TRANSOM

GLASS ENTRANCES

- OHC OVERHEAD COILING
- OHCC OVERHEAD COILING COUNTER OHF OVERHEAD, FABRIC FIRE SHUTTER
- OHG OVERHEAD GRILLE
- OHR OVERHEAD, RAPID ROLL-UP
- OHS OVERHEAD SECTIONAL OHSG OVERHEAD SECTIONAL, GLASS
- OPA OPERABLE PTN, ACCORDION FOLDING OPERABLE PTN, FOLDING
- OPERABLE PTN, POCKET
- OPV OPERABLE PTN, VERTICALLY FOLDING SN STILE NARROW
- STILE MEDIUM SM
- SR STILE AND RAIL
- STILE WIDE SW
- TR TRAFFIC WM WIRE MESH

ALL LISTED TYPES MAY NOT BE USED, REFER TO SCHEDULE.

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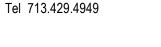
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Houston, TX 77041

Tel 713.682.6390

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riangle Date Description

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GENERAL NOTES

- LOCATIONS AS NOTED ON SCHEDULE CAN VARY. REFER TO PLANS FOR SPECIFIC LOCATIONS.
- DOUBLE DOORS ARE INDICATED WITH A DESIGNATION FOR EACH LEAF (TYPE/TYPE). EXAMPLE: F1/F1 OR F1/FH1.
- THE MINIMUM CLEAR OPENING SHALL BE 32 INCHES, UNO. CLEAR OPENINGS AT SWINGING DOORS SHALL BE MEASURED FROM FACE OF DOOR AND THE STOP WITH DOOR OPEN 90 DEGREES.
- THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWING, SLIDING, OR FOLDING DOORS AND GATES, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS.
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR
- THE UNLATCHING OF ANY EGRESS DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- GLAZING IN DOORS SHALL BE SAFETY GLAZING COMPLYING WITH IBC CHAPTER 24.
- ELECTRONIC LOCKS ARE SUBMITTED UNDER A SEPARATE PERMIT. COORDINATE WITH
- SECURITY. ASSEMBLY AND HARDWARE SET NUMBERS ARE THE SAME.

Seal / Signature



Market Square Park Kiosk Improvements

Project Number

002.9349.000

Description

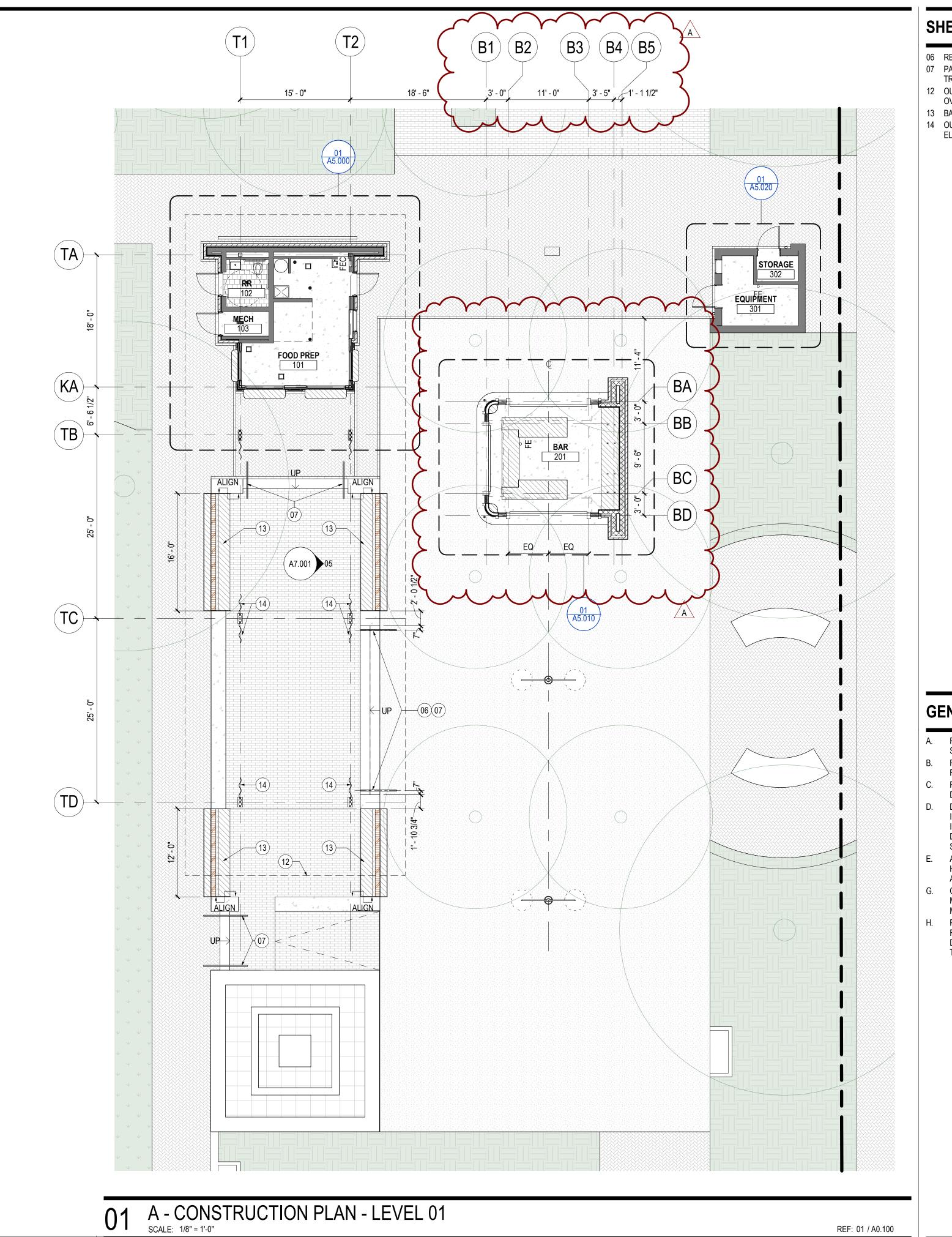
DOOR & WINDOW SCHEDULES

Scale

As indicated

A0.400

FINISH SCHEDULE FINISH LEGEND Downtown Redevelopment AF## ACCESS FLOORING PT01 EXTERIOR PAINTING CO01 CONCRETE FLOORING AP## ACOUSTICAL CEILING PANELING AP## ACOUSTICAL WALL PANELING Authority / SPECIFICATION SECTION: 09 91 13 SPECIFICATION SECTION: 03 35 43 CL## ACOUSTICAL PANEL CEILINGS MANUFACTURER: SHERWIN WILLIAMS MATERIAL: CONCRETE CL## ACOUSTICAL METAL PAN CEILINGS COLOR NUMBER: SW 6258 COLOR: MATCH EXISTING CL## LINEAR METAL CEILINGS COLOR NAME: TRICORN BLACK FINISH: MATCH EXISTING TIRZ No. 3 CL## LINEAR WOOD CEILINGS GLOSS: SATIN LOCATION: BAR KIOSK FLOORING / RAISED DINING CL## STRETCHED-FABRIC CEILING SYSTEMS LOCATION: THROUGHOUT PLATFORM CO## POLISHED CONCRETE 1221 McKinney St., Suite 4250 CO## SEALED CONCRETE CO## HIGH-PERFORMANCE COATINGS Houston, TX 77010 CP## TILE CARPETING - MODULAR CP## SHEET CARPETING - BROADLOOM DP## DECORATIVE PLASTER Gensler FA## FLUID-APPLIED RESINOUS FLOORING GF## DECORATIVE GLASS FILM Tel 713.844.0000 909 Fannin Street GL## GLAZING Fax 713.844.0001 Suite 200 GL## DECORATIVE GLAZING Houston, TX 77010 IS## VISUAL DISPLAY FABRICS **ST01** STONE COUNTERTOPS GL01 GLAZING United States IS## VISUAL DISPLAY UNITS MT## DECORATIVE METAL SPECIFICATION SECTION: 12 36 40 SPECIFICATION SECTION: 08 80 00 PL## PLASTIC LAMINATE TYPE: GRANITE TYPE: TEMPERED **INFINITY ♦IMEG** STONE NAME: SUNSET RED COLOR: CLEAR, TO MATCH GLAZING AT KIOSK PP## PLASTIC PANELING FINISH: LEATHERED LOCATION: THROUGHOUT, UNO PR## WALL AND DOOR PROTECTION Infinity MEP+S Imeg Corp. LOCATION: COUNTERTOPS THROUGHOUT PT## EXTERIOR PAINTING 3700 W Sam Houston Pkwy S 10260 Westheimer Road PT## INTERIOR PAINTING Suite 400 Suite 100 RB## RESILIENT WALL BASE AND ACCESSORIES Houston, TX 77042 Houston, TX 77042 Tel 832.856.8064 Tel 713.429.4949 RF## LINOLEUM FLOORING Fax 816.842.6441 RS## RESILIENT SHEET FLOORING RS## STATIC-CONTROL RESILIENT SHEET FLOORING RT## RESILIENT TILE FLOORING **ラマロ** C&T Design and Equipment Co. ASSESS OF QUALITY AND CLETCHES ATTERNATION SHIE 1971 RT## STATIC-CONTROL RESILIENT TILE FLOORING CONSULTING RT## PLASTIC-MATRIX TERRAZZO FLOOR TILE C&T Design and Equipment Co. ProE Consulting SC## SIMULATED STONE COUNTERTOPS 1334 Brittmoore Rd. 9555 Baythorne Dr. Suite 2808 Suite 200 SF## STRETCH-FABRIC WALL SYSTEMS Houston, TX 77043 Houston, TX 77041 SO## SOLID SURFACE COUNTERTOPS UM01 EXTERIOR BRICK GL02 GLAZING Tel 832.714.2568 Tel 713.682.6390 ST## STONE COUNTERTOPS ST## STONE FACING SPECIFICATION SECTION: 04 22 00 SPECIFICATION SECTION: 08 80 00 ST## STONE FLOORING MANUFACTURER: MATCH EXISTING MANUFACTURER: AGC INC. ST## STONE TILING PRODUCT NAME: MATCH EXISTING PRODUCT NAME: ENERGY SELECT 23 COLOR: MATCH EXISTING TL## TILING TYPE: TEMPERED LOCATION: PICK-UP KIOSK WALLS, BAR EXTERIOR COLOR: NEUTRAL BLUE-GREY TR## PORTLAND CEMENT TERRAZZO FLOORING CONTACT: 800-251-0441 ackslash Date Description TR## RESINOUS MATRIX TERRAZZO FLOORING LOCATION: KIOSK WINDOWS UM## UNIT MASONRY 1 10.01.2024 ISSUE FOR PERMIT SHGC: 0.23 UP## UPHOLSTERY U-VALUE: 0.29 A 10.24.2024 ADDENDUM #2 WB## WOOD BASE COATING: SURFACE 2 NOTES: 1" INSULATING GLAZING UNIT: 1/4" GLASS, WC## WALL COVERINGS 1/2" SPACER, 1/4" GLASS WD## WOOD WF## WOOD FLOORING - SOLID WOOD WF## WOOD FLOORING - PRE-ENGINEERED WF## WOOD ATHLETIC FLOORING WT## CURTAINS AND DRAPES WT## HORIZONTAL BLINDS GL03 MIRROR WT## ROLLER WINDOW SHADES SPECIFICATION SECTION: 08 80 00 MANUFACTURER: GLASPRO PRODUCT NAME: 5MM ROMA ANTIQUE TYPE: MIRROR COLOR: CHAMPAGNE LOCATION: BACK BAR FINISH Seal / Signature ALL ITEMS LISTED ABOVE MAY NOT BE USED. LOCATIONS NOTED IN SCHEDULE DO NOT INDICATE ALL LOCATIONS. SEE DRAWINGS FOR EXTENT OF WORK. WD01 WOOD - EXTERIOR ARCHITECTURAL WOODWORK MT01 DECORATIVE METAL SPECIFICATION SECTION: 06 40 23 SPECIFICATION SECTION: 07 42 13.13 MATERIAL: ANODIZED ALUMINUM ITEM: WOOD COMPOSITE PANEL Market Square Park Kiosk MANUFACTURER: MODERN MILL COLOR: COPPER PRODUCT NAME: ACRE LOCATION: BUILDING FACADES THROUGHOUT Improvements COLOR: MAHOGANY STAIN FINISH: TRANSPARENT SHEEN: SATIN 30-50 FLAME SPREAD INDEX / RESISTANCE: CLASS B ASTM **Project Number** LOCATION: WALL PANELING AT BAR & PICK-UP 002.9349.000 Description FINISH SCHEDULE PP01 PLASTIC PANELING WT01 CURTAINS AND DRAPES Scale SPECIFICATION SECTION: 12 22 00 SPECIFICATION SECTION: 06 60 00 MANUFACTURER: CARNEGIE MANUFACTURER: MARLITE NOT TO SCALE PRODUCT NAME: OUTDOOR BOSTON PRODUCT NAME: STANDARD FRP-S PRODUCT NUMBER: 101615 PRODUCT NUMBER: 490N COLOR: 928 COLOR: LIGHT GRAY WIDTH: 118 IN FINISH: SMOOTH FIBER CONTENT: 100% FR POLYESTER FLAME SPREAD INDEX / RESISTANCE: CLASS A A0.600 FLAME SPREAD INDEX / RESISTANCE: NFPA 701 LOCATION: BACK OF HOUSE WALLS LOCATION: UNDER SHADE STRUCTURE, GATHERED AT COLUMNS NOTES: WEIGHTED HEM AT BOTTOM © 2024 Gensler



SHEET NOTES

- 06 REUSE AND RELOCATE EXISTING HANDRAILS
- 07 PAINT ALL EXISTING HANDRAILS TO MATCH NEW TRELLIS STRUCTURE FINISH
- 12 OUTLINE OF EXISTING TRELLIS CANOPY OVERHEAD
- 13 BANQUETTE SEATING; RE: ENLARGED ELEVATIONS 14 OUTDOOR DRAPERY WITH COLUMN TIEBACKS; RE: ELEVATIONS

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A 10.24.2024 ADDENDUM #2

∆ Date Description

- 1 10.01.2024 ISSUE FOR PERMIT

GENERAL NOTES

- RE: G0 SHEET SERIES FOR LEGENDS,
- SYMBOLS AND ABBREVIATIONS. RE: G1 SHEET SERIES FOR CODE ANALYSIS RELATED TO PROJECT.
- RE: A0.300 SERIES FOR PARTITION TYPES AND DETAILS.
- DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: A0.400 FOR DOOR SCHEDULE AND TYPES.
- ALL EXISTING DOORS, FRAMES AND HARDWARE TO REMAIN ARE DESIGNATED WITH AN "EX" SYMBOL.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR
- MOUNTED TO PARTITIONS OR CEILINGS. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO MAINTAIN
 DIMENSIONS MARKED "CLEAR". ALLOW FOR
 THICKNESSES AND MOUNTING OF FINISHES.

Seal / Signature



Market Square Park Kiosk Improvements

Project Number

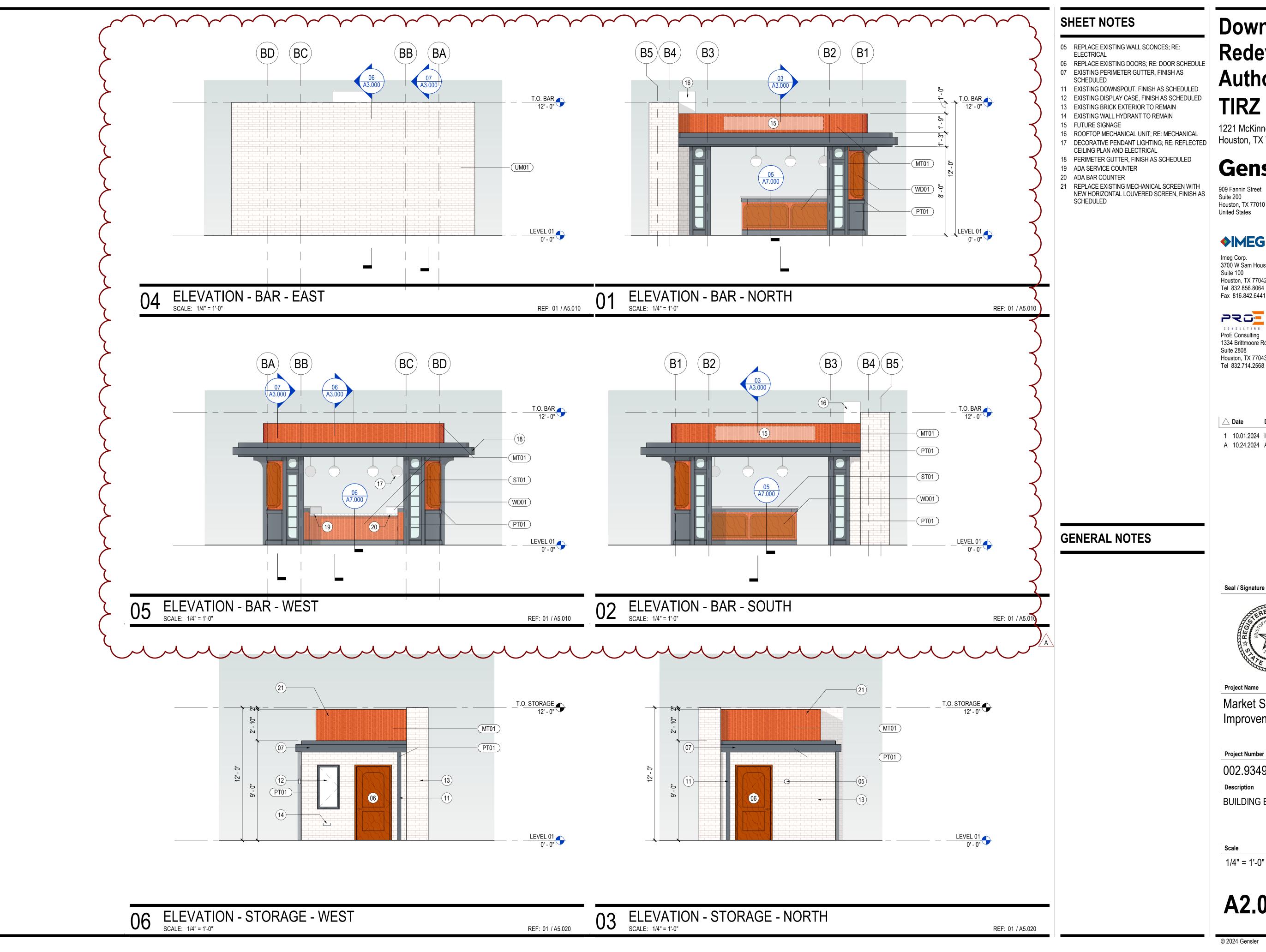
002.9349.000

Description

CONSTRUCTION PLAN - LEVEL 01

1/8" = 1'-0"

A1.101



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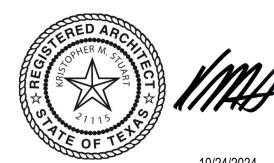
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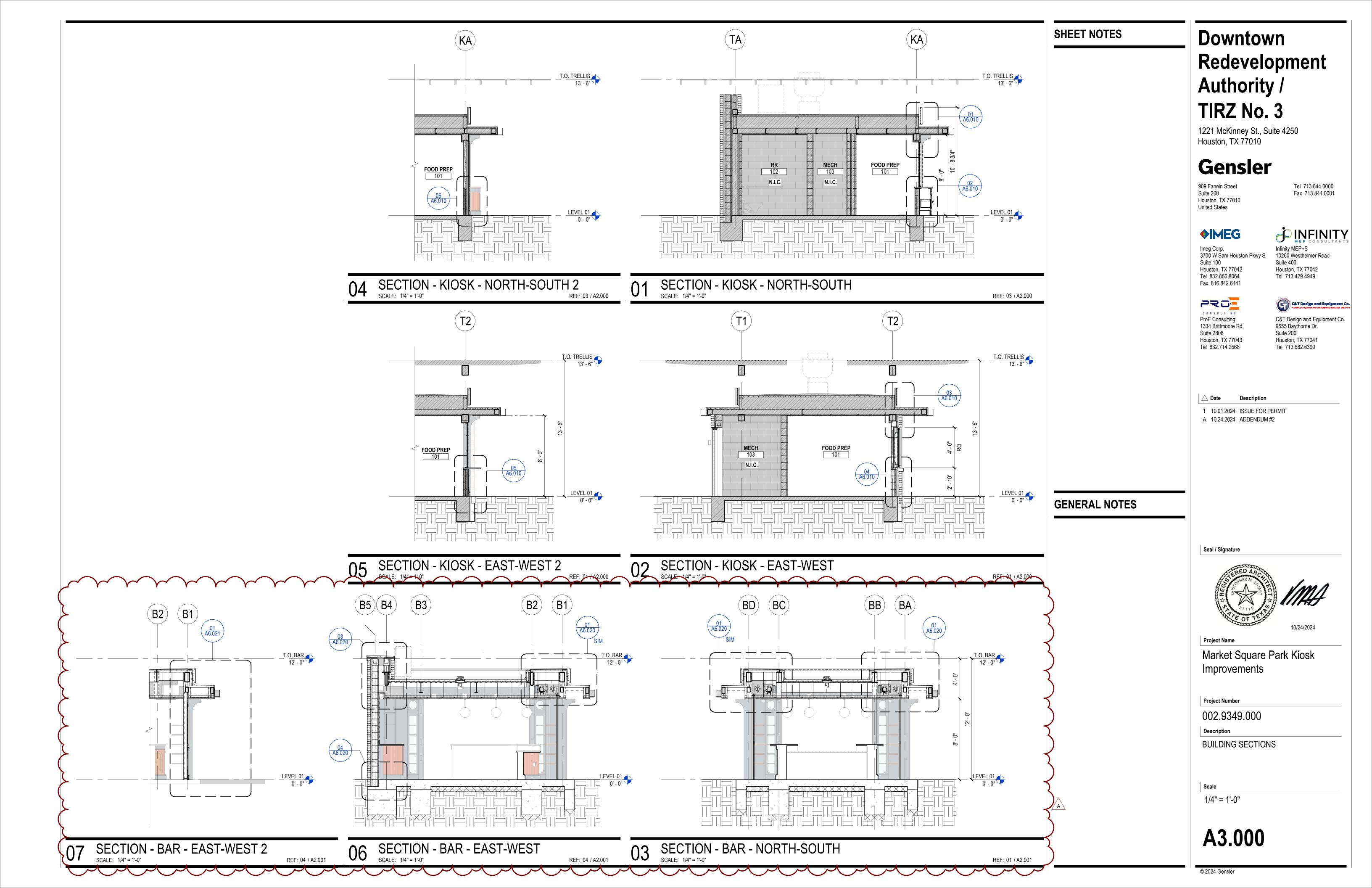
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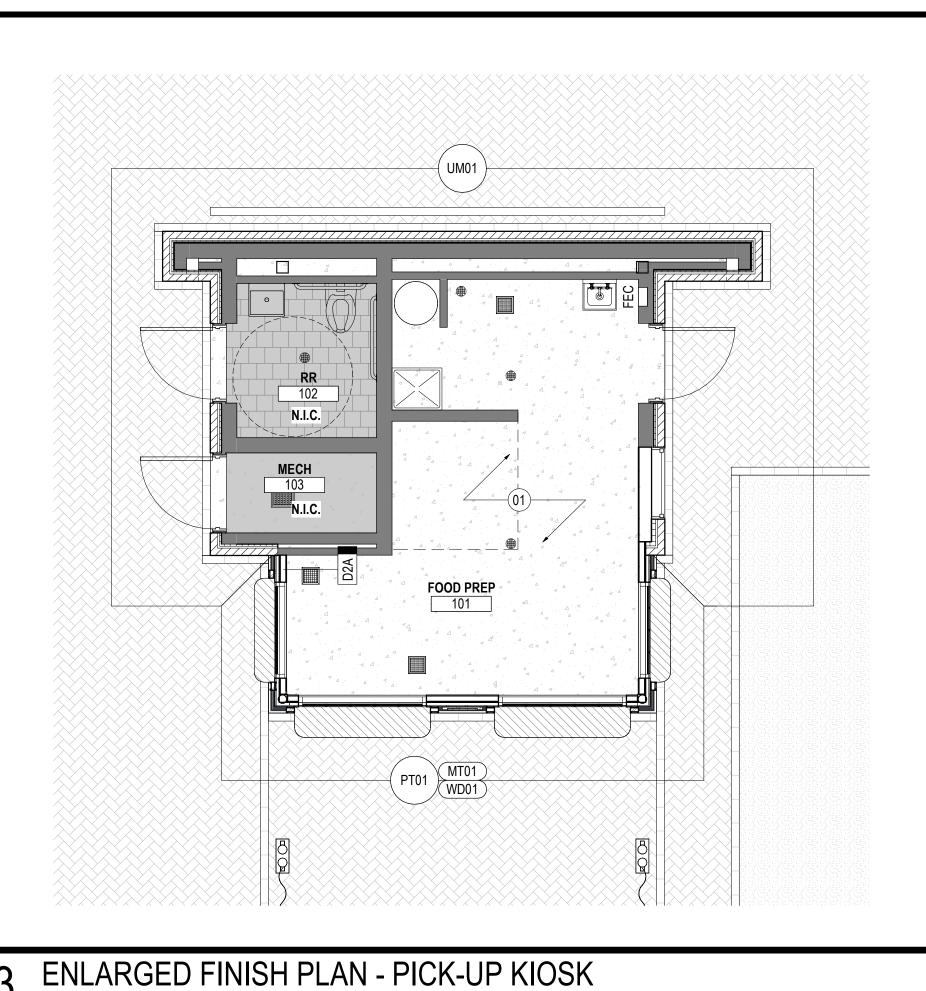
Description

BUILDING ELEVATIONS

1/4" = 1'-0"

A2.001





(TA)

TB,

102

N.I.C.

FOOD PREP

ENLARGED POWER & COMM PLAN - PICK-UP KIOSK

SHEET NOTES

01 EXISTING FINISHES TO REMAIN, PATCH AND REPAIR AS NECESSARY TO LIKE NEW CONDITION.

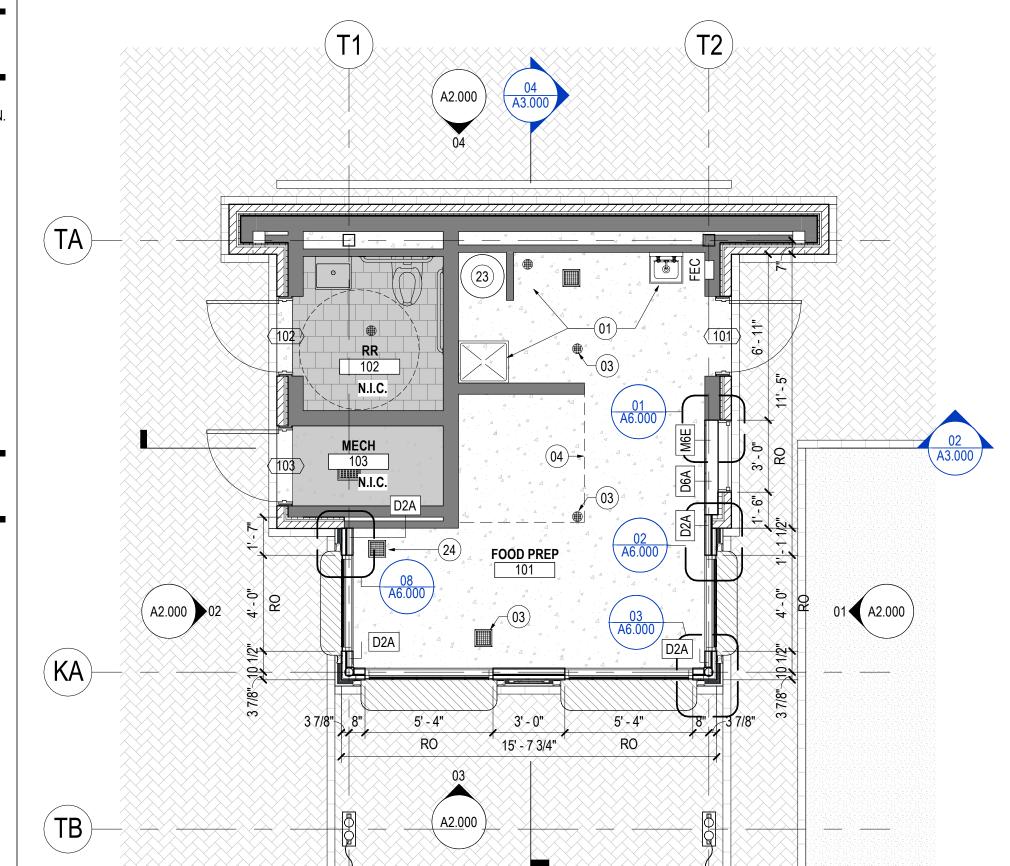
GENERAL NOTES

- RE: G0 SHEET SERIES FOR SYMBOLS AND ABBREVIATIONS.
- RE: A0.600 FOR FINISH CODES. ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN
- REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- PROVIDE MINIMUM 3-COAT PAINT SYSTEMS FOR SUBSTRATE, UNO
- PAINT ALL OPEN PLENUM SPACE, INCLUDING DUCTWORK, CONDUIT AND OTHER EQUIPMENT
- RE: DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.

"PT01" DRYFALL, UNO

RE: ELEVATIONS FOR MILLWORK FINISHES

REF: /



SHEET NOTES

- 01 EXISTING THREE-COMPARTMENT SINK,
- HANDWASH SINK, AND MOP SINK TO REMAIN 03 EXISTING FLOOR DRAINS TO REMAIN, TYP.
- 04 EXISTING VENT HOOD ABOVE.
- 23 EXISTING WATER HEATER TO REMAIN
- 24 NEW FLOOR SINK; RE FOOD SERVICE AND PLUMBING FOR SPEC, AND STRUCTURAL FOR NOTES ON EXISTING SLAB MODIFICATIONS

United States

Downtown

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∆ Date

Seal / Signature

Project Name

Project Number

Description

Improvements

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Suite 200

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RE: G0 SHEET SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.

GENERAL NOTES

- RE: G1 SHEET SERIES FOR CODE ANALYSIS
- RELATED TO PROJECT. RE: A0.300 SERIES FOR PARTITION TYPES AND
- DETAILS. DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: A0.400 FOR DOOR
- SCHEDULE AND TYPES. ALL EXISTING DOORS, FRAMES AND HARDWARE TO REMAIN ARE DESIGNATED WITH AN "EX" SYMBOL.
- COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
- PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES

ENLARGED CONSTRUCTION PLAN - PICK-UP KIOSK

(T2)

EQ

REF: 01 / A1.101

SHEET NOTES

01 EXISTING LIGHT FIXTURES TO REMAIN - ENSURE PROPER WORKING ORDER AND REPLACE AS NECESSARY

02 EXISTING LIGHT FIXTURE RELOCATED TO ALIGN

- WITH NEW ARCHITECTURE
- 03 EXISTING VENT HOOD TO REMAIN
- 04 EXISTING MECHANICAL DIFFUSERS TO REMAIN
- 05 EXISTING CEILING TO REMAIN 13 PATCH AND REPAIR EXISTING CEILING AS
- REQUIRED FOR MECHANICAL DUCT
- ADJUSTMENTS; RE: MECHANICAL 14 AIR CURTAIN, RE: MECHANICAL
- 15 EXISTING PERIMETER GUTTER TO REMAIN; RE:
- **ELEVATIONS FOR FINISH**
- 16 EXISTING TRELLIS AND CANOPY STRUCTURE 17 EXISTING SECURITY CAMERAS TO BE REMOVED VERIFY ALL SPEAKER AND SECURITY DEVICES LOCATIONS WITH ARCHITECT, PROVIDE POWER AS REQUIRED

GENERAL NOTES

- A. RE: G0 SHEET SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- B. RE: MEP DRAWINGS FOR DESIGN OF MECHANICAL AND ELECTRICAL SYSTEMS. ARCHITECTURAL PLANS GOVERN FOR LOCATION OF ITEMS INSTALLED IN CEILINGS. NOTIFY ARCHITECT IF CONFLICTS OCCUR.
- C. RE: ELECTRICAL DRAWINGS FOR FIXTURE SCHEDULE, EXIT LIGHTS AND OTHER LIFE SAFETY
- D. ARRANGE CONCEALED ITEMS TO PROVIDE ADEQUATE CLEARANCES FOR CEILING AND ITS
- E. VERIFY ACCESS PANEL LOCATIONS WITH ARCHITECT PRIOR TO LAYOUT OF WORK REQUIRING ACCESS.
- F. PLUMB ALL STEMS, AIRCRAFT CABLES, AND APPURTENANCES USED TO SUPPORT SUSPENDED LIGHT FIXTURES, UNO
- G. REMOVE ALL PAINT FROM EXPOSED DUCTWORK, CONDUIT AND PIPING. REMOVE ALL TAGS AND LABELS NOT REQUIRED BY CODE.
- H. FINISH HVAC DIFFUSERS, SHADE POCKETS, AND SPEAKER GRILLES TO MATCH ADJACENT FINISH,

A5.000

SHEET NOTES

GENERAL NOTES

- RE: G0 SHEET SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- INDICATED DIMENSIONS ARE TO CENTERLINE OF DEVICE OR CLUSTER OF DEVICES, UNO. REFER TO ELECTRICAL DRAWINGS FOR CONFIGURATIONS.
- DEVICES SHOWN STACKED ARE TO ALIGN VERTICALLY.
- INSTALL ABOVE-COUNTER AND BELOW-COUNTER OUTLETS HORIZONTALLY. UNO REFER TO ELEVATIONS FOR ADDITIONAL OUTLET INFORMATION.
- CONFIRM DEVICE LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.
- REFER TO MEP DRAWINGS FOR ADDITIONAL NOTES AND INFORMATION. WHERE CONFLICTS OCCUR, ARCHITECTURAL DRAWINGS TAKE PRECEDENCE FOR LOCATION OF DEVICE.
- PRIOR TO CORING SLAB, COORDINATE LOCATIONS WITH OWNER AND/OR PROPERTY MANAGER.
- PROVIDE WHITE DECORA STYLE DEVICES AND MATCHING COVER PLATES FOR ALL SWITCHES, ELECTRICAL, TELEPHONE AND DATA OUTLETS, UNO PROVIDE ONE-PIECE TYPE GANG COVER PLATES UNO
- IDENTIFY DEDICATED OR ISOLATED GROUND ELECTRICAL OUTLETS WITH A RED DOT.
- VERIFY EQUIPMENT SPECIFICATIONS, POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND
- COORDINATE INSTALLATION OF TELECOM, DATA AND SECURITY SYSTEMS.
 - PROVIDE PULL STRINGS IN ALL EMPTY CONDUIT AND J-BOXES.

T1

(TA)N.I.C.

EQ

ENLARGED REFLECTED CEILING PLAN - PICK-UP KIOSK

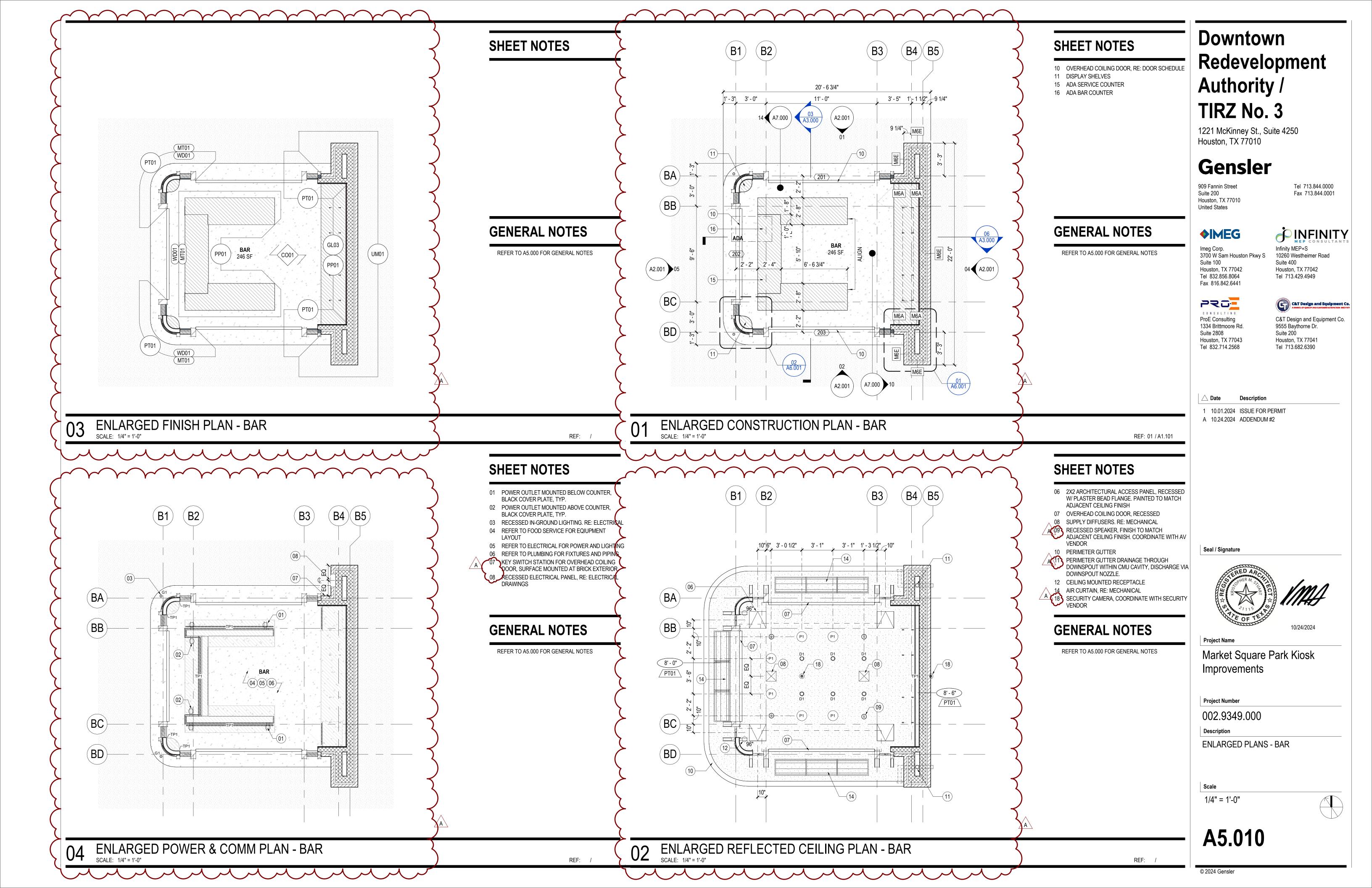
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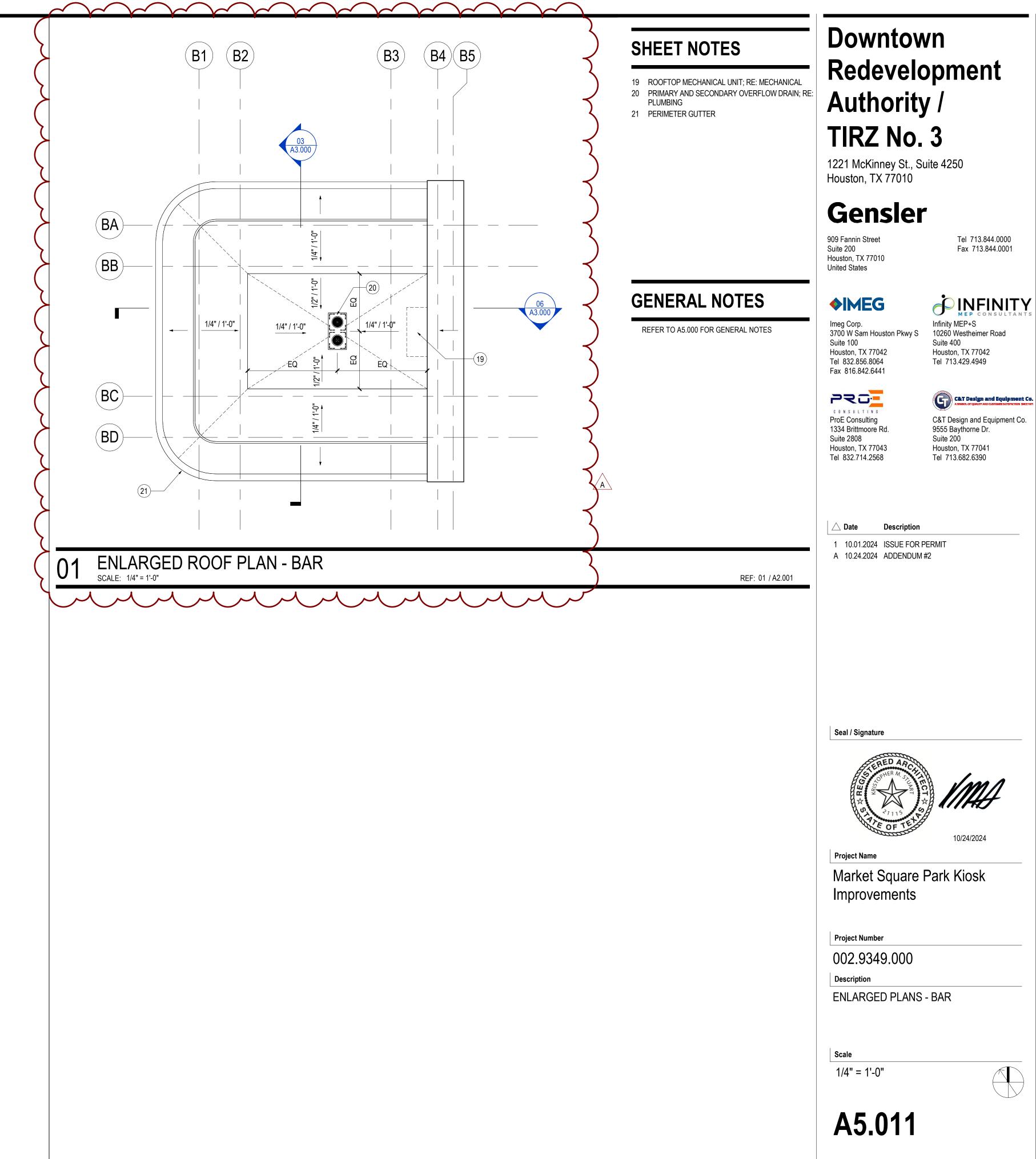
ENLARGED PLANS - KIOSK

10/24/2024

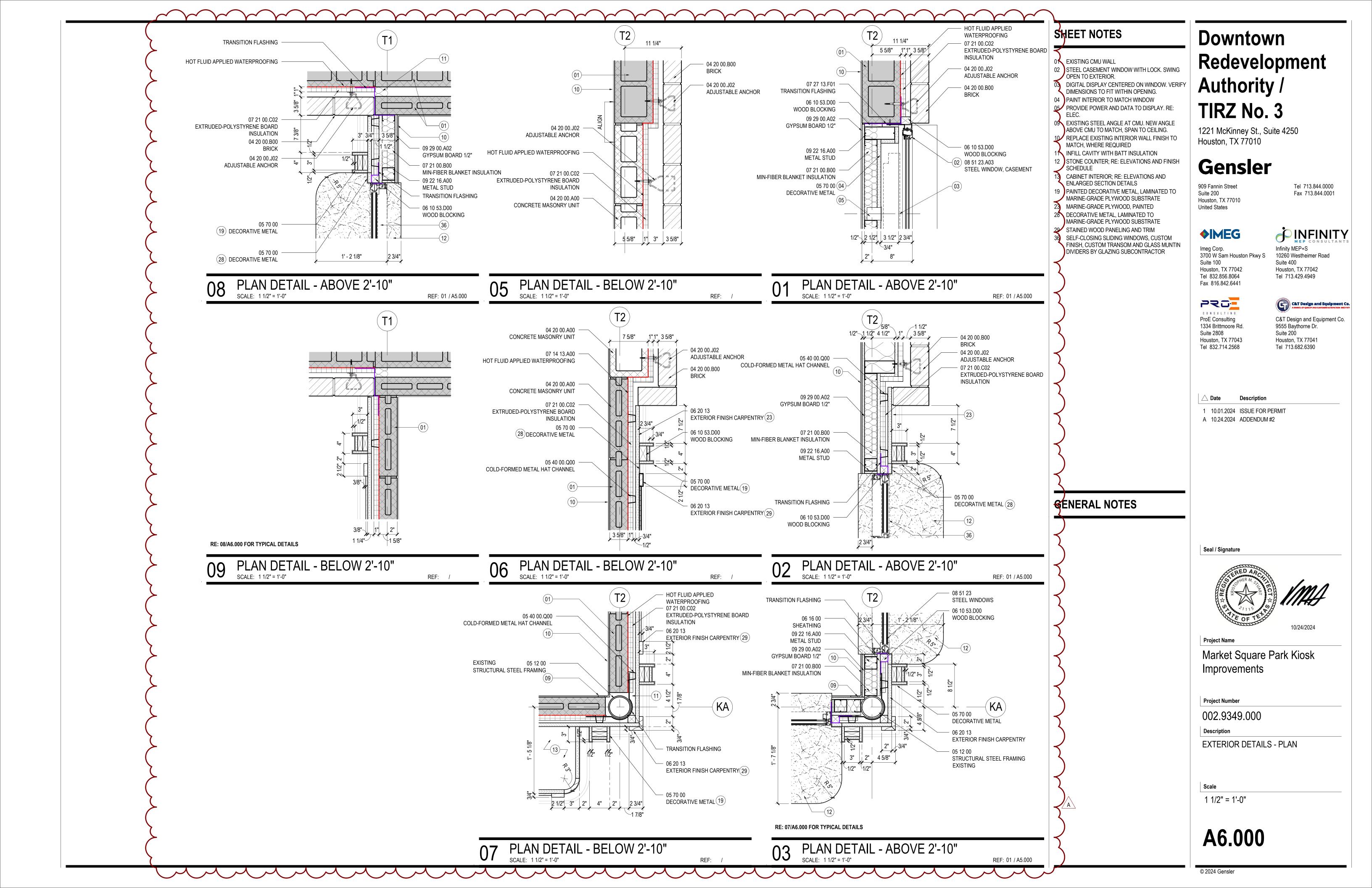
1/4" = 1'-0"

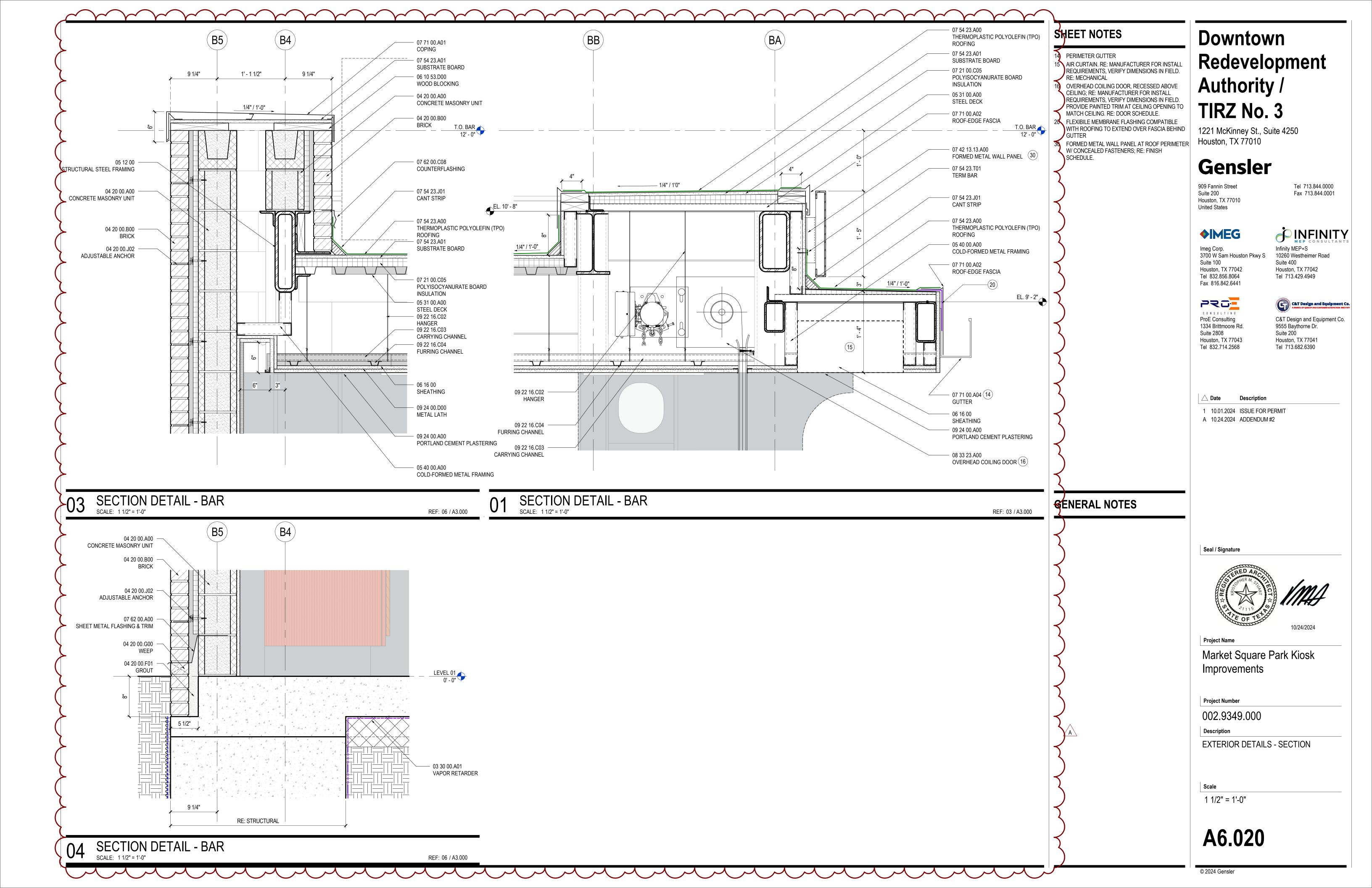
Market Square Park Kiosk

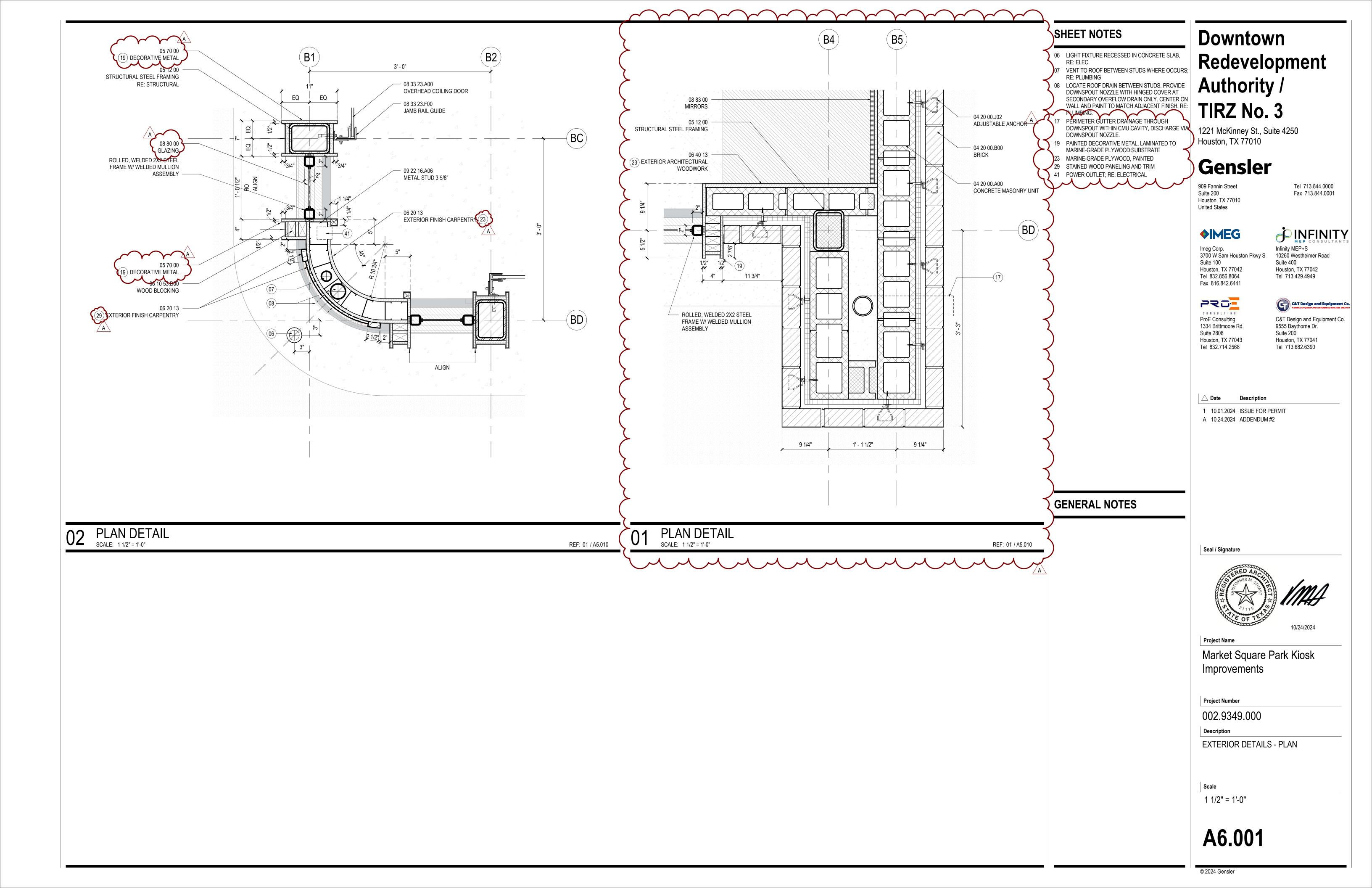


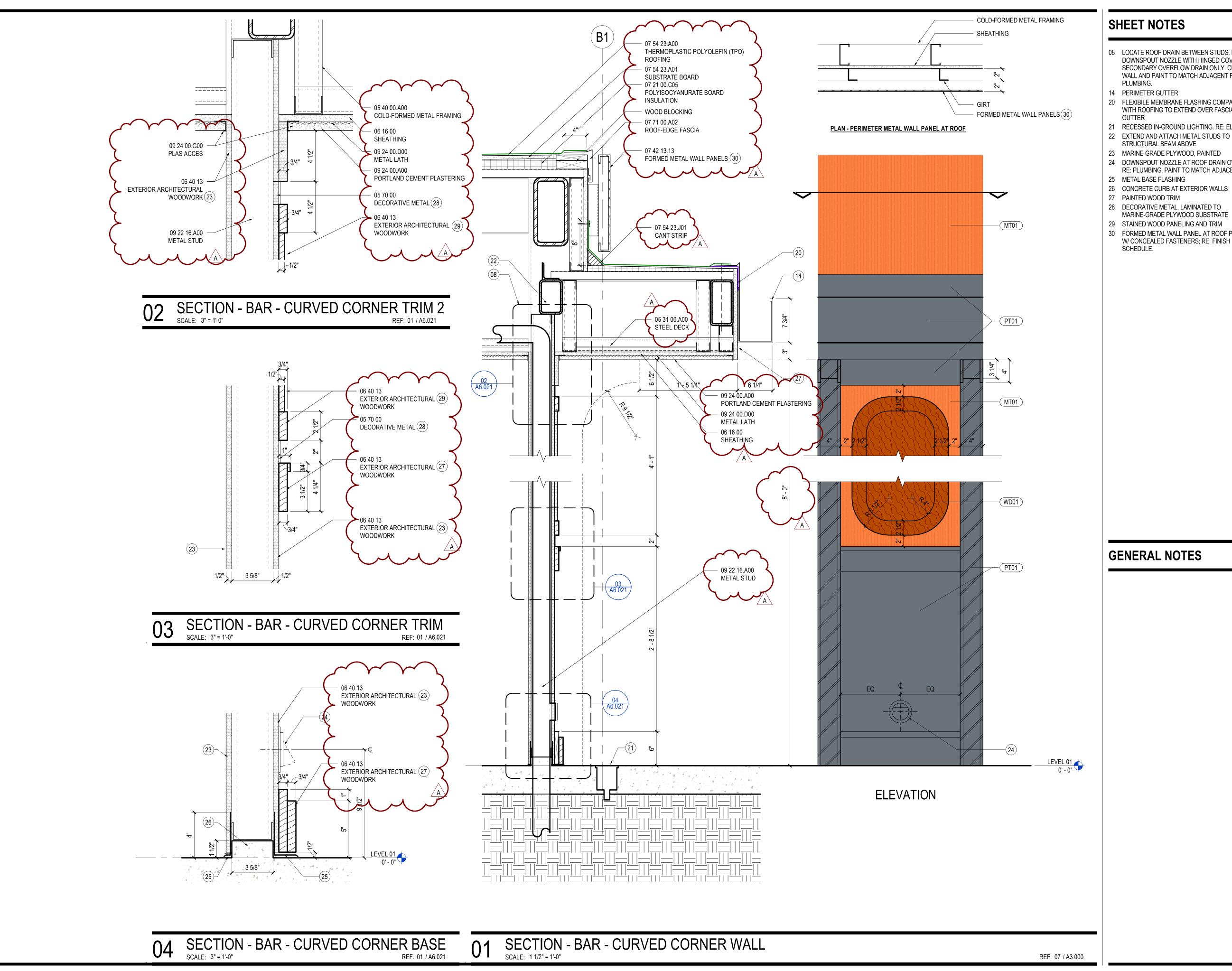


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SHEET NOTES

- 08 LOCATE ROOF DRAIN BETWEEN STUDS. PROVIDE DOWNSPOUT NOZZLE WITH HINGED COVER AT SECONDARY OVERFLOW DRAIN ONLY. CENTER ON WALL AND PAINT TO MATCH ADJACENT FINISH. RE: PLUMBING.
- 14 PERIMETER GUTTER
- 20 FLEXIBILE MEMBRANE FLASHING COMPATIBLE WITH ROOFING TO EXTEND OVER FASCIA BEHIND
- 21 RECESSED IN-GROUND LIGHTING. RE: ELECTRICAL
- STRUCTURAL BEAM ABOVE
- 23 MARINE-GRADE PLYWOOD, PAINTED 24 DOWNSPOUT NOZZLE AT ROOF DRAIN OVERFLOW:
- RE: PLUMBING. PAINT TO MATCH ADJACENT FINISH
- 25 METAL BASE FLASHING
- 26 CONCRETE CURB AT EXTERIOR WALLS
- MARINE-GRADE PLYWOOD SUBSTRATE
- 29 STAINED WOOD PANELING AND TRIM
- 30 FORMED METAL WALL PANEL AT ROOF PERIMETER W/ CONCEALED FASTENERS; RE: FINISH SCHEDULE.

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10260 Westheimer Road



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ASSESS OF QUALITY AND CLISTOMES SATISFACTION SECTION.

720-CONSULTING ProE Consulting 1334 Brittmoore Rd. Suite 2808

C&T Design and Equipment Co. 9555 Baythorne Dr. Suite 200

Houston, TX 77041 Tel 713.682.6390

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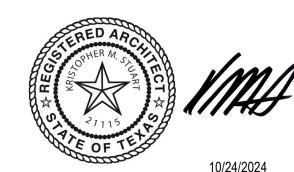
Houston, TX 77043

Tel 832.714.2568

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- A 10.24.2024 ADDENDUM #2

GENERAL NOTES

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Market Square Park Kiosk Improvements

Project Number

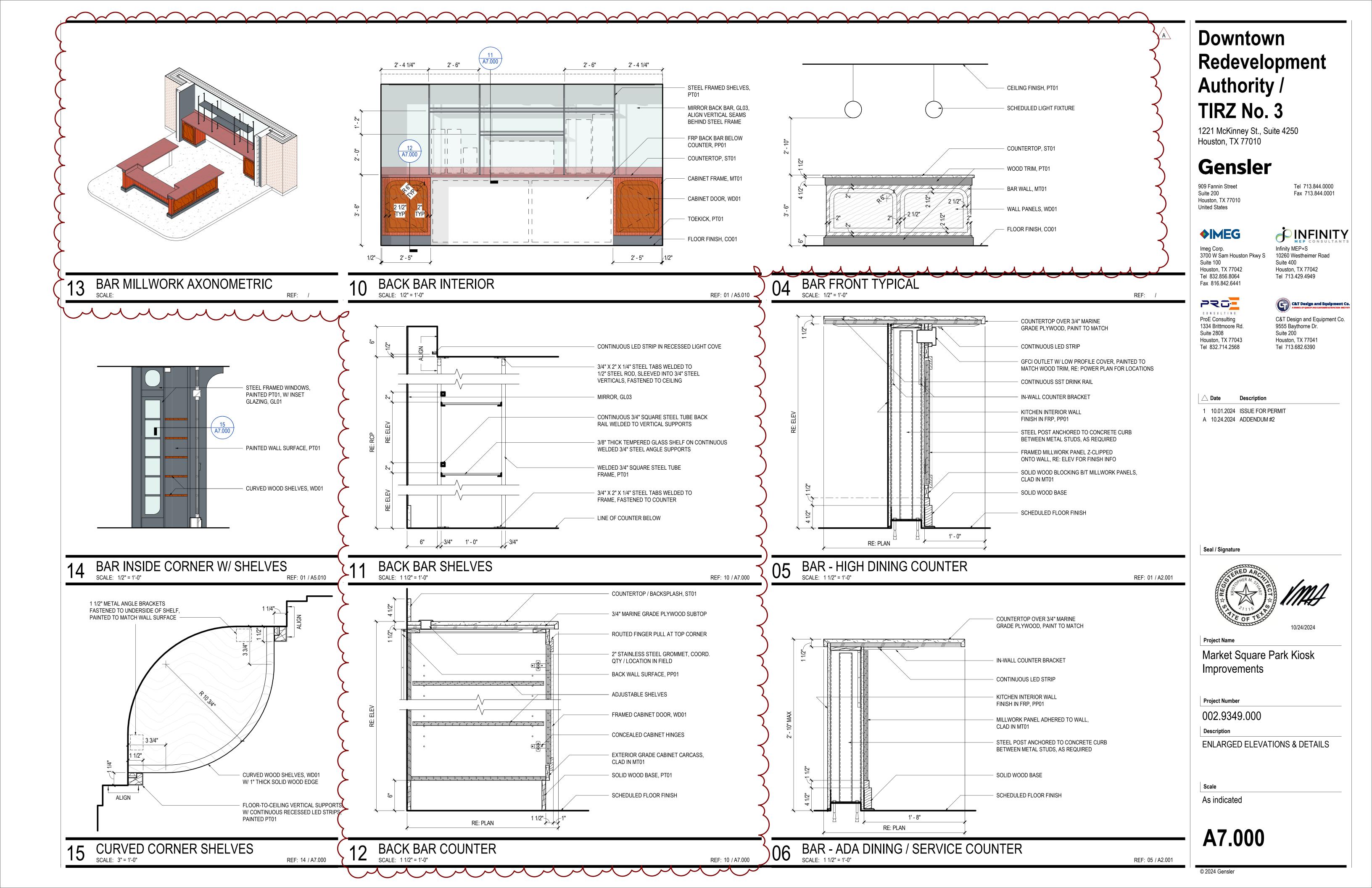
002.9349.000

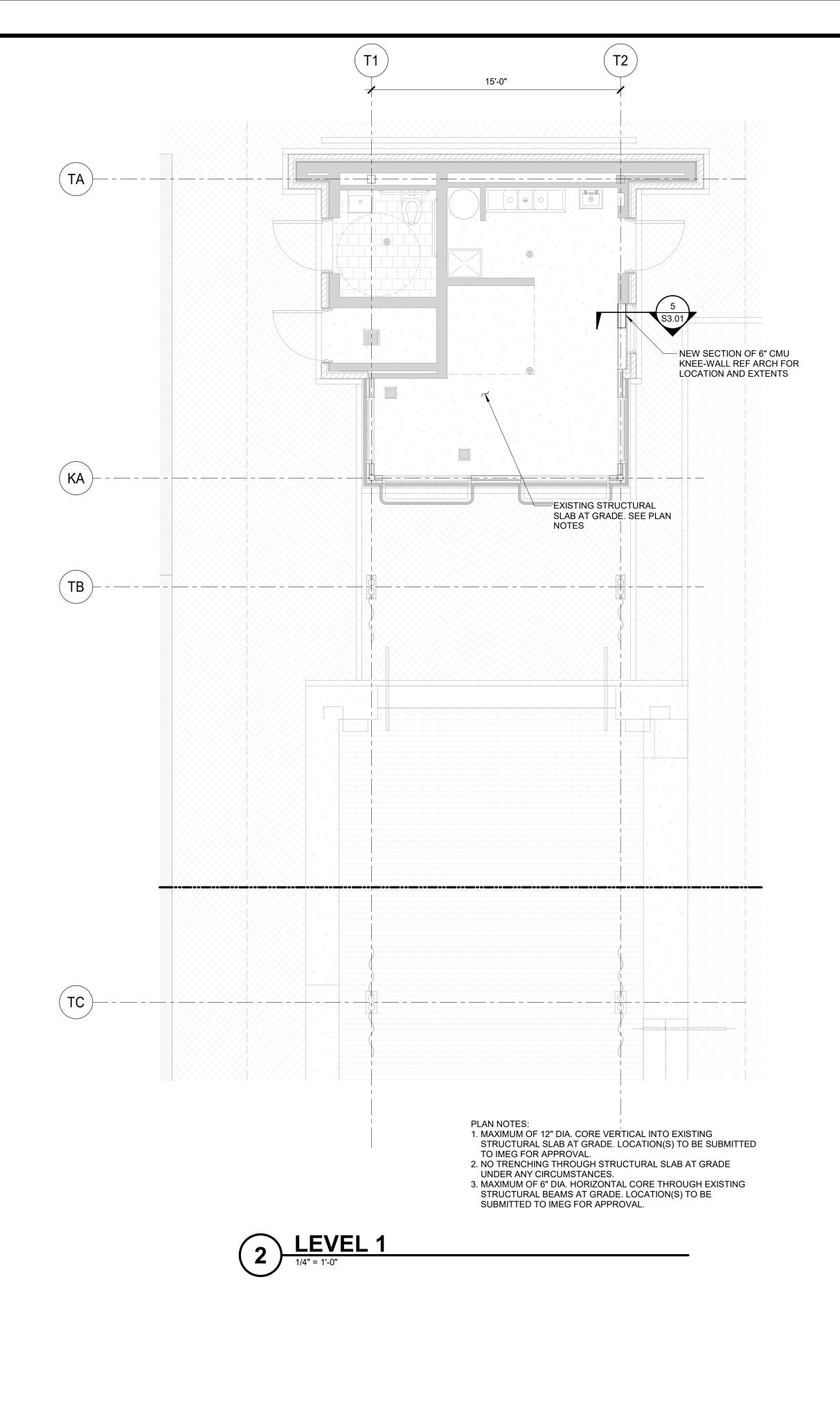
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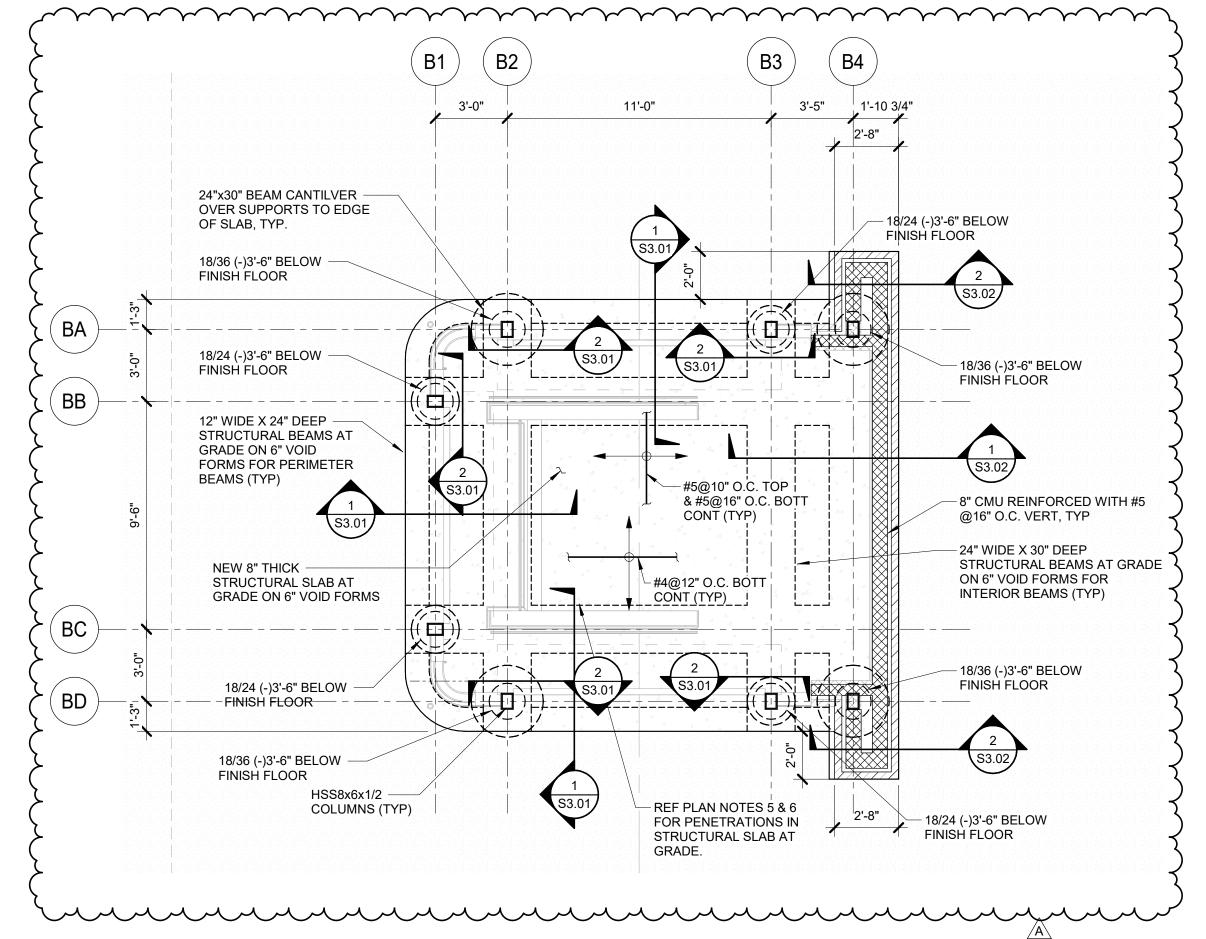
EXTERIOR DETAILS - SECTION

As indicated

A6.021







PLAN NOTES:

- 1. FIN FLOOR ELEVATIONS (TOP OF CONCRETE) EL. 0'-0" (U.N.O). VERIFY DATUM
- ELEVATION WITH ARCHITECT. 2. "18/36" = SHAFT DIA/BELL DIAM FOR DRILLED FOOTINGS
- 3. REFERENCE S3.01 FOR DRILLED PIER SCHEDULE, STANDARD FOUNDATION DETAILS,
- AND VOID FORM NOTES.
- 4. ALL EXPOSED STEEL TO BE HOT DIPPED GALVANIZED. 5. REFERENCE STANDARD DETAILS FOR MAXIMUM SIZE OF VERTICAL SLEEVES CAST IN SLAB. AS WELL AS ADDITIONAL REINFORCEMENT REQUIREMENTS.
- 6. REFERENCE STANDARD DETAILS FOR MAXIMUM SIZE OF LEAVE-OUT CAST IN SLAB, AS WELL AS ADDITIONAL REINFORCEMENT REQUIREMENTS.
- 7. REFERENCE STANDARD DETAILS FOR MAXIMUM SIZE OF HORIZONTAL SLEEVE
- REQUIREMENTS. 8. NO TRENCHING THROUGH STRUCTURAL SLAB AT GRADE UNDER ANY CIRCUMSTANCES.

BAR BUILDING FOUNDATION

THROUGH STRUCTURAL BEAMS, AS WELL AS ADDITIONAL REINFORCEMENT

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Tel 713.429.4949

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Project Name

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Project Number

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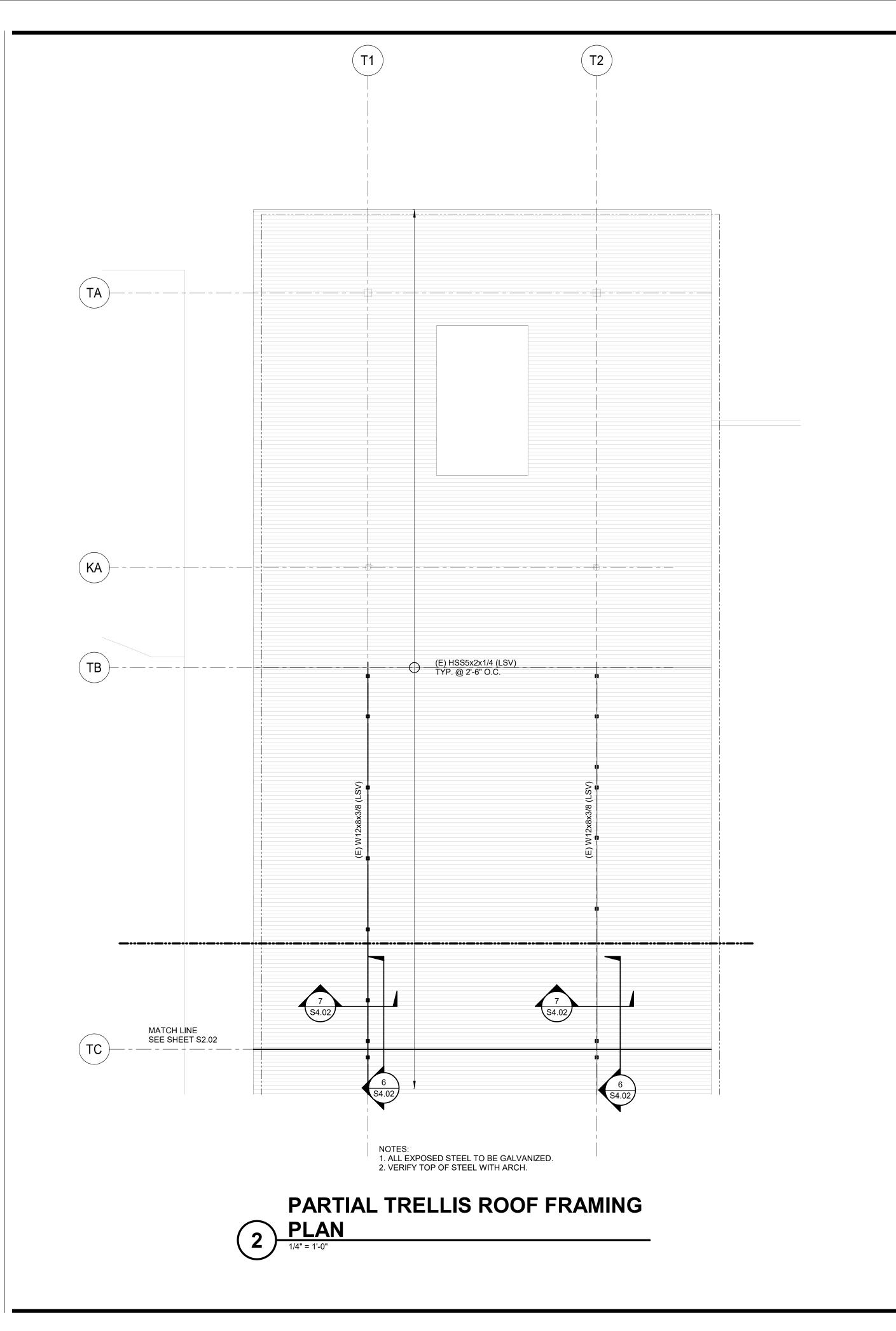
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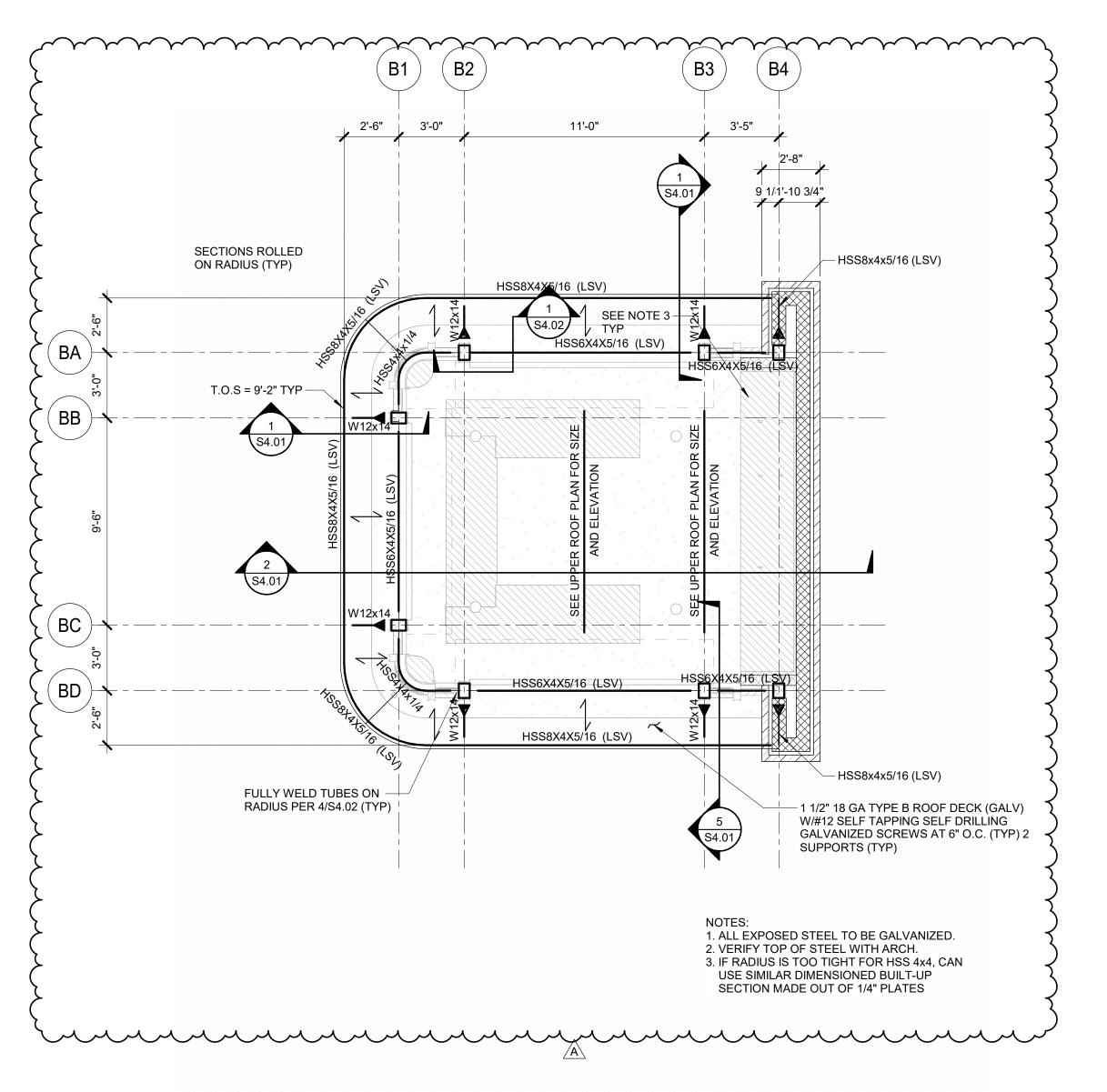
FOUNDATION PLAN

1/4" = 1'-0"









LOWER ROOF FRAMING PLAN

1/4" = 1'-0"



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Market Square Kiosk Improvements

Project Number

Project Name

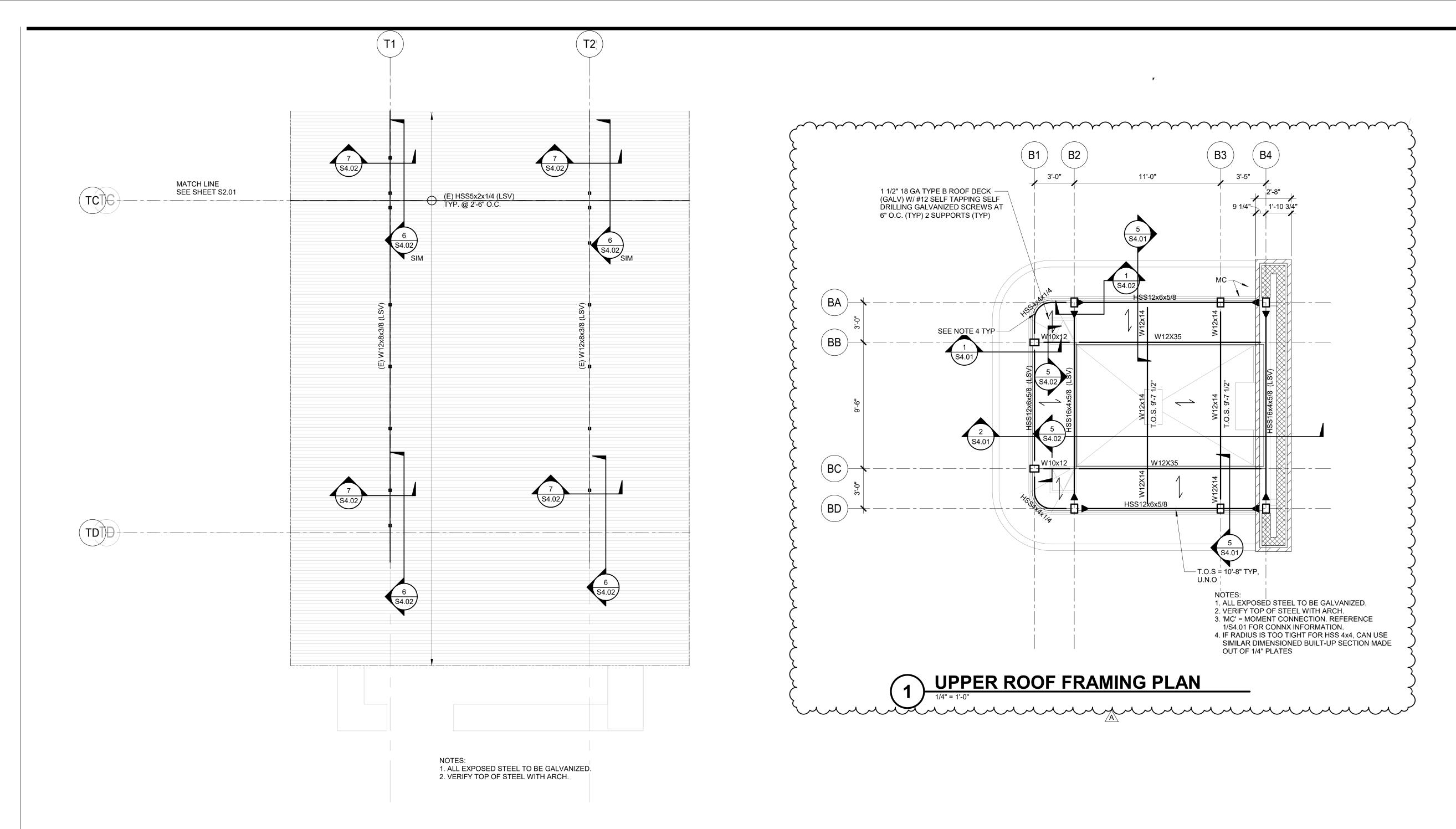
002.9349.000

Description

LOWER ROOF FRAMING PLAN

1/4" = 1'-0"

S2.01



PARTIAL TRELLIS ROOF FRAMING



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Market Square Kiosk Improvements

Project Number

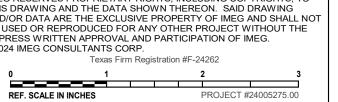
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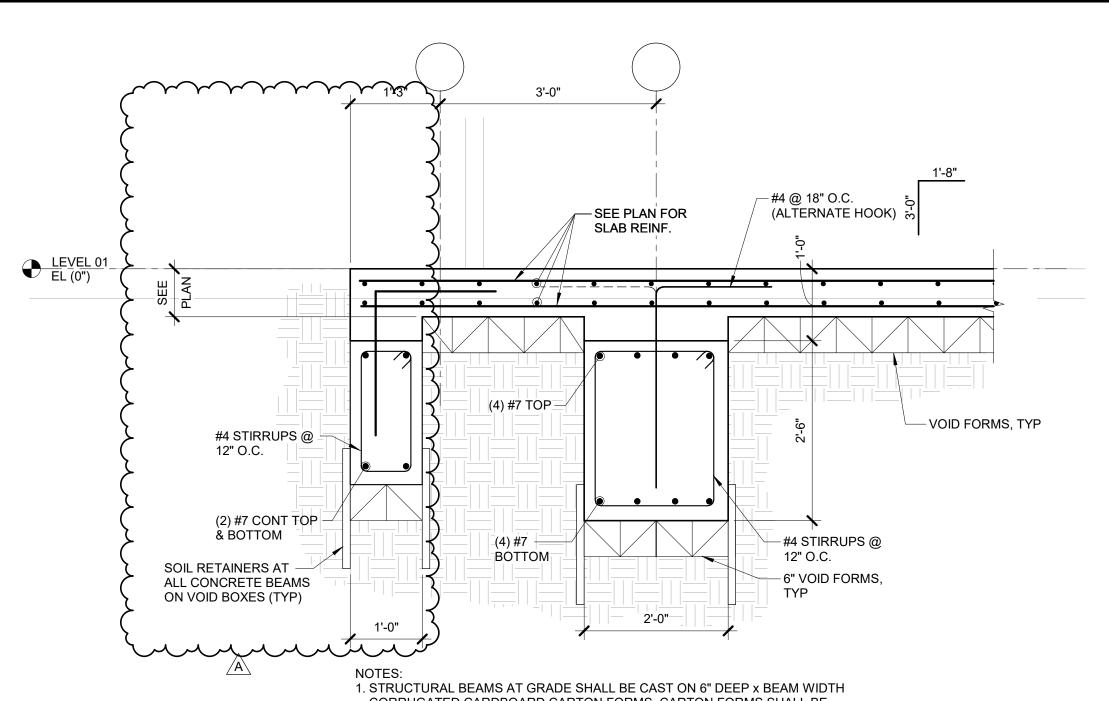
002.9349.000

UPPER ROOF FRAMING PLAN

1/4" = 1'-0"

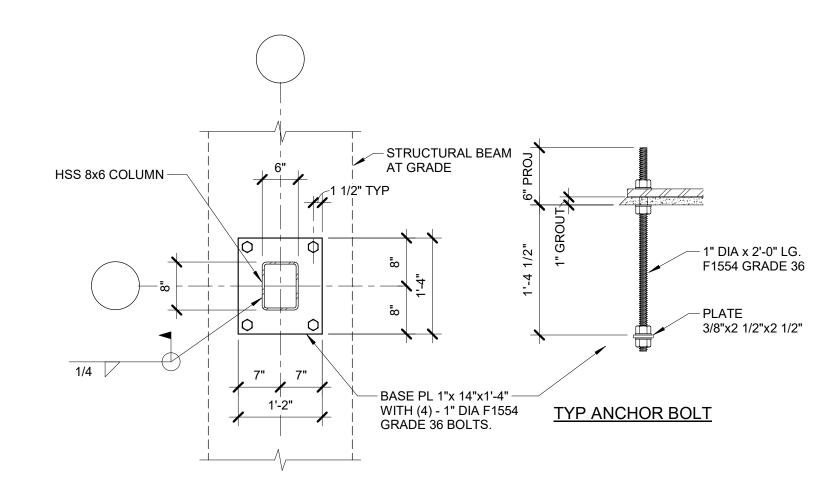
S2.02



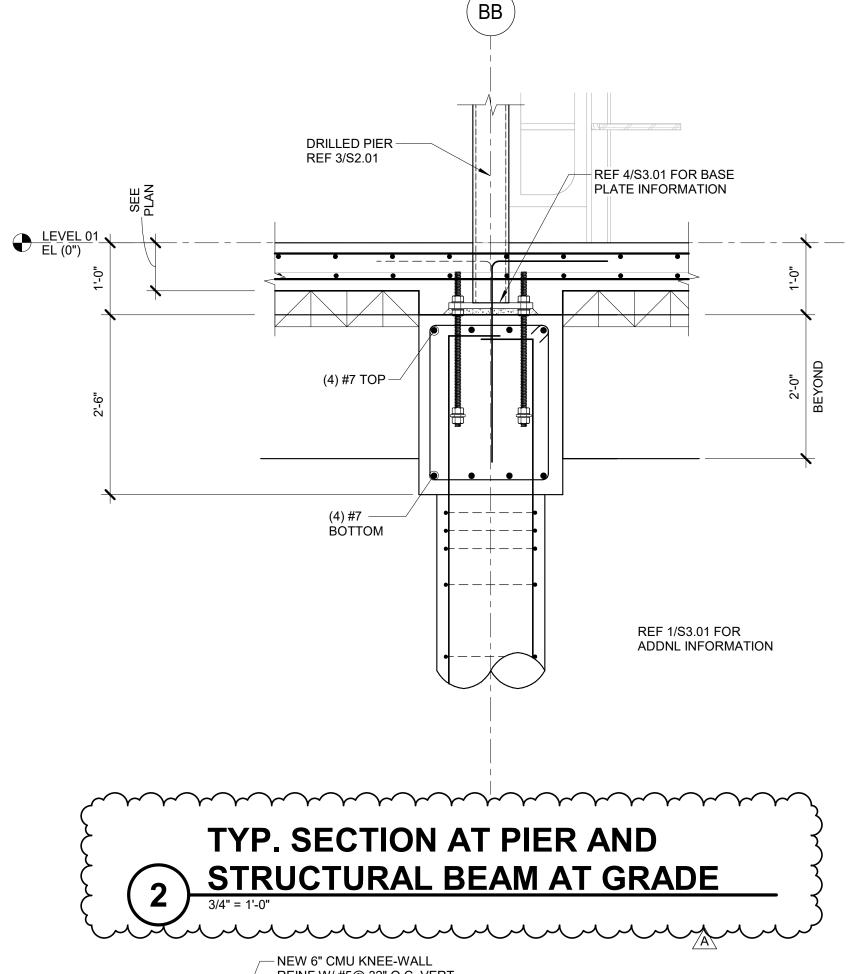


CORRUGATED CARDBOARD CARTON FORMS. CARTON FORMS SHALL BE SUREVOID WAX COATED VERTICAL CELL RECTANGULAR BOXES (OR EQ). TRAPEZOIDAL VOID BOXES SHALL NOT BE USED. DIAGONAL CELL BOXES SHALL NOT BE USED. SOIL RETAINERS SHALL BE USED EACH SIDE OF BEAM TO PREVENT SOIL FROM SLOUGHING OFF INTO VOID. RETAINERS SHALL BE 2" THICK PRECAST CONCRETE, 2" THICK RIGID STYROFOAM, OR OTHER MATERIAL APPROVED BY IMEG 2. STRUCTURAL SLAB ON GRADE SHALL BE CAST ON 6" CORRUGATED CARDBOARD CARTON FORMS. CARTON FORMS SHALL BE WAX COATED VERTICAL CELL RECTANGULAR BOXES (OR EQ). TRAPEZOIDAL VOID BOXES SHALL NOT BE USED. DIAGONAL CELL BOXES SHALL NOT BE USED.

TYPICAL SECTION THROUGH STRUCTURAL SLAB AND BEAMS

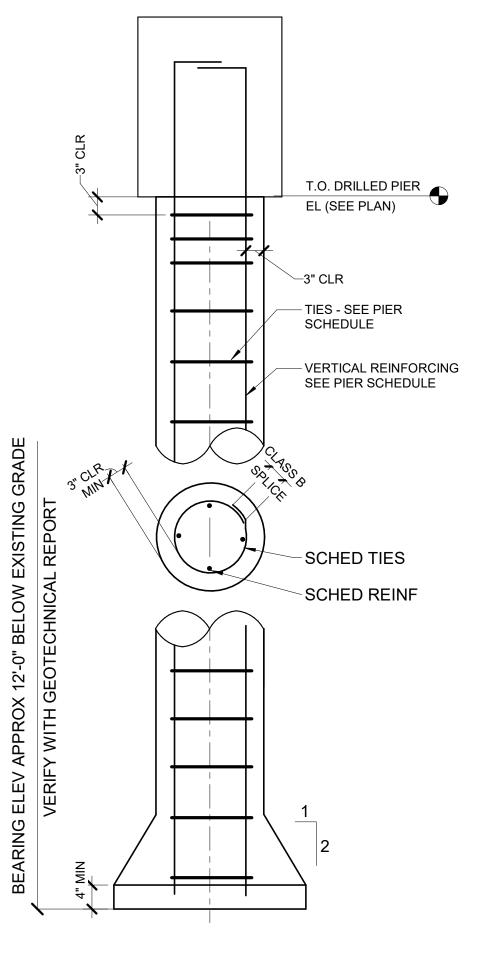


TYPICAL BASE PLATE AND **ANCHOR BOLT DETAIL**



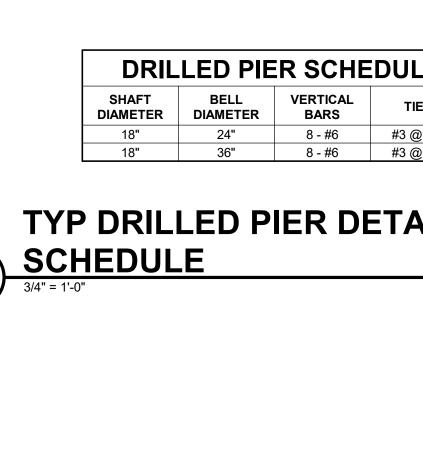
	NEW 6" CMU KNEE-WALL REINF W/ #5@ 32" O.C. VERT. GROUT ALL REINFORCED CELLS (TYP).
CMU BOND BEAM AT TOP W/ (2) -CONT #5	T
VERIFY W/ ARCH 5 3	DRILL & EPOXY VERT REINF INTO EXISTING BEAM USING HILIT HIT- RE 500 V3 INJECTION MORTAR WITH 6" EMBEDMENT. HAMMER DRILLED INSTALLATION PER ESR-3814 (OAE)
EXTENDED BRICK LEDGE TO ALIGN WITH WIDENED	11-0" (VIF)
PORTION BEYOND. #4 @ 12" O.C. (4) #5 CONT	EXISTING BEAM [9-7] (VIF)
4'	DRILL & EPOXY VERT REINF INTO EXISTING BEAM USING HILIT HIT- RE 500 V3 INJECTION MORTAR WITH 4" EMBEDMENT. HAMMER DRILLED INSTALLATION PER ESR-3814 (OAE)

NEW CMU KNEE-WALL & EXTENDED BRICK LEDGE



DRILLED PIER SCHEDULE						
SHAFT DIAMETER	BELL DIAMETER	VERTICAL BARS	TIES			
18"	24"	8 - #6	#3 @ 14"			
18"	36"	8 - #6	#3 @ 14"			

TYP DRILLED PIER DETAIL AND





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Suite 400

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Project Name

Market Square Kiosk Improvements

Project Number

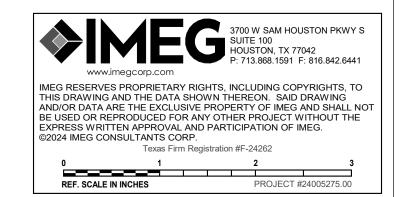
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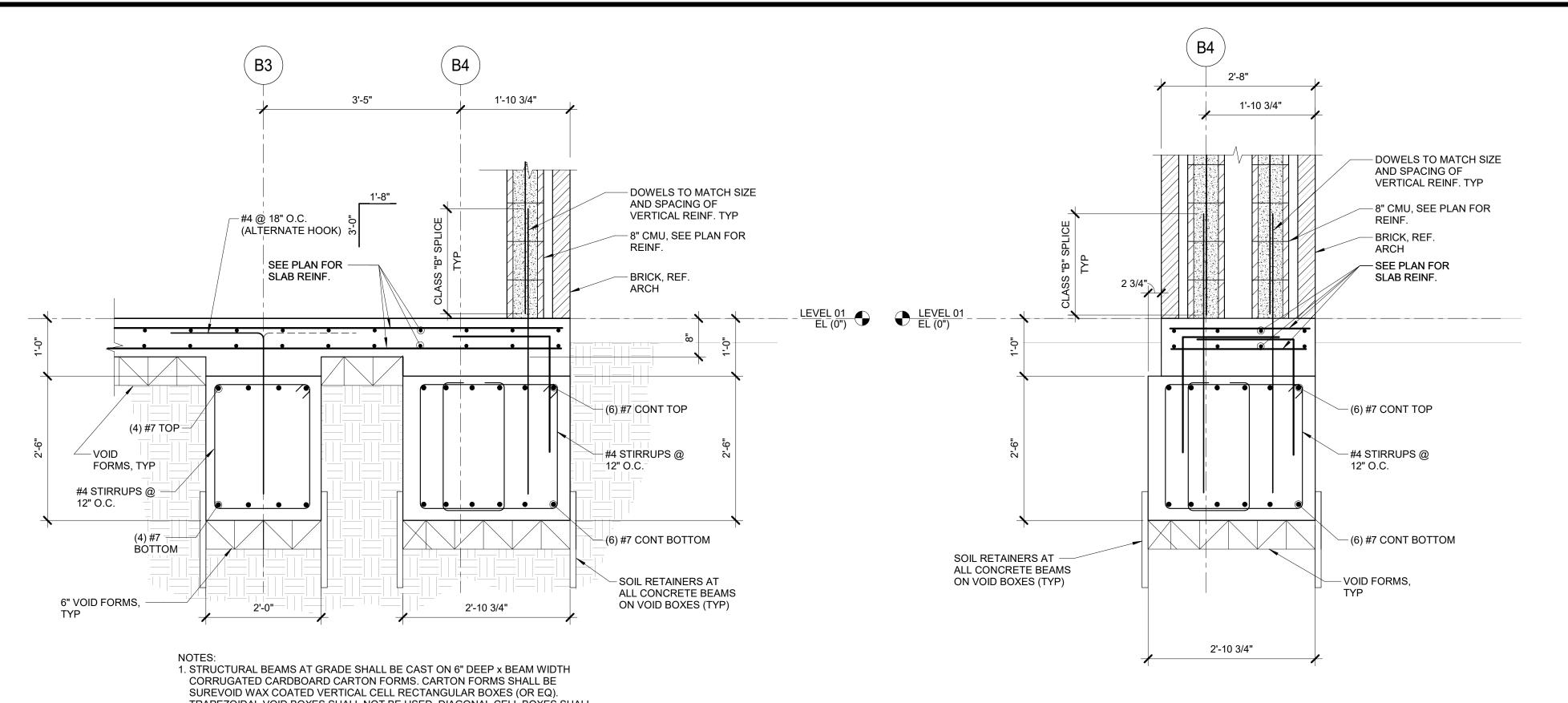
Description

FOUNDATION DETAILS

As indicated

S3.01





TRAPEZOIDAL VOID BOXES SHALL NOT BE USED. DIAGONAL CELL BOXES SHALL NOT BE USED. SOIL RETAINERS SHALL BE USED EACH SIDE OF BEAM TO PREVENT SOIL FROM SLOUGHING OFF INTO VOID. RETAINERS SHALL BE 2" THICK PRECAST CONCRETE, 2" THICK RIGID STYROFOAM, OR OTHER MATERIAL APPROVED BY IMEG. 2. STRUCTURAL SLAB ON GRADE SHALL BE CAST ON 6" CORRUGATED CARDBOARD CARTON FORMS. CARTON FORMS SHALL BE WAX COATED VERTICAL CELL RECTANGULAR BOXES (OR EQ). TRAPEZOIDAL VOID BOXES SHALL NOT BE USED. DIAGONAL CELL BOXES SHALL NOT BE USED.

SECTION THROUGH CMU WALL

3/4" = 1'-0"

SECTION THROUGH DOUBLE CMU WALL

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Market Square Kiosk Improvements

Project Number

Project Name

002.9349.000

Description

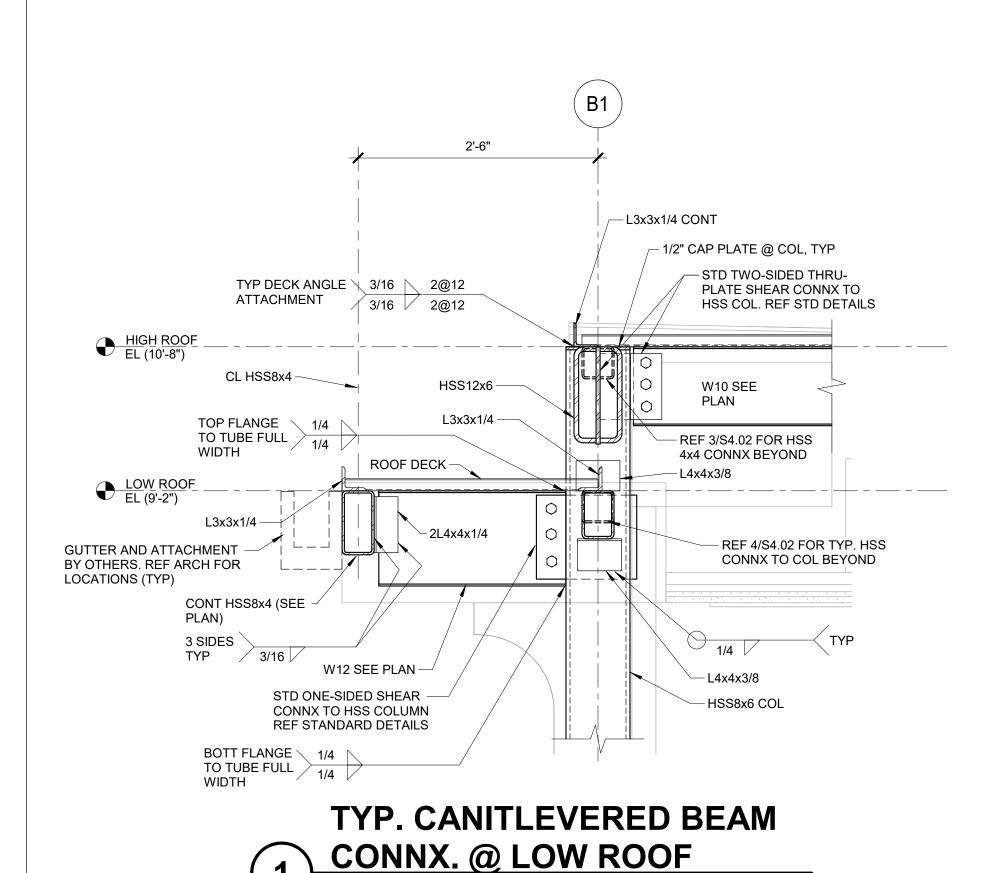
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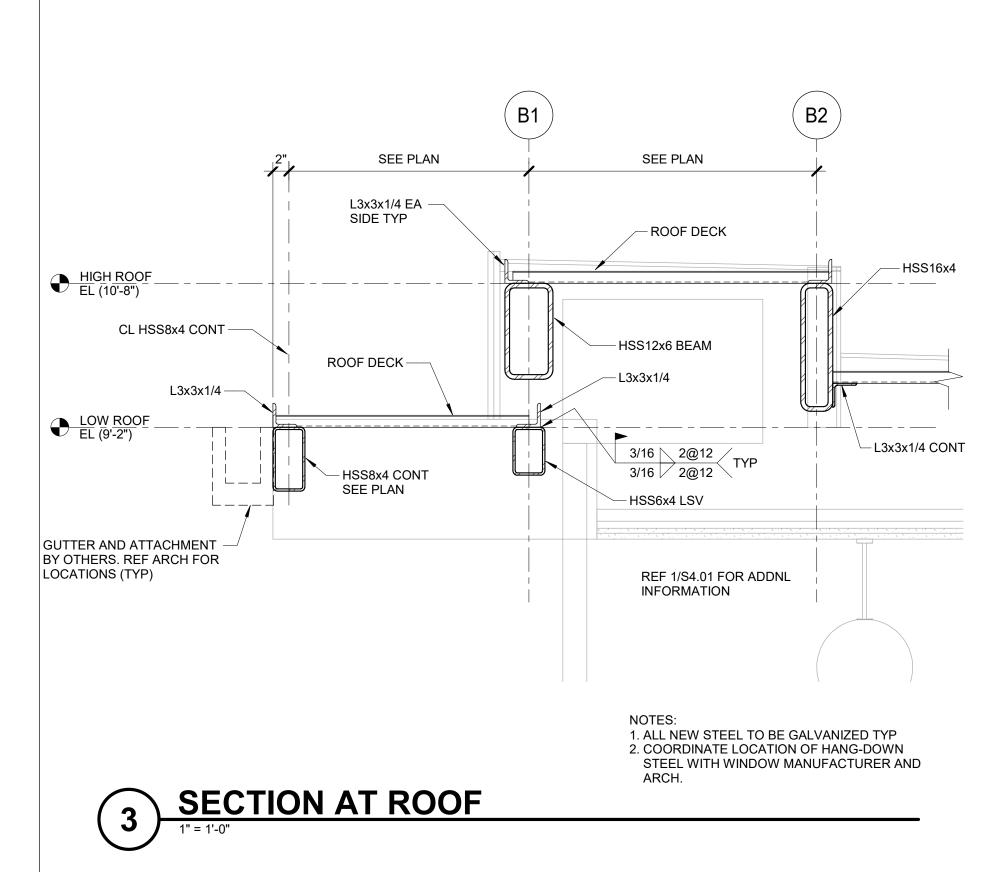
3700 W SAM HOUSTON PKWY S SUITE 100 HOUSTON, TX 77042 P: 713.868.1591 F: 816.842.6441 IMEG RESERVES PROPRIETARY RIGHTS, INCLUDING COPYRIGHTS, TO THIS DRAWING AND THE DATA SHOWN THEREON. SAID DRAWING AND/OR DATA ARE THE EXCLUSIVE PROPERTY OF IMEG AND SHALL NOT BE USED OR REPRODUCED FOR ANY OTHER PROJECT WITHOUT THE ©2024 IMEG CONSULTANTS CORP. 0 1 2 3

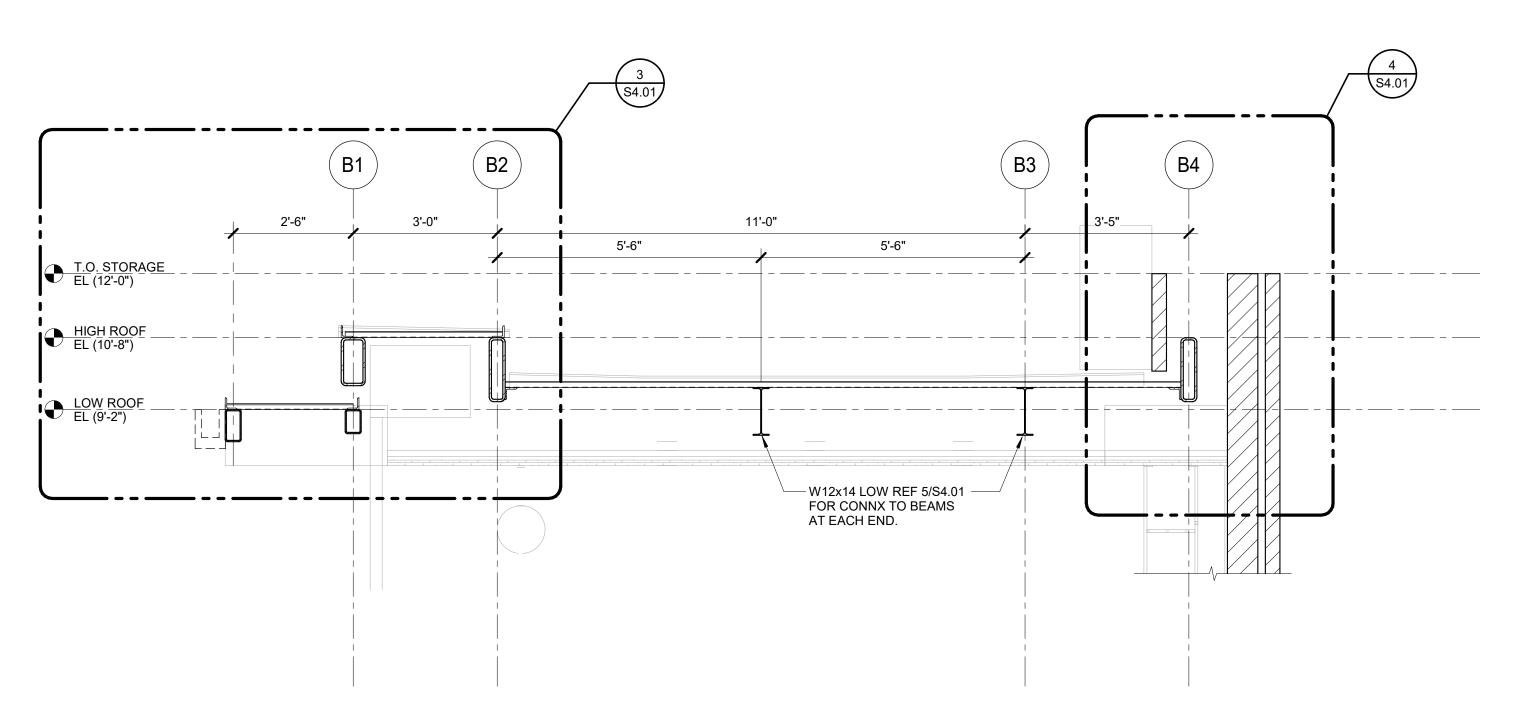
REF. SCALE IN INCHES PROJECT #24005275.00

3/4" = 1'-0"

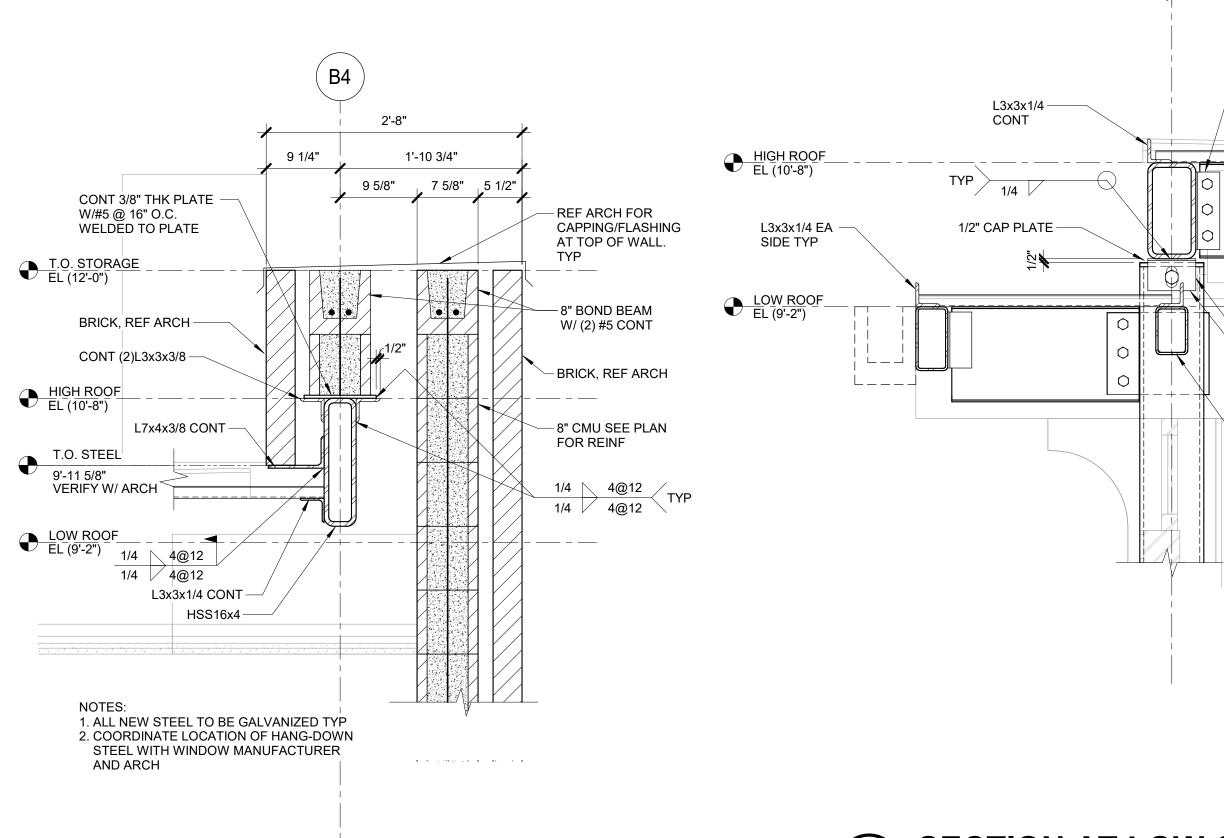




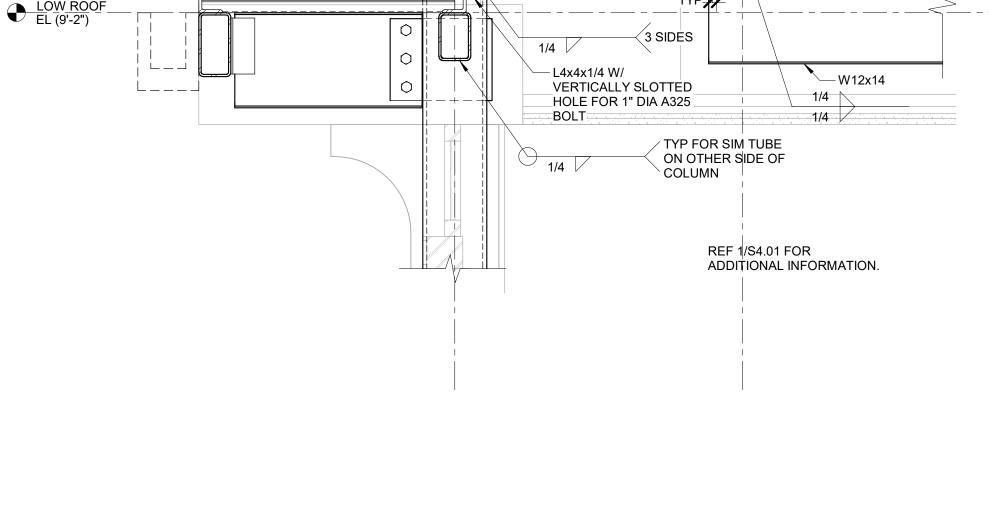




SECTION THROUGH HIGH AND LOW ROOF



SECTION AT ROOF NEAR WALL



(BD)

BC

- L3x3x1/4

-L3x3x1/4

SEE PLAN

- DOUBLE ANGLE ----

SHEAR CONNX. REF STD DETAILS.

ROOF DECK

5 SECTION AT LOW COLUMN





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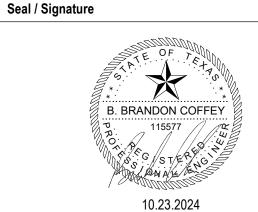
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Project Name

Market Square Kiosk Improvements

Project Number

002.9349.000

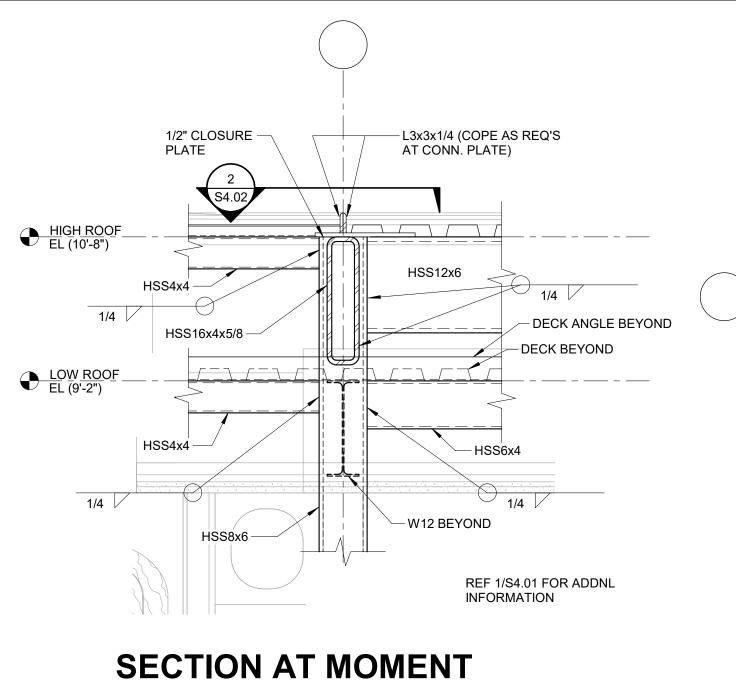
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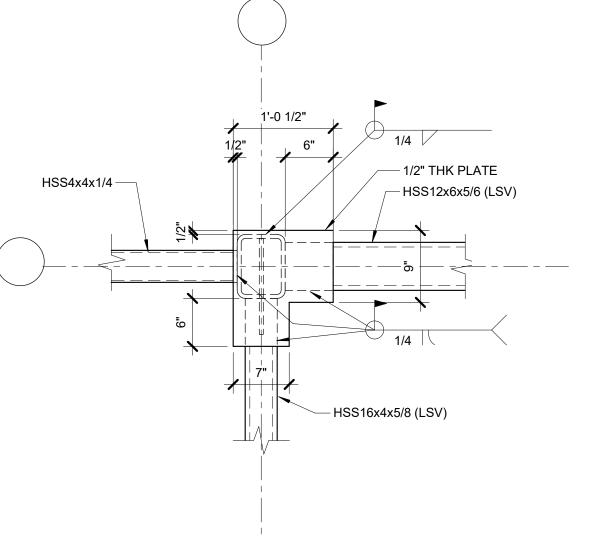
FRAMING DETAILS

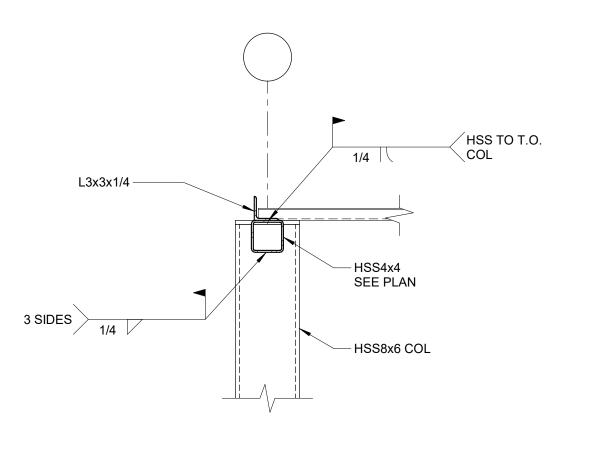
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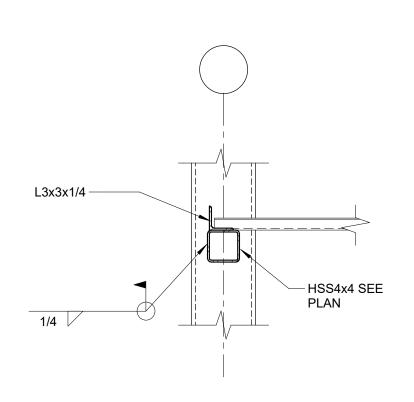
As indicated

S4.01









TOP VIEW OF MOMENT CONN. PLATES 1" = 1'-0"

 (TD)

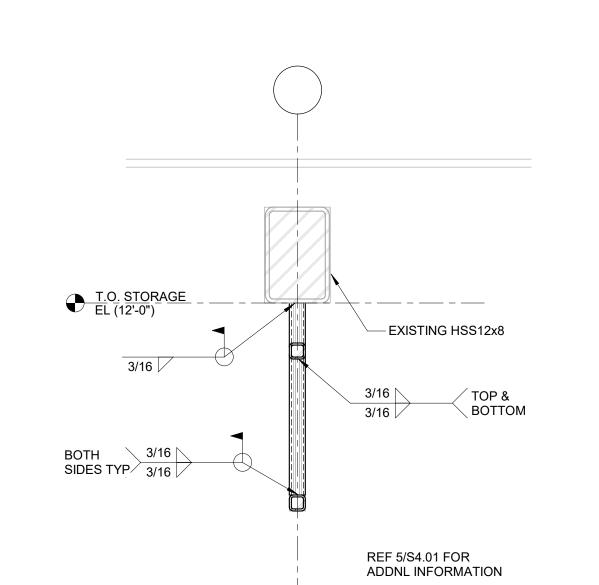
T.O. STORAGE EL (12'-0")

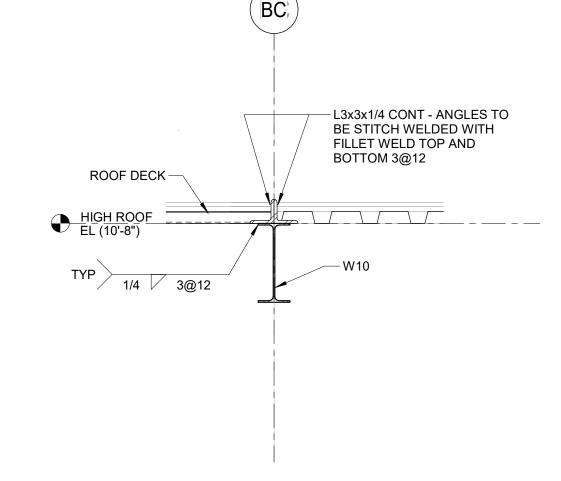
PLATE 3/8"x4"

TYP. HSS4x4 TO COL. CONNX.

TYP. HSS4x4 TO COL CONNX. AT **LOWER ROOF**

3 AT UPPER ROOF





CONNECTION

TYP. DECK SUPPORT AT HIGH

TRELLIS CLERESTORY WINDOW 6 SUPPORT

1/2" = 1'-0"

3/16

3/16

4'-0" O.C. MAX

HIGH HORIZONTAL

VERTICALS (TYP)

HSS 2x2x1/4

WINDOWS AND CONNX BY OTHERS VERTICAL HANG-

DOWNS AT 4'-0" O.C.

- LOW HORIZONTAL HSS2x2x1/4

HSS2x2x1/4

BETWEEN

- EXISTING HSS 12x8

─_ HSS2x2x1/4

(ROLLED)

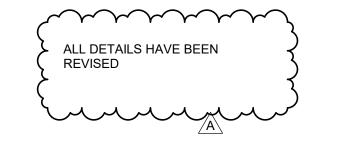
TYP

- CAP PLATE 1/4"x2"x0'-2"

EXISTING HSS2x2

TRELLIS CLERESTORY WINDOW









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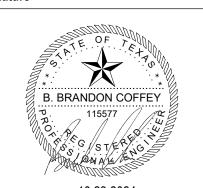
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Project Name

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Project Number

002.9349.000

Description

FRAMING DETAILS

As indicated

S4.02



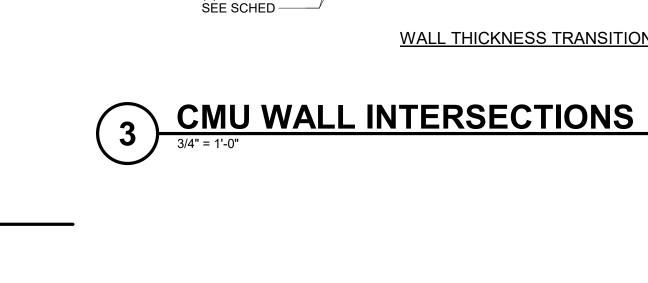
CMU REINFORCING BAR DEVELOPMENT LENGTH (L_d) SCHEDULE f'm=2500 PSI BAR SIZE REINFORCING REMARKS L_d THICKNESS LOCATION #3 12" SINGLE LAYER, #4 16" REINF CENTERED IN WALL #5 25" #4 12" SINGLE LAYER, #5 18" REINF CENTERED #6 34" IN WALL #7 47" #4 12" SINGLE LAYER, #5 14" 10" OR 12" REINF CENTERED #6 26" IN WALL #7 36" #4 16" DOUBLE LAYER, #5 25" 10" OR 12" REINF W/ 2 1/2" #6 46" MIN CLR COVER #7 63"

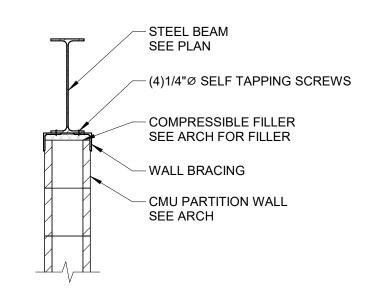
NOTES:

- PROVIDE LAP SPLICE LENGTHS TO MATCH Ld VALUES PROVIDED IN SCHED OR USE MECHANICAL SPLICES ADEQUATE FOR 125% OF SPECIFIED YIELD STRENGTH OF THE BAR.
- 2. WHERE TWO DIFFERENT SIZES OF REINF BARS ARE
- LAPPED, PROVIDE Ld FOR SMALLER REINF BAR. DOWEL EMBED INTO CONCRETE SHALL CONFORM TO THE REQUIREMENTS OF THE CAST-IN-PLACE CONCRETE
- GENERAL NOTES. 4. WHEN EPOXY-COATED REINF BARS ARE USED, INCREASE TABULATED VALUES BY A FACTOR OF 1.5.

f'm=2500 REINFORCING BAR

DEVELOPMENT LENGTH (Ld)
NO SCALE

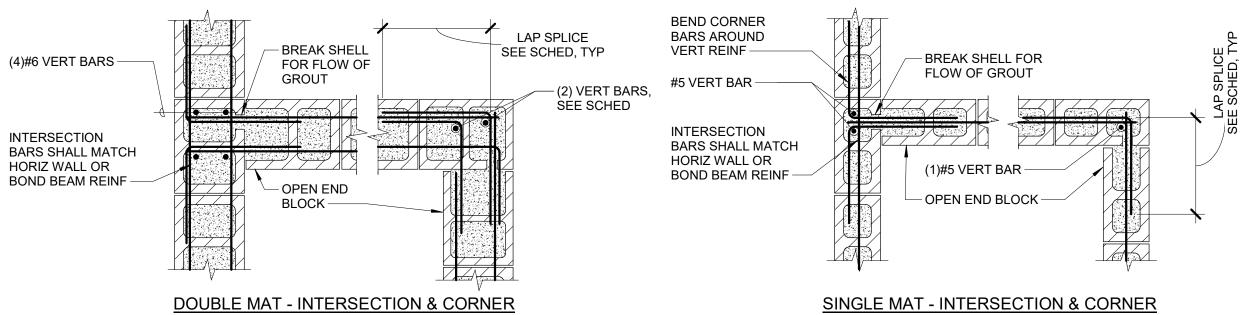


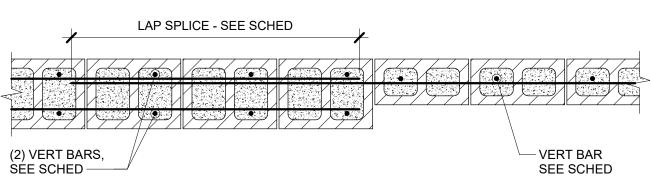


NOTES:

- 1. WALL BRACING (2)L3x3x3/16x0'-6" @ 4'-0".
- 2. PROVIDE THE BRÁCING ON ALL INTERIOR NON-STRUCTURAL CMU PARTITION WALLS. SEE ARCH DWGS FOR LOCATION OF ALL WALLS.

NON-STRUCTURAL CMU WALL BRACING TO STEEL





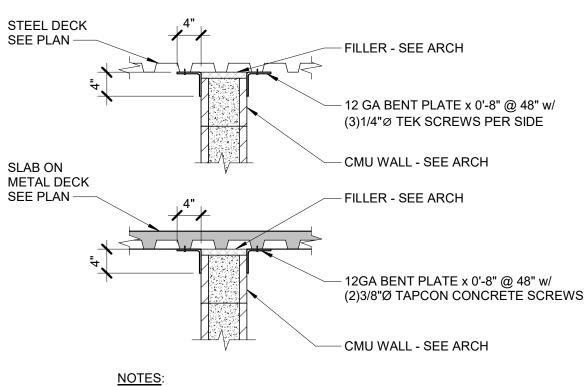
WALL THICKNESS TRANSITION

NOTES:

1. TYP VERT REINF AND GROUT NOT SHOWN FOR CLARITY. 2. DETAIL ASSUMES CORNER IS CONSTRUCTED IN RUNNING BOND WITH UNITS INTERLOCKED.

> **NON-STRUCTURAL CMU WALL** BRACING TO DECK/SLAB
>
> 3/4" = 1'-0"

ALL WALLS.



1. WALL BRACING (2)L3x3x3/16x0'-6" @ 4'-0". 2. PROVIDE THE BRACING ON ALL INTERIOR NON- STRUCTURAL CMU PARTITION WALLS. SEE ARCH DWGS FOR LOCATION OF Tel 713.844.0000 Fax 713.844.0001

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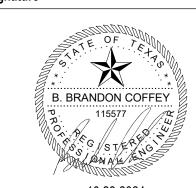
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ackslash Date Description

A 10.24.2024 ADDENDUM 1

Seal / Signature



Project Name

Market Square Kiosk Improvements

Project Number

002.9349.000

Description

STANDARD CMU DETAILS

3/4" = 1'-0"

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REF. SCALE IN INCHES PROJECT #24005275.00

	VRF CASSETTE SCHEDULE												
EQUIPMENT			UNIT	•			MBH	МВН	ELECT DA		(LBS.)		
TYPE	NUMBER	SERVICE	LOCATION	MANUFACTURER	MODEL	CFM	MIN. O.A. CFM	COOLING CAPACITY	HEATING CAPACITY	VOLTAGE	PHASE	OPERATIONAL WEIGHT	NOTES
AHU	1	BAR	CEILING	FRIEDRICH	FPHMW18A3B	294	0	12	13.5	208	1	40	ALL
AHU	2	BAR	CEILING	FRIEDRICH	FPHMW18A3B	294	0	12	13.5	208	1	40	ALL

NOTES:

- PROVIDE WITH ELECTRICAL DISCONNECT.
- SELECT DIRECT DRIVE FCU FAN AT MEDIUM SPEED.

PROVIDE WITH LOW AMBIENT STANDARD.

- PROVIDE DRAIN PAN FLOAT SWITCH. INTERLOCK SWITCH WITH UNIT TO SHUT DOWN FCU UPON PRIMARY DRAIN BECOMING RESTRICTED.
- PROVIDE WALL MOUNTED THERMOSTAT AS PER VRF SPECIFICATIONS. PROVIDE WITH 1" WASHABLE FILTER.
- UNIT SHALL HAVE SELF-DIAGNOSTIC FUNCTION, AUTO-RESTART, AND GROUP CONTROL.
- PROVIDE TOUCH SCREEN INTERFACE TO ALLOW SCHEDULING OF ALL UNITS AND WEB INTERFACE OVER A CUSTOMER SUPPLIED IP ADDRESS.

EQUIF	PMENT		UNIT TY	T TYPE ELEC			ELEC.	CTRICAL DATA 6			
ГҮРЕ	NUMBER	SERVICE	MANUFACTURER	MODEL	CFM	MOTOR	VOLTAGE	PHASE	FLA	OPERATIONAL WEIGHT (LBS.)	NOTES
AC	1	BAR	MARS	PH836-1UD-PW	900	1/6 HP	208	1	1.2	85	ALL
AC	2	BAR	MARS	PH836-1UD-PW	900	1/6 HP	208	1	1.2	85	ALL
AC	3	BAR	MARS	PH836-1UD-PW	900	1/6 HP	208	1	1.2	85	ALL
AC	4	BAR	MARS	PH836-1UD-PW	900	1/6 HP	208	1	1.2	85	ALL
AC	5	BAR	MARS	PH836-1UD-PW	900	1/6 HP	208	1	1.2	85	ALL
AC	6	BAR	MARS	PH836-1UD-PW	900	1/6 HP	208	1	1.2	85	ALL
AC	7	BAR	MARS	PH836-1UD-PW	900	1/6 HP	208	1	1.2	85	ALL
AC	8	BAR	MARS	PH836-1UD-PW	900	1/6 HP	208	1	1.2	85	ALL
AC	9	KIOSK	MARS	PH1048-1U-D	1632	1/2 HP	208	1	1.2	65	ALL
AC	10	KIOSK	MARS	PH1036-1U-D	1460	1/2 HP	208	1	1.2	65	ALL
710	11	KIOSK	MARS	PH1048-1U-D	1632	1/2 HP	208	1	1.2	60	ALL

EQUIP	PMENT			OOLED CONDENSING UNIT SO			ELECTRICAL DATA					BS.)	
TYPE	NUMBER	SERVICE	LOCATION	MANUFACTURER	MODEL	TOTAL CAPACITY (MBH)	EER	VOLTAGE	PHASE	MCA	MOCP	OPERATIONAL WEIGHT (LB	NOTES
CU	1	AHU-1, AHU-2	ROOF	FRIEDRICH	FPHFR24A3A	1920	12.5	208	1	25	30	155	ALL
NOTES: 1. MOUNT ON ROOF. 2. MAINTAIN ALL MANUFACTUER REQUIRED CLEARANCES. 3. PROVIDE WITH VARIABLE SPEED COMPRESSORS. 4. PROVIDE WITH ELECTRICAL DISCONNECT SWITCH.													



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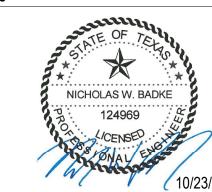
Tel 713.682.6390

△ Date Description

Tel 832.714.2568

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Seal / Signature



Project Name

Market Square Park Kiosk Improvements

Project Number

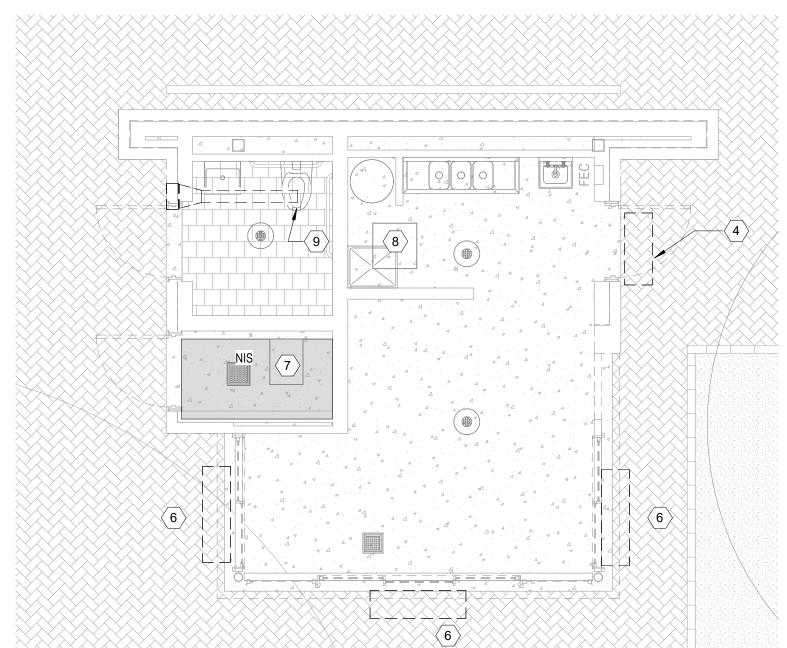
H24233

Description

MECHANICAL SCHEDULES

Scale

M0.02



GENERAL NOTES

- TO SUBMITTING BIDS. ANY ADDITIONAL WORK REQUIRED ASSOCIATED WITH FAILURE TO PERFORM A FIELD SURVEY PRIOR TO SUBMITTING BIDS SHALL BE AT NO ADDITONAL COST TO THE OWNER OR ENGINEER. CONTRACTOR SHALL REPORT ANY DISCREPANCIES, OMISSIONS, OR INCONSISTENCIES ON THE DRAWINGS TO THE ENGINEER
- FOR VERIFICATION BEFORE STARTING CONSTRUCTION. OWNER AND ENGINEER ARE NOT RESPONSIBLE FOR ANY ERRORS IN TIMELY MANNER.
- CONTRACTOR SHALL COORDINATE ALL DISCIPLINES PRIOR TO INSTALLATION.
- THE CONTRACTOR IS TO PROVIDE COORDINATED SHOP DRAWINGS FOR INSTALLATION OF ALL SYSTEMS. WHERE REWORK IS REQUIRED DUE TO LACK OF COORDINATION IN THE SHOP DRAWING STAGE OR INSTALLATION, IT SHALL BE AT THE CONTRACTORS' EXPENSE.

KEYNOTES
LOCATE CONDENSING UNIT ON ROOF. COORDINATE EXACT LOCATION WITH BUILDING ENGINEER AND EXISTING CONDITION ROUTE REFRIGERANT LINES THROUGH ROOF TO ASSOCIATED CEILING MOUTNED AIR HANDLERS.
LOCATE AIR HANDLING UNIT CASETTE IN CEILING. FIELD COORDINATE EXACT LOCATION WITH EXISTING CONDITIONS AND BUILDING ENGINEER. ROUTE REFRIGERANT LINES UP TO CONDENSING UNIT ON ROOF. ROUTE 3/4" CONDENSATE TO FLOOF DRAIN.
NEW AIR CURTAIN MOUNTED PER MANUFACTURERS INSTRUCTIONS.
EXSITING AIR CURTAIN TO REMAIN.

RELOCATE EXISTING LOUVER. ROUTE DUCT AS NECESSARY TO CONNECT EXISTING DUCT TO NEW LOUVER LOCATION.

FAN COIL UNIT AND ASSOCIATED DUCTWORK, LOUVER, AND AIR DEVICES EXISTING TO REMAIN.

DEMO EXISTING AIR CURTAIN.

EXHAUST FAN EXISTING TO REMAIN.

CONDENSING UNIT ON ROOF EXISTING TO REMAIN.

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Project Name

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Project Number

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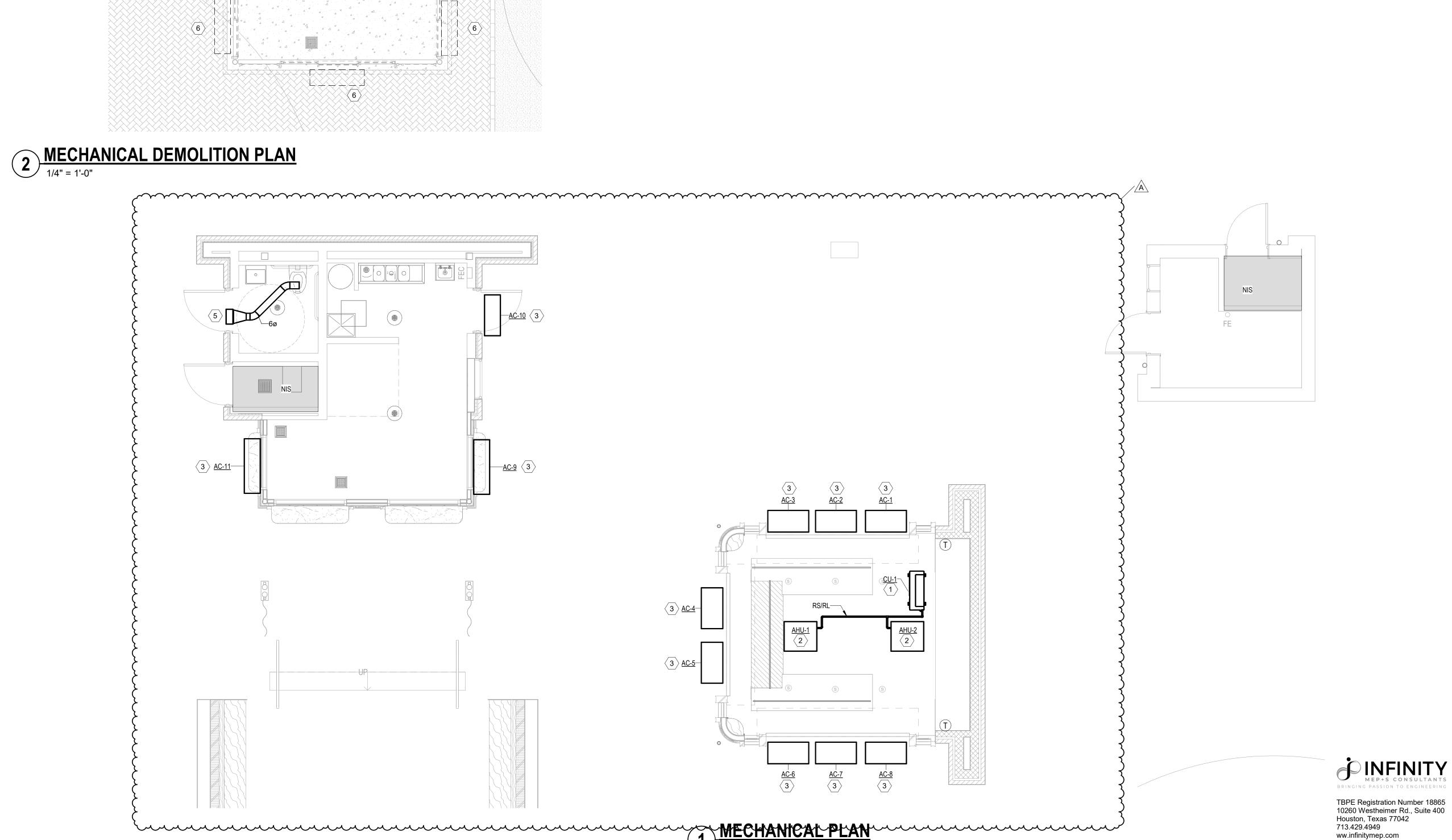
Description

MECHANICAL PLAN

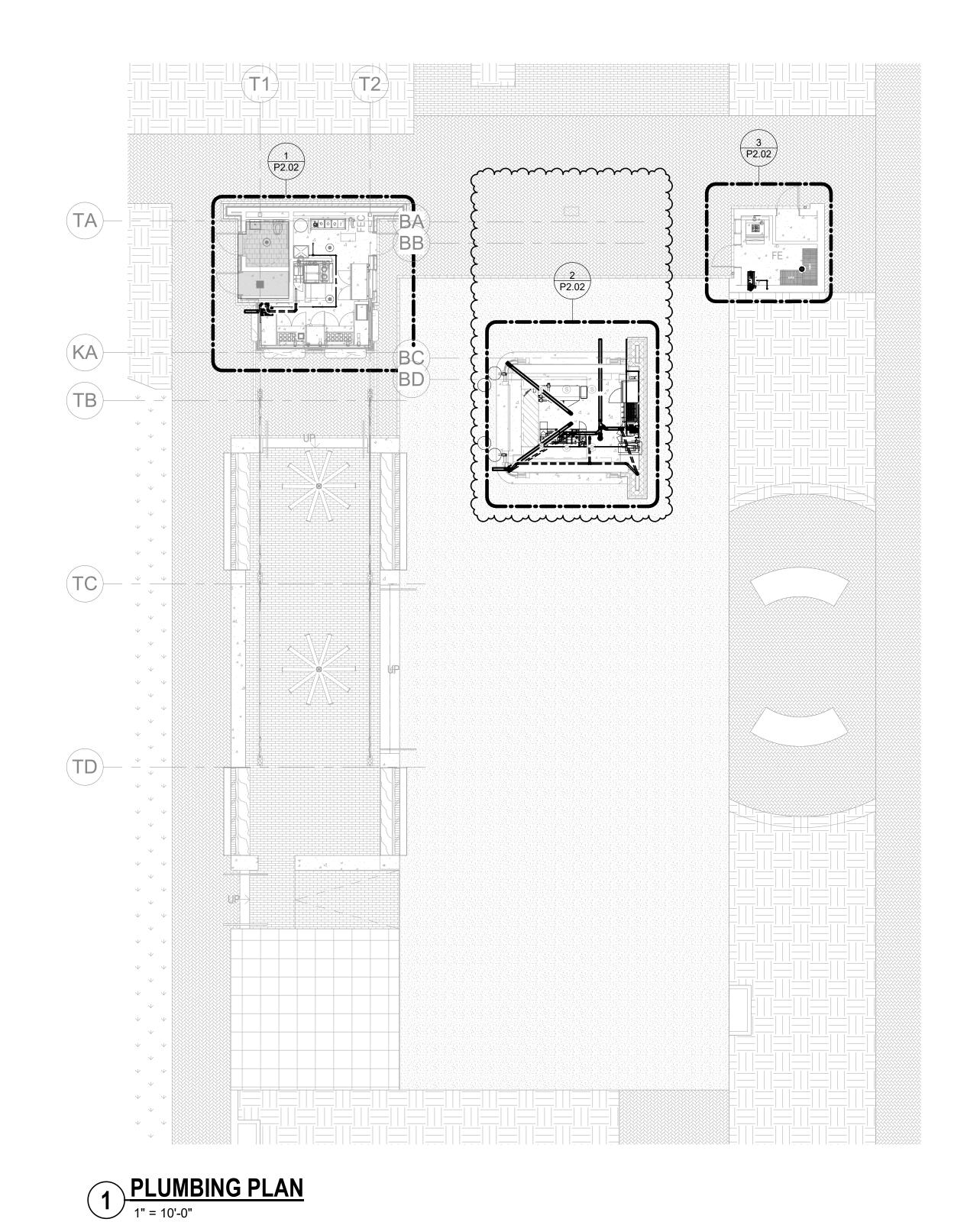
Scale

1/4" = 1'-0"

M2.01



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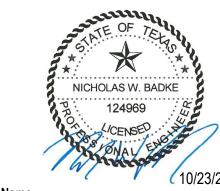
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Project Name

Market Square Park Kiosk Improvements

Project Number

H24233

Description

PLUMBING FLOOR PLAN

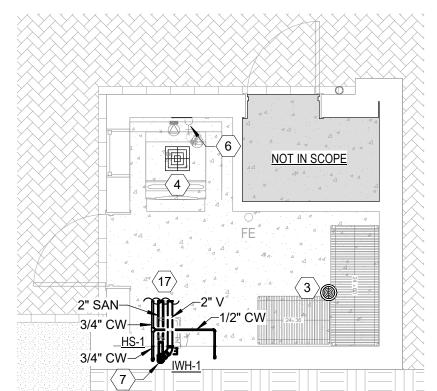
1" = 10'-0"

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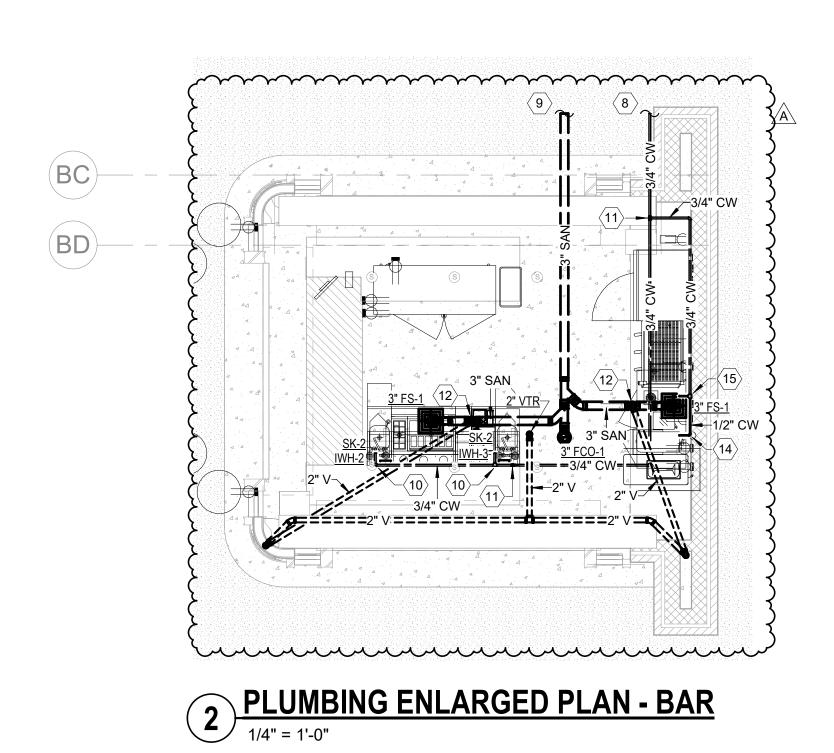
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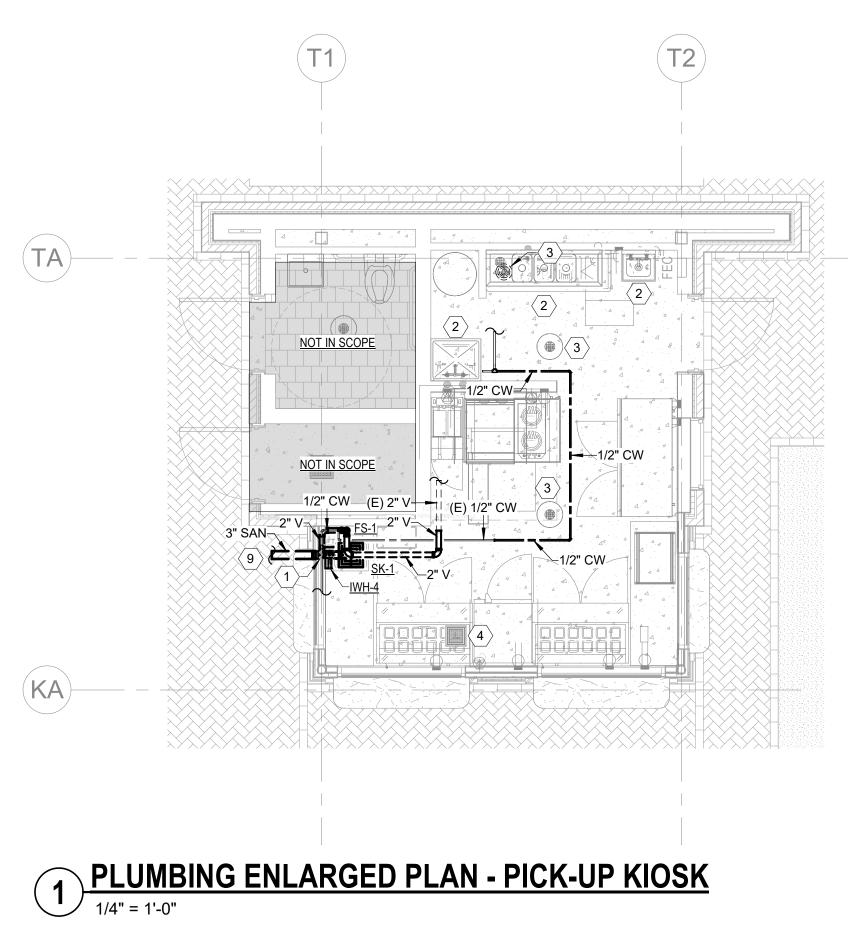
P2.01

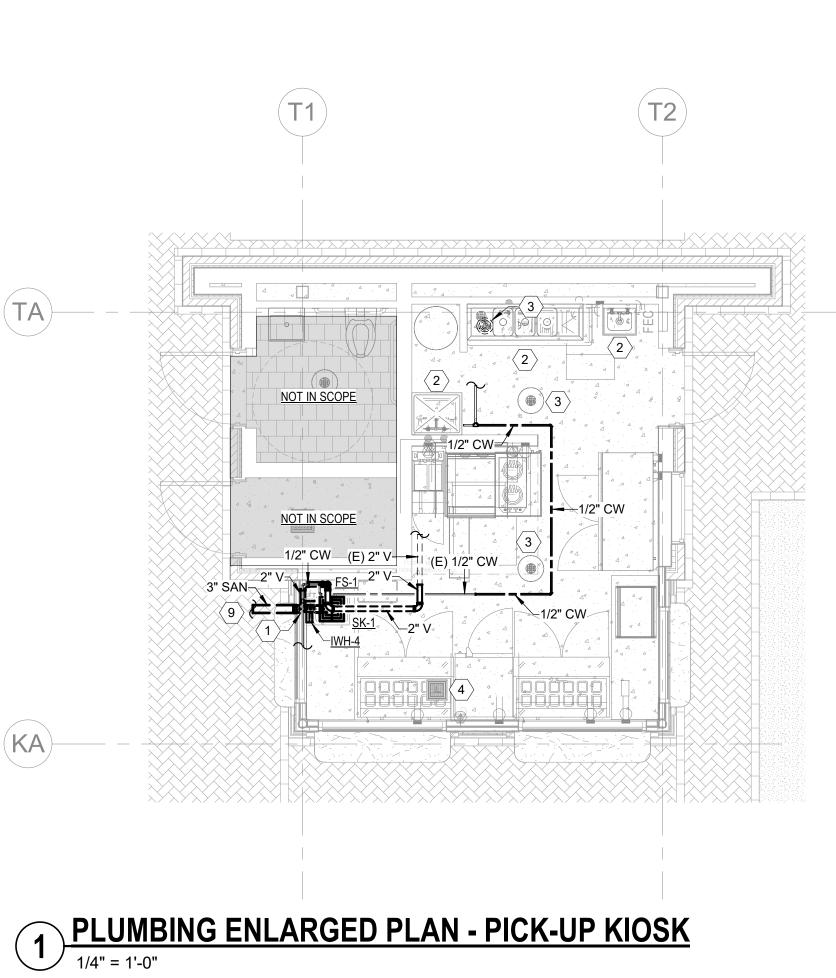


3 PLUMBING ENLARGED PLAN - STORAGE

1/4" = 1'-0"







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KEYNOTES

CONTEXTINE MAKIL BOX FO REMAIN THEID VERIFMEXACT COGAMON.

ROUTE 2" SANITARY UP THROUGH SLAB BELOW TO SINK DRAIN CONNECTION POINT, ROUTE 2" VENT UP WITHIN WALL INTO CEILING SPACE. ROUTE 3/4" COLD WATER DOWN WITHIN WALL TO SINK AND INSTANTANEOUS WATER HEATER WATER

CONNECTION POINT. EXTEND 3/8" HOT WATER FROM INSTANTANEOUS WATER HEATER TO SINK WATER CONNECTION POINT.

CONNECT NEW 3/4" DOMESTIC WATER LINE TO EXISTING WATER SYSTEM. CONTRACTOR SHALL FIELD VERIFY EXACT SIZE,

CONNECT NEW 3" SANITARY TO EXISTING SANITARY SYSTEM. CONTRACTOR SHALL FIELD VERIFY EXACT SIZE, LOCATION, AND

ROUTE 2" SANITARY TO NEARBY FLOOR DRAIN. ROUTE 3/4" COLD WATER THROUGH MILLWORK TO SINK AND INSTANTANEOUS

ROUTE 3/4" COLD WATER UP THROUGH SLAB BELOW TO BELOW COUNTER LEVEL. EXTEND 3/4" COLD WATER AROUND COUNTER

WATER HEATER WATER CONNECTION POINTS. EXTEND 3/8" HOT WATER FROM INSTANTANEOUS WATER HEATER TO SINK

ROUTE 2" SANITARY UP THROUGH SLAB ABOVE TO FLOOR SINK CONNECTION POINT. ROUTE 2" UP FROM CONNECTION TO

ROUTE 1/2" COLD WATER TO RINSER STATION WATER CONNECTION POINT. CONTRACTOR SHALL PROVIDE BFP-1 PRIOR TO

CONNECT NEW 2" SANITARY, 2" VENT, AND 3/4" COLD WATER TO EXISTING PIPING SYSTEMS. CONTRACTOR SHALL FIELD VERIFY

SANITARY SERVING FLOOR SINK AND ROUTE BELOW GRADE TO RISER IN WALL

EXACT SIZE LOCATION, AND ELEVATION OF EXISTING PIPING PRIOR TO COMMENCING NEW-WORK

the the transmission of th

MAY ROUTE 412 COLD WATER TO COFFEETE MAKER WATER CONNECTION POINT. CONTRACTOR SHALL PROMDE BEPT PRIOR TO

TAILPIECE TO FLOOR SINK. PROVIDE AIR GAP FITTING FOR INDIRECT DRAIN. EXISTING PLUMBING FIXTURE TO REMAIN. FIELD VERIFY EXACT LOCATION. EXISTING FLOOR DRAIN TO REMAIN. FIELD VERIFY EXACT LOCATION.

EXTEND 3/8" COLD WATER FROM WATER LINE SERVING SINK TO COFFEE MAKER.

ELEVATION OF EXISTING PIPING PRIOR TO COMMENCING NEW WORK.

WITHIN MILLWORK TO SERVE COUNTERTOP FIXTURES.

CONNECTING TO EQUIPMENT.

CONNECTING TO EQUIPMENT.

LOCATION, AND ELEVATION OF EXISTING PIPING PRIOR TO COMMENCING NEW WORK.

5 NOT USED.

ROUTE 2" SANTIARY UP THROUGH SLAB BELOW TO FLOOR SINK DRAIN CONNECTION POINT. ROUTE 2" VENT UP WITHIN WALL INTO CEILING SPACE AND CONNECT TO VENT SYSTEM. ROUTE 1/2" COLD WATER THROUGH WALL FROM EXISTING WATER LINE TO SINK WATER CONNECTION POINT. ROUTE 1/2" HOT WATER THROUGH WALL TO SINK WATER CONNECTION POINT. ROUTE SINK

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Project Name

Market Square Park Kiosk Improvements

Project Number

H24233

Description

PLUMBING ENLARGED PLANS

1/4" = 1'-0"

P2.02

KEYNOTES

- CONNECT NEW 3" STORM TO EXISTING STORM SYSTEM. CONTRACTOR SHALL FIELD VERIFY EXACT SIZE, LOCATION, AND ELEVATION OF EXISTING PIPING PRIOR TO COMMENCING NEW WORK.
- OVERFLOW STORM DRAIN SHALL DISCHARGE ABOVE GRADE IN VISIBLE LOCATION. PROVIDE HINGED DOWNSPOUT NOZZLE
- COVER AT STORM LINE OUTLET. ROUTE 3" STORM LINE DOWN FROM ROOF DRAIN. ROUTE WITHIN CEILING TO RISER IN EXTERIOR WALL.

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Project Name

Market Square Park Kiosk Improvements

Project Number

H24233

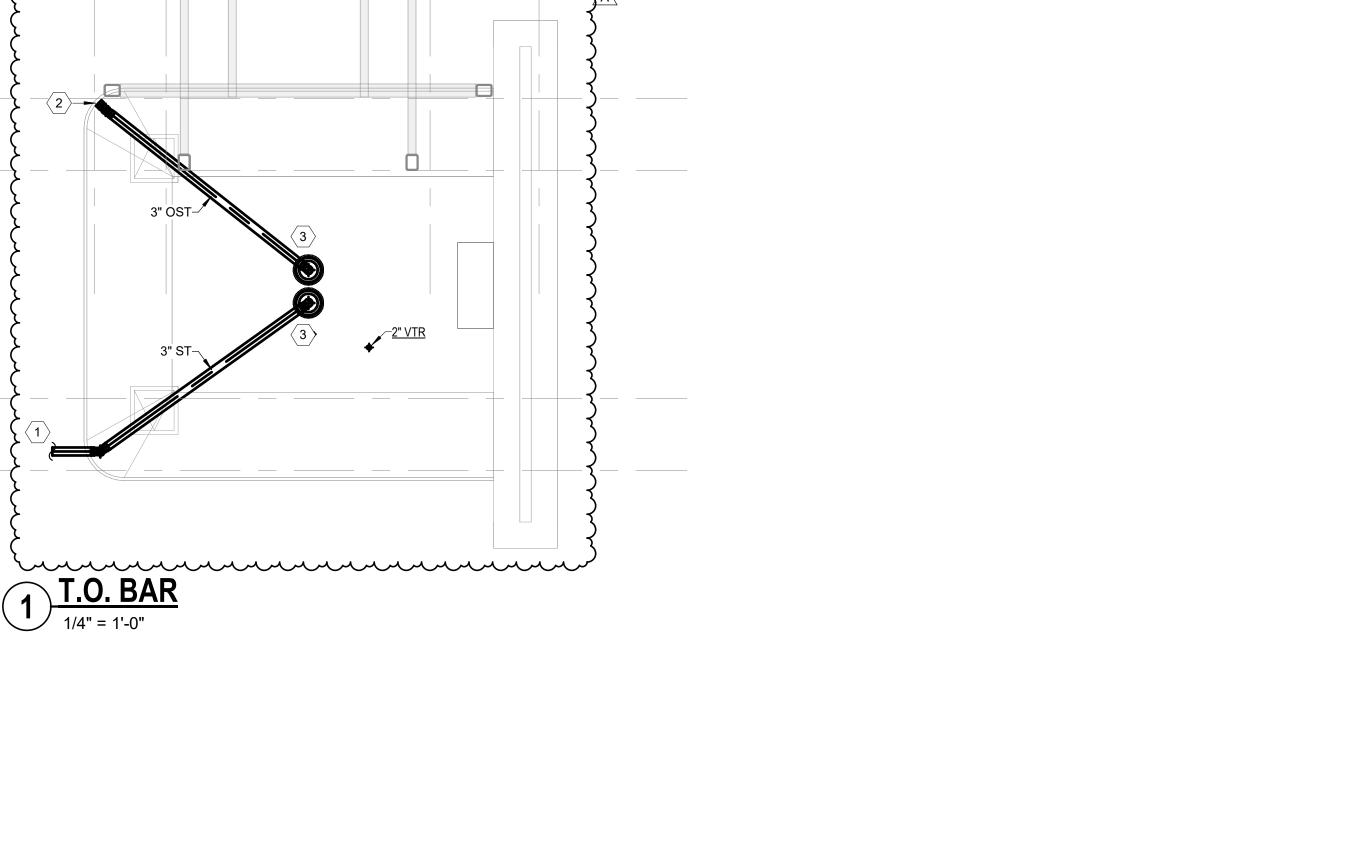
Description

PLUMBING ROOF PLAN

Scale

1/4" = 1'-0"

P3.01



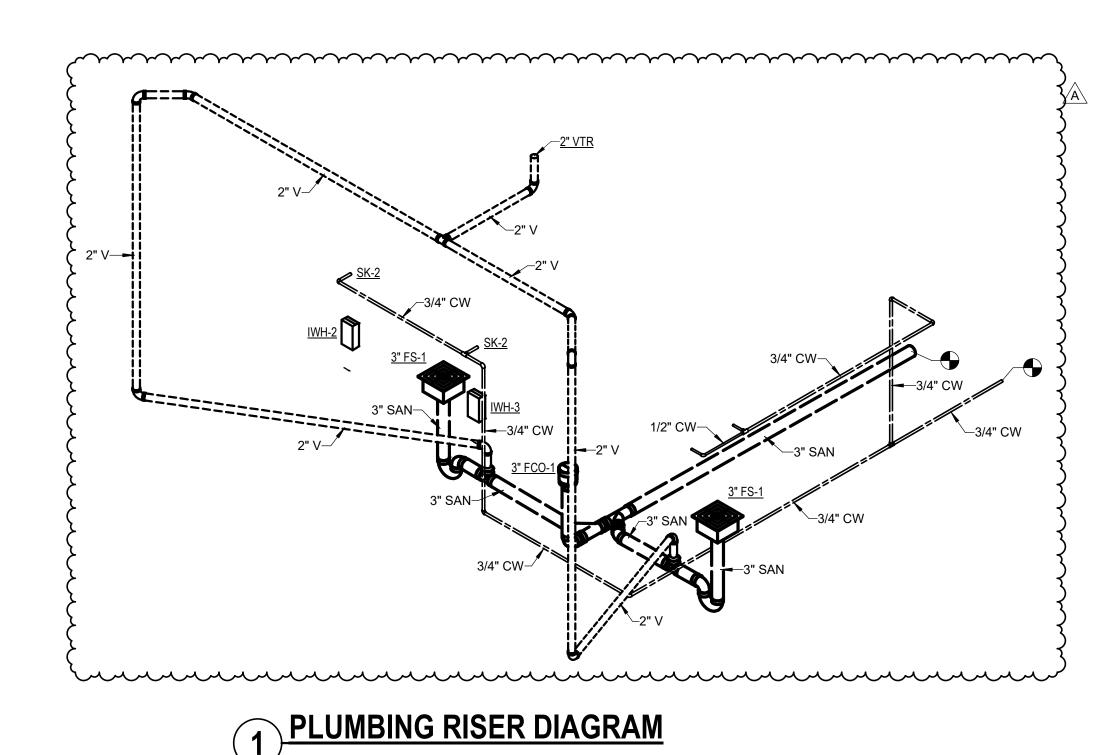
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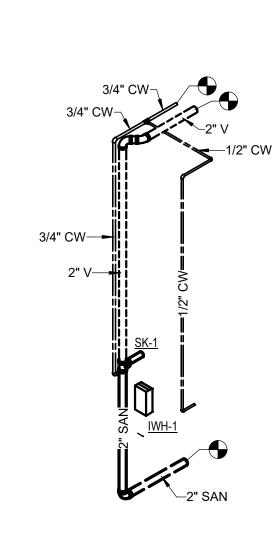
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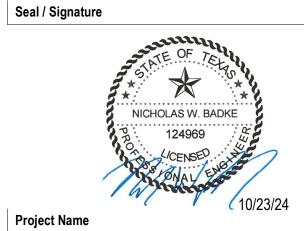
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Market Square Park Kiosk

Improvements

Project Number

H24233

Description

PLUMBING RISERS

P5.01

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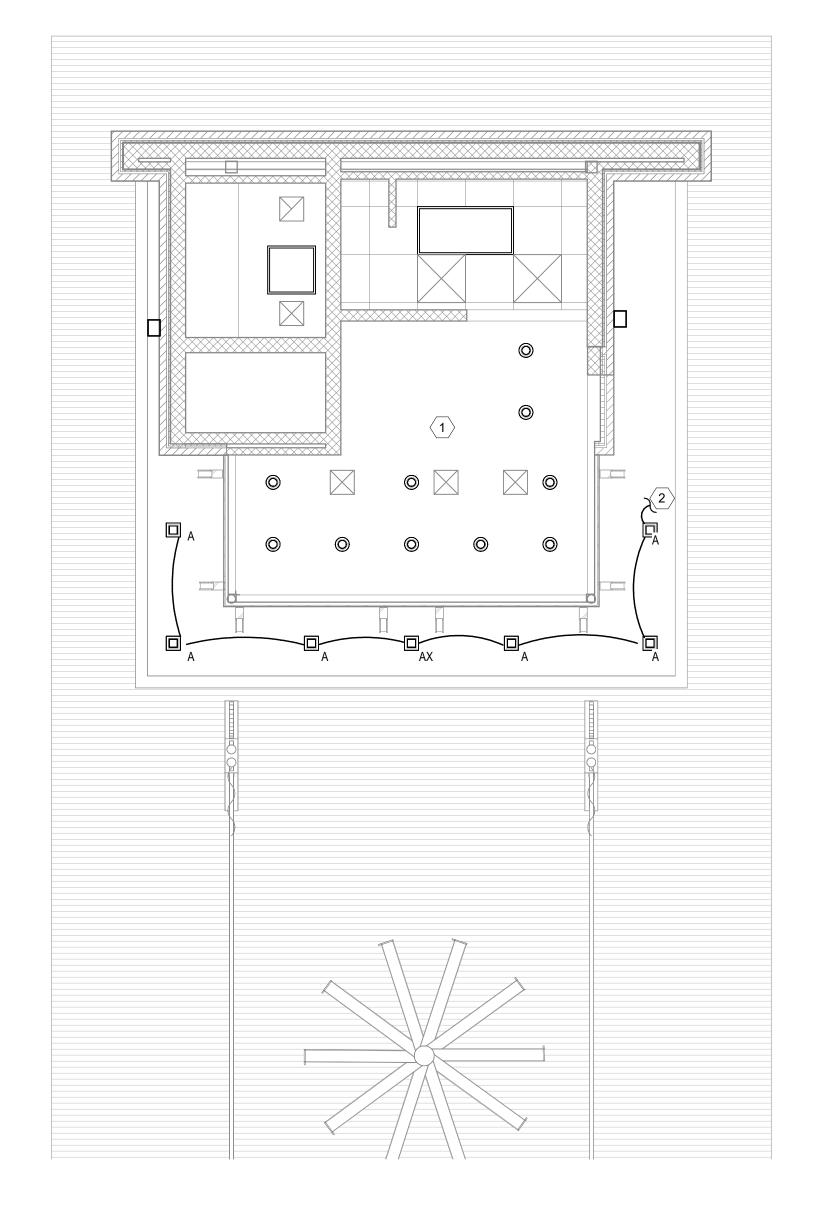
	LIGHTING CONTROLS KEYED NOTES
Α	REMOVE ALL ABANDONED CABLING AND CONDUIT IN SPACE. TERMINATE CONDUITS AT ELECTRICAL ROOM WITH JUNCTION BOX. TURN OFF UNUSED BREAKERS AND UPDATE PANEL DIRECTORY.
В	REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION AND MOUNTING HEIGHTS OF FIXTURES.
С	FIXTURES WITH BATTERY PACK SHALL HAVE NORMAL BALLAST CONNECTED TO LIGHT SWITCH, AND BATTERY BALLAST CONNECTED TO UN-SWITCHED POWER. BATTERY BALLAST IS SWITCHED AT PANEL ONLY. REFER TO MANUFACTURER WIRING DIAGRAM FOR INSTALLATION WITH FIXTURE NORMAL BALLAST.
D	EXISTING FIXTURES INDICATED TO BE REUSED SHALL BE CLEANED AND RE-LAMPED. INSPECT EXISTING BALLASTS AND REPLACE IF NOISY OR NOT OPERATING. RETURN UNUSED FIXTURES TO OWNER OR DISPOSE IF NOT NEEDED BY OWNER.
Е	EXIT SIGNS SHALL BE CONNECTED TO UN-SWITCHED POWER. EMERGENCY LIGHTS SHALL BE SWITCHED AT PANEL ONLY.
F	GANG ALL LIGHT SWITCHES TOGETHER WHERE POSSIBLE.
G	CONTRACTOR TO PROVIDE TESTING AND COMMISSIONING OF THE LIGHTING CONTROL SYSTEMS IN SCOPE IN ACCORDANCE WITH JURISDICTION ADOPTED IECC SECTION C408. CONTRACTOR SHALL INCLUDE IN BID THE SERVICES OF A REGISTERED

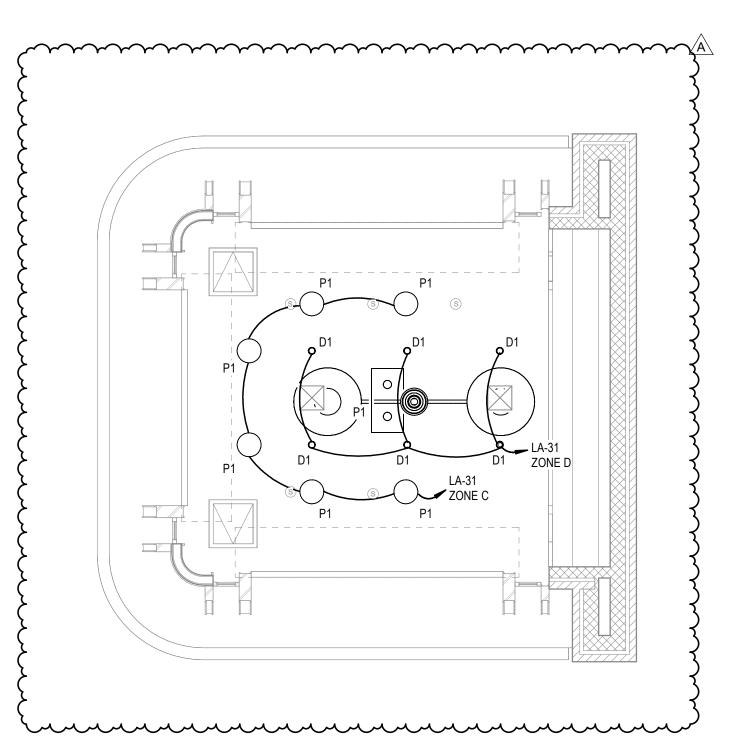
DESIGN PROFESSIONAL TO PRODUCE A COMMISSIONING PLAN TO CONFIRM TESTING AND CALIBRATION HAVE BEEN

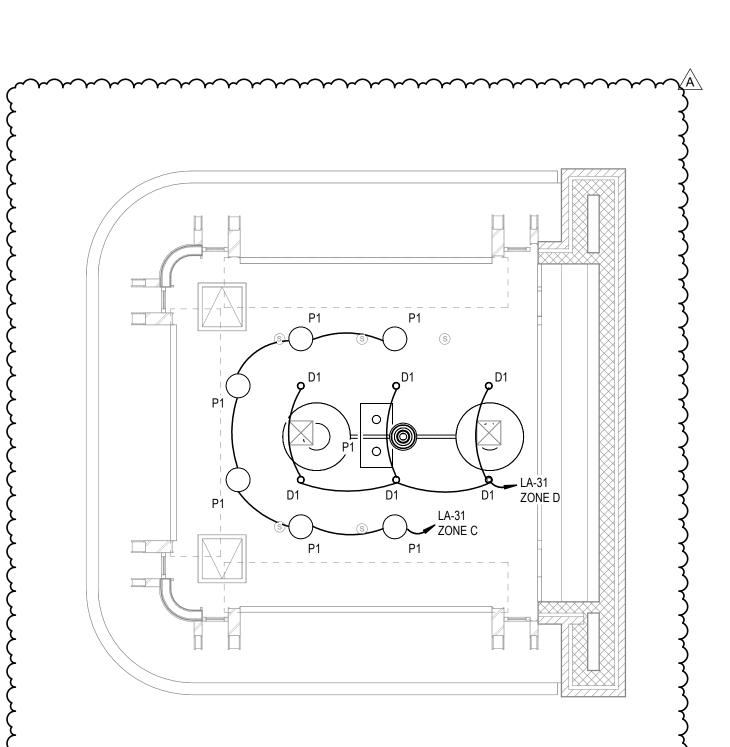
AVAILABLE TO CODE OFFICIAL UPON REQUEST IN ACCORDANCE WITH SECTIONS C408.3.1.1 AND C408.3.1.2.

PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. COPIES OF ALL DOCUMENTATION SHALL BE GIVEN TO THE OWNER OR OWNER'S AUTHORIZED AGENT WITHIN 90 DAYS OF RECEIPT OF CERTIFICATE OR OCCUPANCY AND MADE

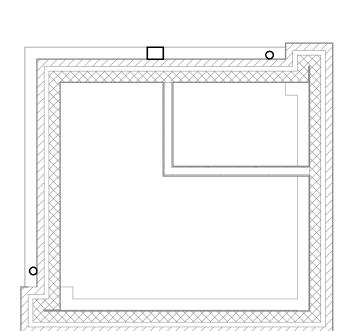
	KEYNOTES
1	ALL LIGHTS ARE EXISTING TO REMAIN IN THIS AREA.
2	CONNECT TO NEAREST 120V/20A/1P LIGHTING CIRCUIT SERVING THIS AREA. DO NOT EXCEED 16 AMPS ON ANY 20A/1P CIRCUSE EXISTING LIGHTING CONTROLS.











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Project Name

Market Square Park Kiosk Improvements

Project Number

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Description

LIGHTING PLAN

1/4" = 1'-0"

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E3.01

FEEDER TAG	DER SCHEDULE (COPPER) FEEDER SIZE
5.3, 20.3	3#12, #12G, 3/4"C
5.4, 20.4	4#12, #12G, 3/4°C
0.3	3#10, #10G, 3/4"C
0.4	4#10, #10G, 3/4"C
0.3	3#8, #10G, 3/4"C
).4	4#8, #10G, 3/4"C
).3	3#6, #10G, 3/4"C
0.4	4#6, #10G, 1"C
0.3	3#4, #10G, 1"C
0.4	4#4, #10G, 1-1/4"C
0.3	3#4, #8G, 1"C
).4).3	4#4, #8G, 1-1/2"C 3#3, #8G, 1-1/4"C
).4	3#3, #6G, 1-1/4 C 4#3, #8G, 1-1/4"C
0.3	3#2, #8G, 1-1/4"C
).4	4#2, #8G, 1-1/4"C
00.3	3#1, #8G, 1-1/4"C
00.4	4#1, #8G, 1-1/2"C
0.3	3#1, #8G, 1-1/4"C
10.4	4#1, #8G, 1-1/2"C
25.3, 150.3	3#1/0, #6G, 1-1/2"C
25.4 150.4	4#1/0, #6G, 2"C
75.3	3#2/0, #6G, 2"C
75.4	4#2/0, #6G, 2"C
00.3	3#3/0, #6G, 2"C
00.4	4#3/0, #6G, 2"C
25.3 25.4	3#4/0, #4G, 2"C
25.4 50.3	4#4/0, #4G, 2-1/2"C 3#250, #4G, 2-1/2"C
50.4	3#250, #4G, 2-1/2 C 4#250, #4G, 2-1/2"C
00.3	3#350, #4G, 2-1/2"C
00.4	4#350, #4G, 3"C
50.3	3#500, #3G, 3"C
50.4	4#500, #3G, 3-1/2"C
00.3	2 SETS OF 3#3/0, #3G, 2"C
00.4	2 SETS OF 4#3/0, #3G, 2-1/2"C
00.3	2 SETS OF 3#250, #2G, 2-1/2"C
00.4	2 SETS OF 4#250, #2G, 2-1/2"C
00.3	2 SETS OF 3#350, #1G, 2-1/2"C
00.4	2 SETS OF 4#350, #1G, 2-1/2"C
00.3	2 SETS OF 3#1/0, #2G, 3"C
00.4	2 SETS OF 4#500, #1/0G, 3-1/2"C
00.3	2 SETS OF 3#600, #1/0G, 3-1/2"C
00.4	2 SETS OF 4#600, #1/0G, 4"C 3 SETS OF 3#500, #2/0G, 3"C
000.3 000.4	3 SETS OF 3#300, #2/0G, 3 C
200.3	4 SETS OF 3#350, #3/0G, 3"C
200.4	4 SETS OF 4#350, #3/0G, 3-1/2"C
600.3	5 SETS OF 3#500, #4/0G, 3"C
600.4	5 SETS OF 4#500, #4/0G, 3"C
000.3	6 SETS OF 3#500, #4/0G, 3"C
000.4	6 SETS OF 4#500, #4/0G, 3"C
500.3	7 SETS OF 3#500, #4/0G, 3-1/2"C
500.4	7 SETS OF 4#500, #4/0G, 3-1/2"C
000.3	8 SETS OF 3#500, #4/0G, 3"C
00.4	8 SETS OF 4#500, #4/0G, 3-1/2"C
00.3	8 SETS OF 3#600, #4/0G, 4"C
00.4	8 SETS OF 4#600, #4/0G, 4"C
	10 SETS OF 3#600, #4/0G, 4"C
000.3	10 SETS OF 4#600, #4/0G, 4"C

BRANCH CIRCUIT WIRING SCHEDULE

BKEAR	KER	
AMPERAGE	POLE	WIRE SIZE
20A	1P	2#12, #12G, 3/4"C
20A	2P	3#12, #12G, 3/4"C
20A	3P	4#12, #12G, 3/4"C
30A	1P	2#10, #10G, 3/4"C
30A	2P	3#10, #10G, 3/4"C
30A	3P	4#10, #10G, 3/4"C
40A	1P	2#8, #10G, 3/4"C
40A	2P	3#8, #10G, 3/4"C
40A	3P	4#8, #10G, 1"C
50A	2P	3#6, #10G, 1"C
50A	3P	4#6, #10G, 1-1/2"C
60A	2P	3#6, #10G, 1"C
60A	3P	4#6, #10G, 1-1/2"C
70A	2P	3#4, #8G, 1-1/2"C
70A	3P	4#4, #8G, 1-1/2"C
80A	2P	3#4, #8G, 1-1/2"C
80A	3P	4#4, #8G, 1-1/2"C
100A	2P	3#3, #8G, 1-1/2"C
100A	3P	4#3, #8G, 1-1/12"C

ALL FEEDERS SHALL BE THHN/THWN-2 COPPER, UNLESS NOTED OTHERWISE.

BRANCH CIRCUITS DO NOT ACCOUNT FOR VOLTAGE DROP.

BASED ON 3 CURRENT CARRYING CONDUCTORS IN RACEWAY.

	ELECTRICAL LEGEND						
F	MANUAL FIRE PULL STATION						
SD	AREA SMOKE DETECTOR, CEILING MOUNTED						
SD	AREA SMOKE DETECTOR, WALL MOUNTED						
(SD)	SMOKE DETECTOR, MOUNTED IN DUCT						
(HD)	HEAT DETECTOR, CEILING MOUNTED						
W	SPRINKLER WATER FLOW SWITCH						
T	SPRINKLER TAMPER SWITCH						
(A)	AUDIBLE FIRE ALARM STROBE, CEILING MOUNTED						
A	AUDIBLE FIRE ALARM STROBE, WALL MOUNTED						
(AV)	AUDIO/VISUAL FIRE ALARM STROBE, CEILING MOUNTED						
AV	AUDIO/VISUAL FIRE ALARM STROBE WALL MOUNTED						
V	VISUAL FIRE ALARM STROBE, CEILING MOUNTED						
V	VISUAL FIRE ALARM STROBE, WALL MOUNTED						
FJ	FIREMAN'S JACK						
FB .	FIRE ALARM BELL						
F/S	FIRE/SMOKE DAMPER						
s	SMOKE DAMPER						
FACP	FIRE ALARM CONTROL PANEL						
FAAP	FIRE ALARM REMOTE ANNUNCIATOR PANEL						
Ψ	SIMPLEX RECEPTACLE, WALL MOUNTED						
\blacksquare	DUPLEX RECEPTACLE, WALL MOUNTED						
•	DUPLEX RECEPTACLE, CEILING MOUNTED						
lacksquare	DUPLEX RECEPTACLE, TOP HALF SWITCHED						
₩	QUADRUPLEX RECEPTACLE, WALL MOUNTED						
Ψ	SPECIAL PURPOSE RECEPTACLE, WALL MOUNTED, COORDINATE NEMA PLUG TYPE WITH OWNER						
⊕gfi	DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTER						
Фіс	DUPLEX RECEPTACLE, ISOLATED GROUND						
⊕wp	DUPLEX RECEPTACLE, WEATHERPROOF						
	COMBINATION POWER/TELECOM FLOOR BOX OR FIRE RATED POKE THRU DEVICE, REFER TO PLANS FOR SPECIFICATION						
∇	TELECOM OUTLET. PROVIDE BACK BOX/COVER PLATE. INSTALL 3/4"C W/BUSHING AND PULLSTRING, STUBBED TO ACCESSIBLE CEILING.						
Ţ	TELEVISION OUTLET. PROVIDE BACK BOX/COVER PLATE. INSTALL 3/4"C W/BUSHING AND PULLSTRING, STUBBED TO ACCESSIBLE CEILING.						
\$	SINGLE POLE SWITCH						
\$ ² \$ ³	DOUBLE POLE SWITCH						
\$ \$	THREE WAY SWITCH FOUR WAY SWITCH						
\$ ^K	KEY LOCKED SWITCH						
\$	MOMENTARY CONTACT SWITCH						
\$ ^T	TIMER SWITCH						
\$	WALL DIMMER						
\$ \$°	LOW VOLTAGE SWITCH						
\$ \$	OCCUPANCY SENSOR SWITCH VACANCY SENSOR SWITCH						
PC	PHOTOCELL						
	VACANCY OR OCCUPANCY SENSOR SWITCH						
	CEILING MOUNTED VACANCY OR OCCUPANCY SENSOR						
VS OS	WATTSTOPPER DW-100 SERIES						

ELE	CTRICAL LEGEND
	SURFACE MOUNTED PANEL
	PANEL RECESSED IN WALL
T	STEP DOWN TRANSFORMER
	GROUND BUS BAR
	HEAVY DUTY DISCONNECT SWITCH
	HEAVY DUTY FUSED DISCONNECT SWITCH
	COMBINATION MOTOR STARTER/DISCONNECT SWITCH
VFD	VFD WITH DISCONNECT, COORDINATE WITH MECHANICAL CONTRACTOR
EPO	EMERGENCY POWER OFF SWITCH
\$ ms	MOTORIZED SHADE CONTROL
\$⊤	THERMAL OVERLOAD SWITCH
10	MOTOR CONNECTION, HP AS NOTED
M _{1/2}	SINGLE PHASE MOTOR CONNECTION, HP AS NOTED
①	JUNCTION BOX, CEILING MOUNTED
P	JUNCTION BOX, WALL MOUNTED
P B	PULL BOX
	GROUND ROD
	GROUND WELL
	CIRCUIT BREAKER
__	SWITCH AND FUSE
	ENCLOSED CIRCUIT BREAKER
	NORMALLY OPEN CONTACT
	NORMALLY CLOSED CONTACT
	NUMBERED NOTE
₩	EXIT SIGN; WALL MOUNTED
≅	EXIT SIGN; CEILING MOUNTED
	FIXED CLOSED CIRCUIT CAMERA
MS	MOTION SENSOR
ML	MAGNETIC LOCK
KP	KEYPAD
DR	DOOR RELEASE
РВ	PUSH BUTTON
CR	CARD READER
EL	ELECTRIC LOCK
ES	ELECTRIC STRIKE
	CONDUIT CONCEALED IN CEILING OR WALL
	CONDUIT BELOW FLOOR OR IN SLAB
E	CONDUIT STUBBED OUT AND CAPPED W/PULLSTRING

CONDUIT HOMERUN BACK TO PANEL

ELECTRICAL ABBREVIATIONS NEW (R)/RELOC EXISTING TO BE RELOCATED AMPERES A/V AUDIO/VISUAL AMPERE FUSE RATING ABOVE FINISHED FLOOR ABOVE FINISHED GRADE AMPERES INTERRUPTING CAPACITY ALUMINUM AMPERE TRIP RATING ATS AUTOMATIC TRANSFER SWITCH BKR BREAKER BLDG BUILDING CONDUIT CCTV CLOSED CIRCUIT TELEVISION CKT CIRCUIT CM CEILING MOUNTED CU COPPER DIA DIAMETER DOUBLE POLE DOUBLE THROW ELECTRICAL ELECTRICAL METALLIC TUBING EXPLOSION PROOF FIRE ALARM ANNUNCIATOR PANEL FIRE ALARM CONTROL PANEL **FWE** FURNISHED WITH EQUIPMENT GENERAL CONTRACTOR GFI/GFCI GROUND FAULT CIRCUIT INTERRUPTER GROUND GND HP HORSEPOWER ISOLATED GROUND KILO-VOLT AMPERE KILO-WATT LTG LIGHTING MCB MAIN CIRCUIT BREAKER MCC MOTOR CONTROL CENTER MDP MAIN DISTRIBUTION PANEL MAIN LUGS ONLY MTD MOUNTED MANUAL TRANSFER SWITCH NORMALLY CLOSED NEUT NEUTRAL NOT IN CONTRACT NORMALLY OPEN NTS NOT TO SCALE PULL BOX PNL PVC POLYVINYL CHLORIDE CONDUIT SHIELDED SWBD SWITCHBOARD SWGR SWITCHGEAR TIME CLOCK TIME SWITCH TRANSIENT VOLTAGE SURGE SUPRESSOR TYP TYPICAL UNLESS OTHERWISE NOTED UON UNINTERRUPTABLE POWER SUPPLY UPS

\cdots **ELECTRICAL SHEET LIST** SHEET NUMBER SHEET NAME **ELECTRICAL COVER SHEET ELECTRICAL SPECIFICATIONS** POWER PLAN LIGHTING PLAN LIGHTING PLAN POWER HVAC EQUIPMENT PLAN ELECTRICAL DETAILS

Limite Company of the Company of the

CODE SUMMARY

- 1. APPLICABLE CODES INCLUDE BUT ARE NOT LIMITED TO: A. NATIONAL ELECTRICAL CODE (2023 NEC) WITH LOCAL AMENDMENTS.
- INTERNATIONAL BLDG CODE 2021. LIFE SAFETY CODE (NFPA 101).

PANEL SCHEDULES & RISER

PANEL SCHEDULES

WP

WEATHERPROOF

TEXAS ACCESSIBILITY STANDARDS, AMERICANS WITH DISABILITIES ACT. ENERGY CONSERVATION CODE: IECC 2021.

F. REFER TO BUILDING OWNER FOR ANY STANDARDS ABOVE CODE REQUIREMENT.

ELECTRICAL GENERAL NOTES

THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS IN THE DEMOLITION AREA PRIOR TO SUBMITTING A BID. THE CONTRACTOR SHALL INCLUDE IN THEIR BID THE COST OF REPLACEMENT, REPAIR, RELOCATION OR REMOVAL OF EXISTING MEP ELEMENTS AS REQUIRED TO COMPLETE INSTALLATION OF ALL SYSTEMS AS SPECIFIED, AND AS SHOWN ON THESE DRAWINGS. THE CONTRACTOR, BY SUBMITTING THEIR PROPOSAL, AGREES TO ACCEPT ALL EXISTING SITE CONDITIONS NOT SPECIFICALLY EXCEPTED. RETURN REUSABLE ITEMS REMOVED FROM THE DEMOLITION AREA TO THE OWNER'S STOCK. REUSE OF ANY EXISTING ITEM ON THIS PROJECT, INCLUDING THOSE INDICATED ON THE DRAWING TO BE RELOCATED, SHALL BE APPROVED BY THE ENGINEER AND SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES AND STANDARDS. WHERE THESE DRAWINGS CONFLICT WITH EXISTING FIELD CONDITIONS. A RECORD OF THE FIELD CONDITIONS SHALL BE MADE AVAILABLE TO THE OWNER, ENGINEER, AND ARCHITECT. REMOVE ALL UNUSED CABLING, WIRE AND CONDUIT IN THIS SPACE. CONDUIT SHALL BE TAKEN BACK TO OUTSIDE ELECTRICAL ROOM INTO A J-BOX. LABEL UNUSED BREAKERS AS SPARE. ALL EXISTING CONDUITS, CONDUCTORS, AND EQUIPMENT SERVING HVAC SYSTEM TO BE DEMOLISHED SHALL BE REMOVED, THE CIRCUITS SHALL BE REMOVED BACK TO THE PANEL BOARD AND DE-ENERGIZED. EXISTING EQUIPMENT WHICH IS SHOWN AS EXISTING TO REMAIN ON THE DRAWINGS SHALL BE RENDERED FULLY FUNCTIONAL BY THE CONTRACTOR. RE-CIRCUIT AND REPLACE EXISTING DEVICES WHERE REQUIRED TO COMPLY WITH CONSTRUCTION DOCUMENTS. THE ELECTRICAL CONTRACTOR SHALL

AMPACITY RATING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOSS OR DAMAGE TO THE EXISTING FACILITIES CAUSED BY HIM AND HIS WORKMEN, AND SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING SUCH LOSS OR DAMAGE. THE CONTRACTOR SHALL SEND PROPER NOTICES, MAKE NECESSARY ARRANGEMENTS, AND PERFORM OTHER SERVICES REQUIRED FOR THE CARE, PROTECTION AND IN-SERVICE MAINTENANCE OF ALL ELECTRICAL SERVICES FOR THE EXISTING FACILITIES. THE CONTRACTOR SHALL ERECT TEMPORARY BARRICADES, WITH NECESSARY SAFETY DEVICES, AS REQUIRED TO PROTECT PERSONNEL AND THE GENERAL PUBLIC FROM INJURY, REMOVING ALL SUCH TEMPORARY PROTECTION UPON COMPLETION OF THE WORK. THE CONTRACTOR SHALL MODIFY, REMOVE AND/OR REPLACE ALL MATERIALS AND ITEMS SO INDICATED ON THE DRAWINGS OR REQUIRED BY THE INSTALLATION OF NEW FACILITIES. SALVAGE MATERIALS SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE DELIVERED TO SUCH DESTINATION

AS DIRECTED BY THE OWNER. DISPOSE OF SALVAGE MATERIAL IF NOT RETAINED BY OWNER. WHERE EXISTING CONSTRUCTION IS REMOVED TO PROVIDE WORKING AND

CEILING GRIDS, TILES, DOORS, PIPING, AIR CONDITIONING DUCTWORK AND

AREAS SHALL BE AT OWNER'S CONVENIENCE AND MAY BE DURING EVENINGS OR WEEKENDS. SCHEDULE ALL REQUIRED POWER OUTAGES A MINIMUM OF 7 DAYS IN ADVANCE WITH BUILDING OWNER. ELECTRICAL SERVICE OUTAGE: SERVICE TO THE EXISTING BUILDING SHALL BE MAINTAINED DURING NORMAL WORKING HOURS. ANY SERVICE OUTAGE REQUIRED TO COMPLETE THE WORK SHALL BE THE TIME AND FOR THE LENGTH

PRIOR TO SHUTDOWN. ALL PREMIUM TIME SHALL BE INCLUDED IN CONTRACTOR'S BID. FIRE PROTECTION CONTRACTOR SHALL MODIFY ALL EXISTING FIRE PROTECTION AND SPRINKLER PIPES AS REQUIRED TO MEET THE MAINTENANCE

AND REMOVAL CLEARANCES OF ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING EQUIPMENT. CONTRACTOR TO PROVIDE ALLOWANCE FOR ANY LOW VOLTAGE CABLING ABOVE INACCESSIBLE OR SPECIALTY CEILING TO BE INSTALLED IN CONDUIT. ALL ELECTRICAL EQUIPMENT IS REQUIRED TO BE LISTED/LABELED BY A RECOGNIZED QUALIFIED ELECTRICAL TESTING LABORATORY AND SHALL BE IN ACORDANCE WITH APPLICABLE PRODUCT STANDARDS RECOGNIZED AS

ACHIEVING EQUIVALENT AND EFFECTIVE SAFETY FOR EQUIPMENT INSTALLED TO COMPLY WITH THIS CODE. REFRENCE 2023 NEC 110.3 (C) ELECTRICAL CONTRACTOR TO VERIFY IN THE FIELD CONDUCTOR SIZES ARE CODE COMPLIANT, CONTACT ENGINEER WITH ANY DISCREPANCIES. GFCI PROTECTION SHALL BE INSTALLED IN READILY ACCESSIBLE LOCATION PER

ENSURE THAT THE RESULTANT LOAD DUE TO THIS TENANT REVISION ON ANY GIVEN BRANCH CIRCUIT DOES NOT EXCEED 80% OF THE SERVING BREAKER

EXTENSION ACCESS TO EXISTING FACILITIES, CONTRACTOR SHALL REMOVE

EQUIPMENT, ETC., TO PROVIDE THIS ACCESS AND SHALL REINSTALL SAME UPON COMPLETION OF WORK IN THE AREAS AFFECTED. CONTRACTOR SHALL REMOVE ALL OWNER STANDARD LIGHTS INDICATED TO BE REMOVED AND RETURN TO OWNER STOCK AS DIRECTED BY OWNER. CONTRACTOR SHALL TAKE CARE SO AS NOT TO DAMAGE LIGHTS DURING REMOVAL AND STORAGE.

WORK IN OCCUPIED AREAS: WORK IN, ABOVE, BELOW OR NEAR OCCUPIED

OF TIME AS DIRECTED BY THE OWNER. NOTIFY OWNER MINIMUM OF 48 HOURS

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Date

Description

1 10.03.2024 ISSUE FOR PERMIT

A 10.24.2024 ADDENDUM 2

Gensler

3700 W Sam Houston Pkwy S



Project Name

Market Square Park Kiosk Improvements

Project Number

H24233

Description **ELECTRICAL COVER SHEET**

NOT TO SCALE

E0.01

INFINITY

TBPE Registration Number 18865 10260 Westheimer Rd., Suite 400

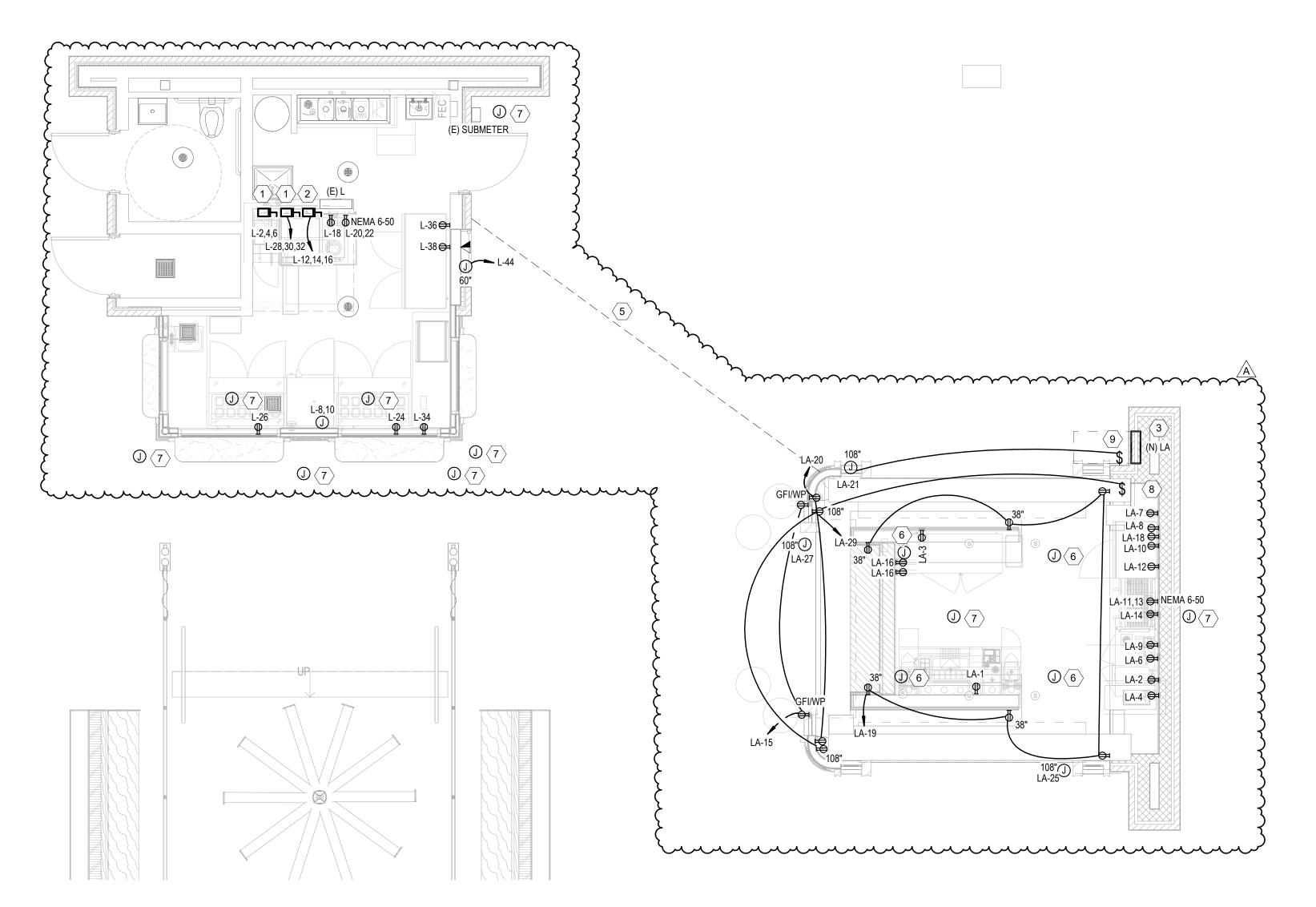
Houston, Texas 77042

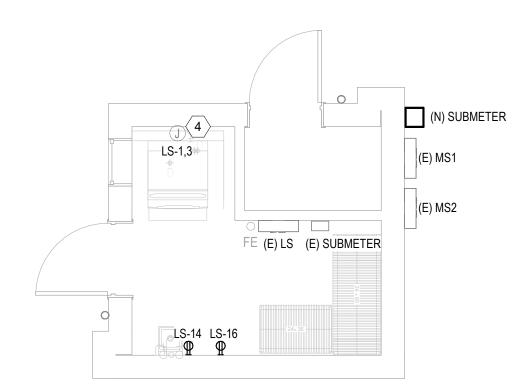
713.429.4949 ww.infinitymep.com

GENERAL NOTES

- REMOVE ALL ABANDONED CABLING AND CONDUIT IN SPACE. TERMINATE CONDUITS AT ELECTRICAL ROOM WITH JUNCTION BOX. TURN OFF UNUSED BREAKERS AND UPDATE PANEL DIRECTORY.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION AND MOUNTING HEIGHTS OF ALL DEVICES. REFER TO IT REPRESENTATIVE FOR EXACT LOCATION OF IT DEVICES. REFER TO AV DRAWINGS FOR A DETAILED LAYOUT OF CONDUIT AND CABLE FOR AV DEVICES.
- PROVIDE RECESSED CLOCK TYPE BOX FOR ALL WALL MOUNTED TV POWER AND A/V DEVICES.
- CONTRACTOR SHALL TRACE EXISTING CIRCUITS FOR ALL PANELS IN SCOPE AND REUSE THOSE THAT ARE NOT CURRENTLY BEING USED OR BECOME AVAILABLE DUE TO DEMO. CIRCUIT NUMBERS SHOWN ARE DIAGRAMMATIC AND MAY NEED TO BE MODIFIED FOR FIELD CONDITIONS. CONTRACTOR SHALL COORDINATE ALL WORK WITH BUILDING ENGINEER AND MAY NEED TO SCHEDULE WORK AFTER HOURS. CONTRACTOR SHALL CHECK ALL PANELS FOR ELECTRICAL LOAD. IF SUFFICIENT NUMBER OF
- CIRCUITS CANNOT BE LOCATED AND REUSED, ENGINEER SHALL BE NOTIFIED IMMEDIATELY. ALL 125-VOLT THROUGH 250-VOLT RECEPTACLES SUPPLIED BY SINGLE-PHASE BRANCH CIRCUITS RATED 150 VOLTS OR LESS TO GROUND, 50 AMPERES OR LESS, AND ALL RECEPTACLES SUPPLIED BY THREE-PHASE BRANCH CIRCUITS RATED 150 VOLTS OR LESS TO GROUND, 100 AMPERES OR LESS, INSTALLED IN THE LOCATIONS SPECIFIED IN 210.8(B) (1) THROUGH (B) (12) SHALL HAVE GROUND FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL, 210.8(B)(2) KITCHENS OR ÁREAS WITH A SINK AND PROVISIONS FOR EITHER FOOD PREPARATION OR COOKING.

		KEYNOTES
	1	DISCONNECT SHALL BE 60A/240V/3P/N1/NF.
	2	DISCONNECT SHALL BE 30A/240V/3P/N1/NF.
	3	COORDINATE EXACT LOCATION OF NEW PANEL WITH BUILDING OWNER PRIOR TO INSTALLATION. MAINTAIN CLEARANCES AS REQUIRED BY NEC ART. 110.26.
	~~	REUBEEKSTHC HUDGHDUFFOHDUFFOHDUFFOHDUFODD COHDUFFOHDUFOUT
\ <u>\</u>	5	PROVIDE 1"C WITH PULLSTRING FOR AV/SECURITY DEVICES AT BAR. COORDINATE EXACT REQUIREMENTS WITH TENANT AV REP.
۶ ا	6	PROVIDE J-BOX FOR SPEAKERS. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH TENANT AV REP.
}	7	PROVIDE J-BOX FOR SECURITY CAMERAS. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH TENANT AV REP.
}	. 8	LOCATE CONTROLS FOR OVERHEAD DOORS ON WALL MOUNTED AT 54".
/	9	PROVIDE KEY CONTROL FOR OVERHEAD DOOR MOUNTED 48" ON BRICK WALL.





1 POWER PLAN
1/4" = 1'-0"



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│ △ Date Description

1 10.03.2024 ISSUE FOR PERMIT A 10.24.2024 ADDENDUM 2

Seal / Signature



Project Name

Market Square Park Kiosk Improvements

Project Number

H24233

Description POWER PLAN

Scale

1/4" = 1'-0"

E2.01

		LIG	HT FIXTU	RE SCHEDULE			
DESIGNATION	FIXTURE DESCRIPTION	MOUNTING	MANUFACTURER	MODEL NUMBER	LAMP TYPE	DIMMING TYPE	VOLTAGE
Α	RECESSED DOWNLIGHT	RECESSED	RELOCATED	RELOCATED	70W FLUORESCENT		120V
AX	RECESSED DOWNLIGHT	RECESSED	EXISTING TO REMAIN	EXISTING TO REMAIN	70W FLUORESCENT		120V
D1	RECESSED DOWNLIGHT	RECESSED	ASTRO	KOS ROUND 140 LED	11.4W LED	0-10V	120V
G1	IN GRADE UPLIGHT	IN GRADE	HK USA	ZXGI-RH-LED	5W LED	0-10V	120V
P1	PENDANT	SUSPENDED	LIGHTOLOGY	ORB OUTDOOR PENDANT ICW1299321	9.5W LED	0-10V	120V
S1	WALL SCONCE	WALL	LIGHTOLOGY	DOT OUTDOOR WALL WAC831536	15.6W LED	0-10V	120V
TP1	TAPE LIGHT	SURFACE	PURE EDGE	CN-F5-5W-LENGTH	5W/FT LED	0-10V	120V

LIGHTING CONTROLS KEYED NOTES

	A	TURN OFF UNUSED BREAKERS AND UPDATE PANEL DIRECTORY.
l	В	REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION AND MOUNTING HEIGHTS OF FIXTURES.
	_	FIXTURES WITH BATTERY PACK SHALL HAVE NORMAL BALLAST CONNECTED TO LIGHT SWITCH, AND BATTERY BALLAST CONNECTED TO UN-SWITCHED POWER. BATTERY BALLAST IS SWITCHED AT PANEL ONLY. REFER TO MANUFACTURER WIRIN DIAGRAM FOR INSTALLATION WITH FIXTURE NORMAL BALLAST.
ı	D	EXISTING FIXTURES INDICATED TO BE REUSED SHALL BE CLEANED AND RE-LAMPED. INSPECT EXISTING BALLASTS AND

GANG ALL LIGHT SWITCHES TOGETHER WHERE POSSIBLE

AVAILABLE TO CODE OFFICIAL UPON REQUEST IN ACCORDANCE WITH SECTIONS C408.3.1.1 AND C408.3.1.2.

REPLACE IF NOISY OR NOT OPERATING. RETURN UNUSED FIXTURES TO OWNER OR DISPOSE IF NOT NEEDED BY OWNER. EXIT SIGNS SHALL BE CONNECTED TO UN-SWITCHED POWER. EMERGENCY LIGHTS SHALL BE SWITCHED AT PANEL ONLY. CONTRACTOR TO PROVIDE TESTING AND COMMISSIONING OF THE LIGHTING CONTROL SYSTEMS IN SCOPE IN ACCORDANCE WITH JURISDICTION ADOPTED IECC SECTION C408. CONTRACTOR SHALL INCLUDE IN BID THE SERVICES OF A REGISTERED DESIGN PROFESSIONAL TO PRODUCE A COMMISSIONING PLAN TO CONFIRM TESTING AND CALIBRATION HAVE BEEN PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS. COPIES OF ALL DOCUMENTATION SHALL BE GIVEN TO THE OWNER OR OWNER'S AUTHORIZED AGENT WITHIN 90 DAYS OF RECEIPT OF CERTIFICATE OR OCCUPANCY AND MADE

KEYNOTES

CONNECT TO NEAREST 120V LIGHTING CIRCUIT AND CONTROLS SERVING THIS AREA. PROVIDE NEW TIME SWITCH 'T1' INTERMATIC #ET2845C. COORDINATE EXACT LOCATION WITH ARCHITECT.

3 MOUNT ALL SWITCHES, AIR CURTAIN CONTROLS, VRF CASSETTE CONTROLS, AND MOTORIZED DOORS ALONG THIS WALL AT 54".

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│ △ Date Description

1 10.03.2024 ISSUE FOR PERMIT A 10.24.2024 ADDENDUM 2

Seal / Signature



Project Name

Market Square Park Kiosk Improvements

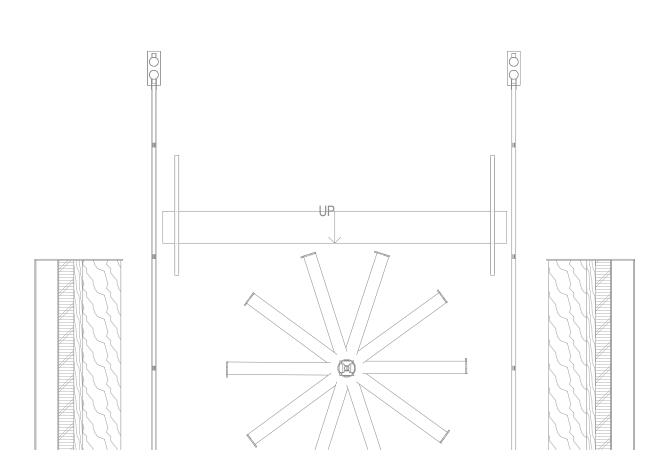
Project Number

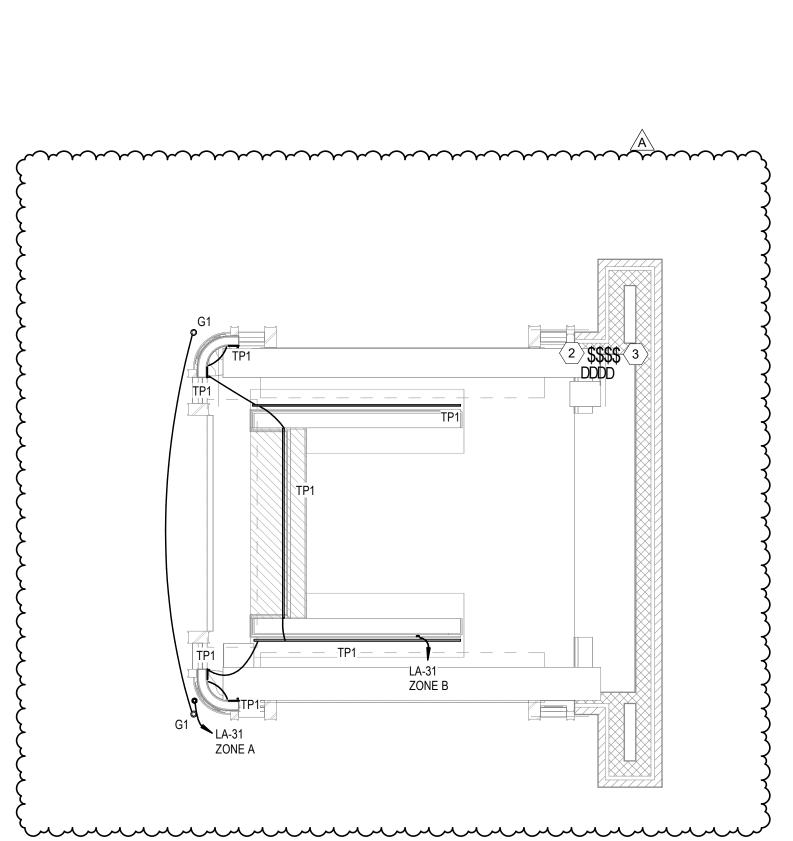
H24233

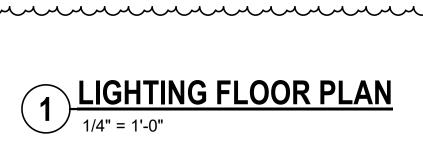
Description LIGHTING PLAN

1/4" = 1'-0"

E3.02









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LA-33,35

1 POWER HVAC EQUIPMENT PLAN
1/4" = 1'-0"

INFINITY MEP+S CONSULTANTS TBPE Registration Number 18865 10260 Westheimer Rd., Suite 400 Houston, Texas 77042 713.429.4949 ww.infinitymep.com

KEYNOTES

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△ Date Description 1 10.03.2024 ISSUE FOR PERMIT

A 10.24.2024 ADDENDUM 2

Seal / Signature



Project Name

Market Square Park Kiosk Improvements

Project Number

H24233

Description

POWER HVAC EQUIPMENT PLAN

1/4" = 1'-0"

E4.01

GENERAL NOTES

- A ALL ELECTRICAL EQUIPMENT EXISTING UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PROVIDE CIRCUIT BREAKERS IN EXISTING PANELBOARDS PER PANEL SCHEDULES. CIRCUIT BREAKERS SHALL BE OF SAME MANUFACTURER AS EXISTING PANELS AND EQUAL A.I.C. RATING.
- B CONTRACTOR SHALL TRACE EXISTING CIRCUITS IN SCOPE AND REUSE THOSE THAT ARE NOT CURRENTLY BEING USED OR BECOME AVAILABLE DUE TO DEMOLITION. CIRCUIT NUMBERS SHOWN ARE DIAGRAMMATIC AND MAY NEED TO BE MODIFIED FOR FIELD CONDITIONS. CONTRACTOR SHALL COORDINATE ALL WORK WITH BUILDING ENGINEER AND MAY NEED TO SCHEDULE WORK AFTER HOURS. CONTRACTOR SHALL CHECK PANEL FOR ELECTRICAL LOAD. IF SUFFICIENT NUMBER OF CIRCUITS CAN NOT BE LOCATED AND REUSED, ENGINEER SHALL BE NOTIFIED IMMEDIATELY.

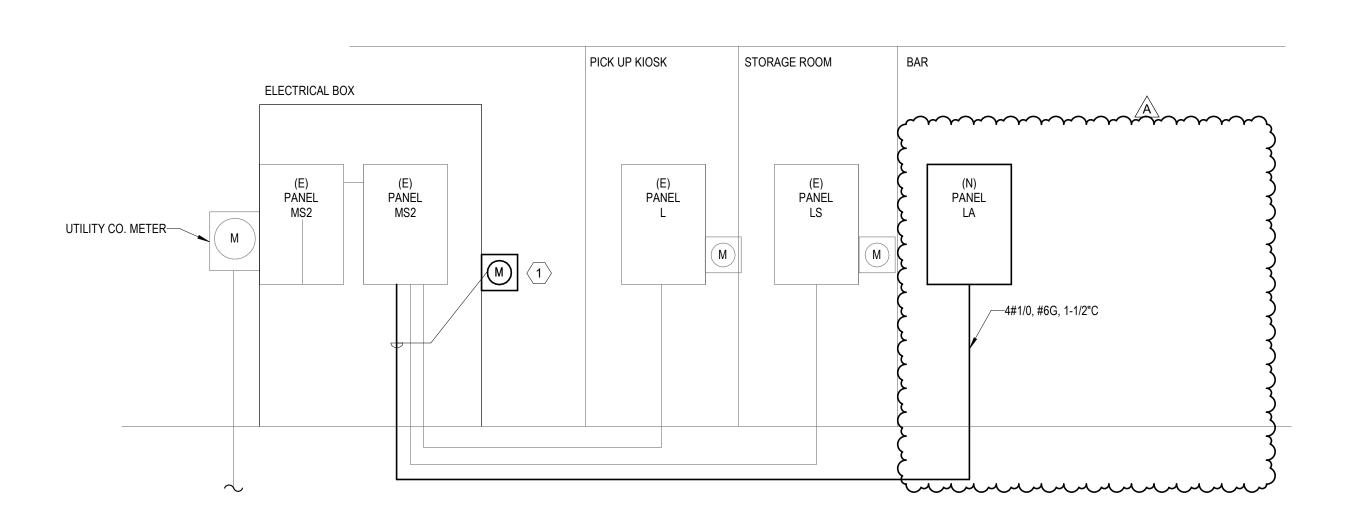
 C ALL NEW WIRES SHALL HAVE THHN/THWN INSULATION.

KEYNOTES

PROVIDE EMON DMON CLASS 2000 KWH METER TO METER PANELS LA AND LB. PROVIDE METER IN NEMA 3R ENCLOSURE.

EXIS	STING									MS1							
																PANELI	BOARI
	SIZE NEU 1 X FACE	NEMA	ENCLOSI THRU LUC	JRE	UND BUS						208 120 3 4 10000	AMP MCB VOLT P-P VOLT P-N PHASE WIRE AIC SYMMETRICAL	400	AMP BU	S RATIN	G	
C PH	B PH	A PH	LOAD	TYPE	DESCRIPTION	CKT BKR	NO		NO	CKT BKR		DESCRIPTION	TYPE	LOAD	A PH	ВРН	C PI
(AMP)	(AMP)	(AMP)	(VA)			AMP /P				AMP /P				(VA)	(AMP)	(AMP)	(AMF
	, ,	12.0	1440	MN	EXISTING LOAD	30 /1	1	Α	2	30 /1	EXISTIN	IG LOAD	MN	1440	12.0	, ,	`
	3.3		400	RP	EXISTING LOAD	20 /1	3	В	4	30 /1	EXISTIN	IG LOAD	MN	1440		12.0	
3.3			400	RP	EXISTING LOAD	20 /1	5	С	6	20 /1	EXISTIN	IG LOAD	RP	500			4.2
		3.3	400	RP	EXISTING LOAD	20 /1	7	Α	8	30 /1	EXISTIN	IG LOAD	MN	1440	12.0		
	3.3		400	RP	EXISTING LOAD	20 /1	9	В	10	30 /1	EXISTIN	IG LOAD	MN	1440		12.0	
3.3			400	RP	EXISTING LOAD	20 /1	11	С	12	30 /1	EXISTIN	IG LOAD	MN	1440			12.0
		31.0	13105	SF	Sub-feed LP	100 /3	13	Α	14	100 /3	SPARE		MN				
	39.7			SF			15	В	16				MN				
41.5				SF			17	С	18				MN				
			******	OLD 8	STYLE IN EXISTING PANELB	UARDS AR											
					LOADS	TARDS AR						NEC DEMAND L	OADS				
C PH	ВРН	A PH		NECTED		OARDS AR				DEMAND	TYPE	NEC DEMAND L	OADS	I N	A PH	ВРН	СР
	B PH	A PH	CON	NECTED	LOADS	OARDS AR				DEMAND FACTOR	TYPE		LOAD	N (AMP)	A PH	B PH	C P
_			CON	NECTED	LOADS	OARDS AR					TYPE H						_
_			CON	TYPE	DESCRIPTION					FACTOR		DESCRIPTION	LOAD				(AM
(AMP)	(AMP)		CONN LOAD (VA)	TYPE	DESCRIPTION ELECTRIC HEAT					FACTOR 0.00	Н	DESCRIPTION ELECTRIC HEAT	LOAD (VA)			(AMP)	_
(AMP)	(AMP)		CONN LOAD (VA)	TYPE H	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION	OARDS ARI				FACTOR 0.00 1.00	H C	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION	LOAD (VA)			(AMP)	(AM
(AMP)	(AMP)		CONN LOAD (VA)	TYPE H C MM	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS					FACTOR 0.00 1.00 1.00	H C MM	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS	LOAD (VA)			(AMP)	(AM
(AMP) 25.4 11.9	(AMP)	(AMP)	CONN LOAD (VA) 5283	TYPE H C MM OL	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING					FACTOR 0.00 1.00 1.00 1.25	H C MM OL	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING	LOAD (VA) 5283		(AMP)	(AMP)	(AM 25.
(AMP) 25.4 11.9	(AMP) 25.4	(AMP)	CONN LOAD (VA) 5283	TYPE H C MM OL LT	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING					FACTOR 0.00 1.00 1.00 1.25 1.25	H C MM OL LT	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING	LOAD (VA) 5283 2250		(AMP)	(AMP) 25.4	(AM 25.
(AMP) 25.4 11.9	(AMP) 25.4	(AMP)	CONN LOAD (VA) 5283	TYPE H C MM OL LT RP	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES					FACTOR 0.00 1.00 1.00 1.25 1.25 NEC 220.44	H C MM OL LT RP	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES	LOAD (VA) 5283 2250		(AMP)	(AMP) 25.4	(AM
25.4 11.9 122.1	(AMP) 25.4	(AMP)	CONN LOAD (VA) 5283	TYPE H C MM OL LT RP EX	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND					1.00 1.00 1.00 1.25 1.25 NEC 220.44 1.25	H C MM OL LT RP EX	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND	LOAD (VA) 5283 2250		(AMP)	(AMP) 25.4	(AM 25.
25.4 11.9 122.1 206.7	(AMP) 25.4 63.4	4.2 109.4	CONN LOAD (VA) 5283 1800 33332	TYPE H C MM OL LT RP EX MC	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND MISC. CONTINUOUS					FACTOR 0.00 1.00 1.00 1.25 1.25 NEC 220.44 1.25 1.25	H C MM OL LT RP EX MC	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND MISC. CONTINUOUS	LOAD (VA) 5283 2250 21666		5.2 66.9	(AMP) 25.4 38.8	(AM 25.
(AMP)	(AMP) 25.4 63.4 224.6 119.2	4.2 109.4 197.1 139.2	LOAD (VA) 5283 1800 33332 70502 38272	TYPE H C MM OL LT RP EX MC MN	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND MISC. CONTINUOUS MISC. NON-CONTINUOUS					FACTOR 0.00 1.00 1.00 1.25 1.25 NEC 220.44 1.25 1.25 1.00 0.65	H C MM OL LT RP EX MC	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND MISC. CONTINUOUS MISC. NON-CONTINUOUS	LOAD (VA) 5283 2250 21666 70502	(AMP)	5.2 66.9	(AMP) 25.4 38.8 224.6 77.5	(AM 25. 14. 74.
25.4 11.9 122.1 206.7 81.2	(AMP) 25.4 63.4 224.6	(AMP) 4.2 109.4	LOAD (VA) 5283 1800 33332 70502 38272	TYPE H C MM OL LT RP EX MC MN	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND MISC. CONTINUOUS KITCHEN EQUIPMENT					FACTOR 0.00 1.00 1.00 1.25 1.25 NEC 220.44 1.25 1.25 1.00	H C MM OL LT RP EX MC	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND MISC. CONTINUOUS MISC. NON-CONTINUOUS KITCHEN EQUIPMENT	LOAD (VA) 5283 2250 21666 70502	(AMP)	5.2 66.9 197.1 90.5	(AMP) 25.4 38.8 224.6 77.5	14. 74. 206

EXIS.	TING										MS	S2						DANE	
													1					PANELI	BOARD
													400	AMP MLO	400	AMP BU	IS RATIN	IG	
FULL S	IZE NEL	JTRAL, V	V/ COPPE	R GRO	UND BUS								208	VOLT P-P					
	1	NEMA	ENCLOS	JRE									120	VOLT P-N					
		FEED.	THRU LUC	3S									3	PHASE					
SURF	ACE	MOUN	TING										4	WIRE					
													10000	AIC SYMMETRICAL					
C PH	ВРН	A PH	LOAD	TYPE	DESCRIPTION	CKT E	3KR	NO		NO	CKT	BKR		DESCRIPTION	TYPE	LOAD	A PH	ВРН	C PH
(AMP)	(AMP)	(AMP)	(VA)			AMP	/P				AMP	/P				(VA)	(AMP)	(AMP)	(AMP
		3.3	400	RP	EXISTING LOAD	20	/1	19	Α	20	60	/3	Sub-feed	ILS	SF	15496	51.3		
	3.3		400	RP	EXISTING LOAD	20	/1	21	В	22					SF			44.6	
3.3			400	RP	EXISTING LOAD	20	/1	23	С	24					SF				41.1
		3.3	400	RP	EXISTING LOAD	20	/1	25	Α	26	20	/1	EXISTIN	G LOAD	RP	400	3.3		
	3.3		400	RP	EXISTING LOAD	20	/1	27	В	28	~%	∕ /\	SPARE	$\sim\sim\sim\sim\sim$	~~~	~~~	\sim	∼	\sim
12.0			1440	MN	EXISTING LOAD	30	/1	29	1	30	150	/3	Sub-feed		SF	34006			116.8
		3.3	400	RP	EXISTING LOAD	20	/1	31	Ą	32					SF		91.1		
	3.3		400	RP	EXISTING LOAD	20	/1	33	氐	34					SF			98.5	
					SPACE			35	c/	361	$\overline{}$	$\overline{\mathcal{M}}$	SPACE	mmm				~~	ىپ
		183.6	55018	SF	Sub-feed L	225	/3	37	Α	38		/1	NOT A S	PACE					
	174.3			SF				39	В	40		/1	NOT A S	PACE					
122.0				SF				41	С	42		/1	NOT A S	PACE					
ALI	- DREA	ANEKS			TYLE IN EXISTING PANELBO	JARDS	AKI	E NE	vv.					NEC DEMAND LO	DADS				
C PH	ВРН	A PH	LOAD	TYPE	DESCRIPTION						DEM	IAND	TYPE	DESCRIPTION	LOAD	N	A PH	ВРН	C PH
(AMP)	(AMP)	(AMP)	(VA)								FAC	TOR			(VA)	(AMP)	(AMP)	(AMP)	(AMP)
				Н	ELECTRIC HEAT						0.0	00	Н	ELECTRIC HEAT					
25.6	7.2	18.4	5323	С	A/C REFRIGERATION						1.0	00	С	A/C REFRIGERATION	5323		18.4	7.2	25.6
				MM	MISC. MOTORS						1.0	00	MM	MISC. MOTORS					
				OL	OUTDOOR LIGHTING						1.2	25	OL	OUTDOOR LIGHTING					
		10.8	1300	LT	INDOOR LIGHTING						1.2	25	LT	INDOOR LIGHTING	1625		13.5		
70.8	67.6	112.1	29114	RP	RECEPTACLES						NEC 2	220.44	RP	RECEPTACLES	19557		72.9	43.9	46.0
				EX	EXISTING DEMAND						1.2	25	EX	EXISTING DEMAND					
				МС	MISC. CONTINUOUS						1.2	25	MC	MISC. CONTINUOUS					
149.1	174.8	162.2	54426	MN	MISC. NON-CONTINUOUS						1.0	00	MN	MISC. NON-CONTINUOUS	54426		162.2	174.8	149.1
61.2	119.2	119.2	34112	KT	KITCHEN EQUIPMENT						0.6	65	KT	KITCHEN EQUIPMENT	22173		77.5	77.5	39.8
306.7	368.8	422.7	124275		*** TOTAL ***									FEED-THRU		IN	 CLUDED	IN TYPE	S
18.4	7.2	18.4	3827		LARGEST MOTOR						0.2	25		LARGEST MOTOR	957		4.6	1.8	4.6
														*** TOTAL ***	104060	73	349.1	305.2	265.1







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Downtown Redevelopment Authority/TIRZ No. 3

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10260 Westheimer Road

△ Date Description

1 10.03.2024 ISSUE FOR PERMIT A 10.24.2024 ADDENDUM 2

Seal / Signature



Project Name

Market Square Park Kiosk Improvements

Project Number

H24233

Description

PANEL SCHEDULES & RISER

Scale

As indicated

E7.00

EXIS	TING									L	_						DANIEL	DOADD
												225	AMD MCD	225	AMD DI	IC DATIN		.BOARD
					LINE BUG							225	AMP MCB	225	AMP BU	IS RATIN	IG	
FULLS					UND BUS								VOLT P-P					
	1	-	ENCLOS									120	VOLT P-N					
SIID		- MOUN	THRU LUC	30								3	PHASE WIRE					
3011	ACL	MOON	TING									10000	AIC SYMMETRICAL					
C PH	ВРН	A PH	LOAD	TYPE	DESCRIPTION	CKT BKR	NO		NO	СКТ	BKR	10000	DESCRIPTION	TYPE	LOAD	A PH	ВРН	C PH
(AMP)	(AMP)		(VA)			AMP /P				AMP					(VA)	(AMP)	1	
, ,	,	3.3	400	RP	EXISTING LOAD	20 /1	1	Α	2	50	/3	DEEP F	RYER	КТ	14122	39.2	, ,	
	3.3		400	RP	EXISTING LOAD	20 /1	3	В	4					KT			39.2	
3.3			400	RP	EXISTING LOAD	20 /1	5	С	6					KT				39.2
		3.3	400	RP	EXISTING LOAD	20 /1	7	Α	8	40	/2	CONVE	CTION OVEN	KT	5824	28.0		
	3.3		400	RP	EXISTING LOAD	20 /1	9	В	10					KT			28.0	1
3.3			400	RP	EXISTING LOAD	20 /1	11	С	12	30	/3	SALAM	ANDER BROILER	KT	7926			22.0
	40.0	10.0	2080	MN	EXISTING LOAD	20 /2	13	A	14					KT		22.0	20.0	-
10.0	10.0		2080	MN	EXISTING LOAD	20 /2	15 17	В	16	20	/4	DEEDIC	ERATOR	KT MN	648		22.0	5.4
10.0		10.0	2000	MN	EXISTING LOAD	20 /2	19	A	20	40			ION COOKER	KT	6240	30.0		5.4
		10.0		MN	EXISTING LOAD	/1	21	В	22	10	12	INDUCT	ION GOOKER	KT	0240	30.0	30.0	+
3.3			400	RP	EXISTING LOAD	20 /1	23	С	24	20	/1	SALAD	PREP FRIDGE	MN	360		00.0	3.0
-		16.7	6000	MN	EXISTING LOAD	30 /3	25	A	26	20		SALAD	PREP FRIDGE	MN	360	3.0		
	16.7			MN			27	В	28	40	/3	GRIDDL	E	MN	11384		31.6	†
16.7				MN			29	С	30					MN				31.6
		20.0	4160	MN	IWH-4	30 /2	31	Α	32					MN		31.6		
	20.0			MN			33	В	34	20	/1	POS SY	STEM	RP	1000		8.3	
					SPACE		35	С	36	20	/1	_	COUNTER FRIDGE	MN	240			2.0
				RP	SPARE	20 /1	37	Α	38	20		-	REAM MACHINE	MN	360	3.0		
				RP	SPARE	20 /1	39	В	40	20	/2	AC-13,1	4,15	MN	1120		5.4	
				RP	SPARE	20 /1	41	С	42		14	DIOITAL	DIODI AV	MN	500	1.0		5.4
					SPARE SPARE	30 /1	43	A	44	20		-	. DISPLAY	LT	500	4.2		
					SPARE	50 /2	45 47	В	46 48	20		SPARE SPARE						+
					SPARE	20 /1	49	A	50	20		SPARE						+
					SPARE	20 /1	51	В	52	20		SPARE						+
					SPARE	20 /1	53	С	54	20		SPARE						+
					SPARE	20 /1	55	Α	56	20	/1	SPARE						
					SPACE		57	В	58	20	/2	SPARE						
					SPACE		59	С	60									
***ALI	L BRE	AKERS	WITH B	OLD S	STYLE IN EXISTING PANELB	OARDS AR	E NE	w.										
			CON	NECTE	LOADS								NEC DEMAND LO	DADS				
C PH	ВРН	A PH	LOAD	TYPE	DESCRIPTION					DEM	1AND	TYPE	DESCRIPTION	LOAD	N	A PH	ВРН	C PH
(AMP)	(AMP)		(VA)								TOR	· · · <u>-</u>		(VA)	(AMP)	(AMP)		
· ··· /	,	,	1,	Н	ELECTRIC HEAT					—	00	Н	ELECTRIC HEAT	()	T /	, /	,	, <i>)</i>
				С	A/C REFRIGERATION					-	00	С	A/C REFRIGERATION					<u> </u>
				MM	MISC. MOTORS					1.	.00	MM	MISC. MOTORS					1
				OL	OUTDOOR LIGHTING					1.	25	OL	OUTDOOR LIGHTING					
		4.2	500	LT	INDOOR LIGHTING					1.	25	LT	INDOOR LIGHTING	625		5.2		
10.0	15.0	6.7	3800	RP	RECEPTACLES					NEC 2	220.44	RP	RECEPTACLES	3800		6.7	15.0	10.0
				EX	EXISTING DEMAND					-	25	EX	EXISTING DEMAND		ļ			
				MC	MISC. CONTINUOUS						25	MC	MISC. CONTINUOUS		1			<u> </u>
74.0	83.6	94.2	28792	MN	MISC. NON-CONTINUOUS					-	00	MN	MISC. NON-CONTINUOUS	28792		94.2	83.6	74.0
61.2	119.2	119.2	34112	KT	KITCHEN EQUIPMENT					0.	65	KT	KITCHEN EQUIPMENT	22173		77.5	77.5	39.8
145.0	247.0	224.2	67204		*** TOTAL ***					-		-	EEED TUDI!		18.1		INI TVO	
145.2	217.8	224.3	07204		LARGEST MOTOR						25	-	FEED-THRU LARGEST MOTOR		IN	CLUDED 	INTYPE	
					LANGEST WOTOR					U.	20	-	*** TOTAL ***	55390	56	183.6	176.1	123.8
	<u> </u>			1	L							<u> </u>	I TOTAL	00000	_ 50	100.0	170.1	120.0

NE	W									LA							
											450					LOADC	ENTER
											150	AMP MCB	225	AMP BU	SRATIN	G	
FULL S		,	V/ COPPE		UND BUS							VOLT P-P					
	3R		ENCLOS								120	VOLT P-N					
FLU	ICH	MOUN.	THRU LUC	30							3 4	PHASE WIRE					
I LC	1311	WOON	TING								10000	AIC SYMMETRICAL					
C PH	ВРН	A PH	LOAD	TYPE	DESCRIPTION	CKT BKR	NO		NO	CKT BKR		DESCRIPTION	TYPE	LOAD	A PH	ВРН	C PF
AMP)	(AMP)	(AMP)	(VA)			AMP /P				AMP /P				(VA)	(AMP)	(AMP)	(AMF
,	,	16.0	1920	RP	WAREWASHER	20 /1	1	Α	2	20 /1	COFFEE	BREWER	RP	1200	10.0	,	_
	2.4		288	RP	BACK BAR COOLER	20 /1	3	В	4	20 /1	DRINK N	MACHINE	RP	1200		10.0	
					SPACE		5	С	6	20 /1	COFFEE	GRINDER	RP	850			7.1
		8.3	1000	RP	POS SYSTEM	20 /1	7	Α	8	20 /1	COFFEE	GRINDER	RP	850	7.1		
	2.1		252	MN	BACK BAR COOLER	20 /1	9	В	10	20 /1	COFFEE	GRINDER	RP	850		7.1	
30.0			6240	RP	ESPRESSO SYSTEM	50 /2	11	С	12	20 /1	COFFEE	TAMPER	RP	240			2.0
		30.0		RP	6-50R		13	Α	14	20 /1		AR COOLER	RP	252	2.1		
	4.8		576	RP	BARREL COOLER	20 /1	15	В	16	20 /1	POS SY		RP	1000		8.3	
					SPACE		17	С	18	20 /1		COOLER	RP	1008			8.4
		4.5	540	RP	3 DUPLEX	20 /1	19	Α	20	20 /1	4 DUPLI	ΞX	RP	720	6.0		
	3.3		400	MN	OVERHEAD DOOR	20 /1	21	В	22	30 /2	IWH-2		MN	4160		20.0	
		0.0	400		SPACE	00 /4	23	C	24	00 /0	BA/11.0		MN	1100	00.0		20.0
	2.2	3.3	400	MN	OVERHEAD DOOR	20 /1	25	A	26	30 /2	IWH-3		MN	4160	20.0	20.0	
4.2	3.3		400 500	MN	OVERHEAD DOOR FANS	20 /1	27	В	28 30	35 /2	CU-1		MN C	3827		20.0	18.4
+.2		6.7	800	LT	LIGHTING	20 /1	31	A	32	33 12	CU-1		C	3021	18.4		10.4
	9.6	0.7	1997	MN	AC-1,2,3,4,5,6,7,8	20 /1	33	В	34	20 /2	AHU-1,2		C	1496	10.4	7.2	
9.6	0.0		1007	MN	7,2,0,1,0,0,1,0	20 /2	35	С	36	20 /2	7410 1,2		C	1100		7.2	7.2
0.0					SPACE		37	A	38	20 /1	MAINT D	OUPLEX	RP	180	1.5		
					SPACE		39	В	40		SPACE			100			
					SPACE		41	С	42		SPACE						
			CON	NECTED	LOADS							NEC DEMAND	LOADS				
C PH	ВРН	A PH	LOAD	TYPE	DESCRIPTION					DEMAND	TYPE	DESCRIPTION	LOAD	N	A PH	ВРН	C PH
(AMP)	(AMP)	(AMP)	(VA)							FACTOR			(VA)	(AMP)	(AMP)	(AMP)	(AMP
				Н	ELECTRIC HEAT					0.00	Н	ELECTRIC HEAT					
25.6	7.2	18.4	5323	С	A/C REFRIGERATION					1.00	С	A/C REFRIGERATION	5323		18.4	7.2	25.6
				MM	MISC. MOTORS					1.00	MM	MISC. MOTORS					
				OL	OUTDOOR LIGHTING					1.25	OL	OUTDOOR LIGHTING					
		6.7	800	LT	INDOOR LIGHTING					1.25	LT	INDOOR LIGHTING	1000		8.3		
47.5	32.6	85.5	18914	RP	RECEPTACLES					NEC 220.44	RP	RECEPTACLES	14457		62.2	23.7	34.5
				EX	EXISTING DEMAND					1.25	EX	EXISTING DEMAND					
				MC	MISC. CONTINUOUS					1.25	MC	MISC. CONTINUOUS					
33.8	58.4	23.3	12269	MN	MISC. NON-CONTINUOUS					1.00	MN	MISC. NON-CONTINUOUS	12269		23.3	58.4	33.8
				KT	KITCHEN EQUIPMENT					0.65	KT	KITCHEN EQUIPMENT					
400.0	00.4	400.0	07000		*** TOTAL ***							EEED TUDU				IN I TYPE	
106.8	98.1	133.9	37306	-	*** TOTAL ***					0.05		FEED-THRU	057	INC	CLUDED		
18.4	7.2	18.4	3827	-	LARGEST MOTOR					0.25		LARGEST MOTOR	957	22	4.6	1.8	4.6
												*** TOTAL ***	34006	23	116.8	91.1	98.5

																PANELI	BUABI
											60	AMP MCB	125	ΔMD RI	IS RATIN		DO/ (I
	175 N.S.	ITDAL \	M/ CODDI	-0.00	LIND DUG								123	AIVIF DO	3 IVATIN	.G	
FULL S		- ,			UND BUS							VOLT P-P VOLT P-N					
		-	ENCLOS								120						
CLIDI		_	THRU LU	38							3	PHASE					
SURI	FACE	MOUN	TING								4	WIRE					
C PH	ВРН	A PH	LOAD	TYPE	DESCRIPTION	CKT BKF	NO		NO	CKT BKF	10000	AIC SYMMETRICAL	TYPE	TIOAD	A PH	ВРН	СР
	(AMP)		LOAD	ITTPE	DESCRIPTION	AMP /P	ON		INO	AMP /P		DESCRIPTION	TYPE	LOAD	(AMP)		
(AMP)	(AIVIP)	(AMP)	(VA)	MAN	ICE MAKER	20 /2	1	_	1		EVICTI	10.1.04.0	DD	(VA)	, ,	(AMP)	(AN
	9.5	9.5	1976	MN	ICE MAKER	20 12	1	A	2	20 /1		NG LOAD	RP	400	3.3		
20.0	9.5		4400		DATE 4	30 /2	3 5	B	4	20 /1		NG LOAD	RP	400		3.3	2.2
20.0		20.0	4160	MN	IWH-1	30 /2	_	-	6	20 /1		NG LOAD	RP	400	100		3.3
	2.2	20.0	400	MN	EVICTING LOAD	20 /4	7	A	8	20 /1		NG LOAD	RP	400	3.3	2.0	
2.2	3.3		400	RP	EXISTING LOAD	20 /1	9	В	10	20 /1		NG LOAD	RP	400	-	3.3	2.2
3.3		44.4	400	RP	EXISTING LOAD	20 /1	11	C	12	20 /1		IG LOAD	RP	400	10		3.3
		11.1	4000	MN	EXISTING LOAD	20 /3	13	A	14	20 /1	COFFE	E GRINDER	MN	480	4.0		
	44.4						45		_	00 //	20555	E/TEA BREWER	2421	4000		440	
	11.1 L BRE	AKERS			STYLE IN EXISTING PANELI	BOARDS A	15 17 RE NE	B C	16	20 /1	SPACE		MN	1680		14.0	
		AKERS		MN BOLD S	STYLE IN EXISTING PANELI	BOARDS A	17	С	16		_			1680		14.0	
11.1 *** ALI C PH		AKERS		MN BOLD S	DLOADS	BOARDS A	17	С	16		SPACE			1680	A PH	14.0	CF
***ALI	L BREA	A PH	CONI	MN BOLD S	DLOADS	BOARDS A	17	С	16		SPACE	NEC DEMAND	LOADS		A PH (AMP)	ВРН	
*** ALI	L BRE	A PH	CONI	MN BOLD S	DLOADS	BOARDS A	17	С	16	DEMANI	SPACE	NEC DEMAND	LOADS	N		ВРН	
*** ALI	L BREA	A PH	CONI	MN BOLD S NECTED TYPE	DESCRIPTION	BOARDS A	17	С	16	DEMANI FACTOR	SPACE	NEC DEMAND DESCRIPTION	LOADS	N		ВРН	_
*** ALI	L BREA	A PH	CONI	MN BOLD S NECTED TYPE H	DESCRIPTION ELECTRIC HEAT	BOARDS A	17	С	16	DEMANI FACTOR 0.00	SPACE TYPE H	NEC DEMAND DESCRIPTION ELECTRIC HEAT	LOADS	N		ВРН	
*** ALI	L BREA	A PH	CONI	MN BOLD S NECTED TYPE H C	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION	BOARDS A	17	С	16	DEMANI FACTOR 0.00 1.00	SPACE TYPE H C	NEC DEMAND DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION	LOADS	N		ВРН	
*** ALI	L BREA	A PH	CONI	MN BOLD S NECTED TYPE H C MM	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS	BOARDS A	17	С	16	DEMANI FACTOR 0.00 1.00	SPACE TYPE H C MM	NEC DEMAND DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS	LOADS	N		ВРН	_
*** ALI	L BREA	A PH	CONI	MN BOLD S NECTED TYPE H C MM OL	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING	BOARDS A	17	С	16	DEMANI FACTOR 0.00 1.00 1.00	SPACE TYPE H C MM OL LT	NEC DEMAND DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING	LOADS	N		ВРН	(AM
C PH (AMP)	B PH (AMP)	A PH (AMP)	CONI LOAD (VA)	MN BOLD S NECTED TYPE H C MM OL LT	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING	BOARDS A	17	С	16	DEMANI FACTOR 0.00 1.00 1.00 1.25	SPACE TYPE H C MM OL LT	NEC DEMAND DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING	LOADS LOAD (VA)	N	(AMP)	B PH (AMP)	(AM
C PH (AMP)	B PH (AMP)	A PH (AMP)	CONI LOAD (VA)	MN BOLD S NECTED TYPE H C MM OL LT RP	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES	BOARDS A	17	С	16	DEMANI FACTOR 0.00 1.00 1.25 1.25 NEC 220.	SPACE TYPE H C MM OL LT 4 RP	NEC DEMAND DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES	LOADS LOAD (VA)	N	(AMP)	B PH (AMP)	(AM
C PH (AMP)	B PH (AMP)	A PH (AMP)	CONI LOAD (VA)	MN BOLD S NECTED TYPE H C MM OL LT RP EX	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND	BOARDS A	17	С	16	DEMANI FACTOR 0.00 1.00 1.25 1.25 NEC 220.	SPACE TYPE H C MM OL LT 4 RP EX	NEC DEMAND DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND	LOADS LOAD (VA)	N	(AMP)	B PH (AMP)	(AM
C PH (AMP)	B PH (AMP)	A PH (AMP)	LOAD (VA)	MN BOLD S NECTED TYPE H C MM OL LT RP EX MC	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND MISC. CONTINUOUS	BOARDS A	17	С	16	DEMANI FACTOR 0.00 1.00 1.25 1.25 NEC 220. 1.25 1.25	SPACE TYPE H C MM OL LT 4 RP EX MC	NEC DEMAND DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND MISC. CONTINUOUS	LOADS LOAD (VA) 3200	N	(AMP)	B PH (AMP)	(AM
*** ALI C PH (AMP) 10.0	B PH (AMP)	6.7 44.6	CONI LOAD (VA) 3200	MN BOLD S NECTED TYPE H C MM OL LT RP EX MC MN	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND MISC. CONTINUOUS KITCHEN EQUIPMENT	BOARDS A	17	С	16	DEMANI FACTOR 0.00 1.00 1.25 1.25 NEC 220. 1.25 1.25	TYPE H C MM OL LT 4 RP EX MC MN	NEC DEMAND DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND MISC. CONTINUOUS MISC. NON-CONTINUOUS KITCHEN EQUIPMENT	LOADS LOAD (VA) 3200	N (AMP)	6.7 44.6	B PH (AMP)	10 31
C PH (AMP)	B PH (AMP)	A PH (AMP)	LOAD (VA)	MN BOLD S NECTED TYPE H C MM OL LT RP EX MC MN	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND MISC. CONTINUOUS KITCHEN EQUIPMENT *** TOTAL ***	BOARDS A	17	С	16	DEMANI FACTOR 0.00 1.00 1.25 1.25 NEC 220. 1.25 1.25 1.00 0.65	TYPE H C MM OL LT 4 RP EX MC MN	NEC DEMAND DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND MISC. CONTINUOUS MISC. NON-CONTINUOUS KITCHEN EQUIPMENT	LOADS LOAD (VA) 3200	N (AMP)	(AMP)	B PH (AMP)	10 31
*** ALI C PH (AMP) 10.0	B PH (AMP) 10.0	6.7 44.6	CONI LOAD (VA) 3200	MN BOLD S NECTED TYPE H C MM OL LT RP EX MC MN	DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND MISC. CONTINUOUS KITCHEN EQUIPMENT	BOARDS A	17	С	16	DEMANI FACTOR 0.00 1.00 1.25 1.25 NEC 220. 1.25 1.25	TYPE H C MM OL LT 4 RP EX MC MN	NEC DEMAND DESCRIPTION ELECTRIC HEAT A/C REFRIGERATION MISC. MOTORS OUTDOOR LIGHTING INDOOR LIGHTING RECEPTACLES EXISTING DEMAND MISC. CONTINUOUS MISC. NON-CONTINUOUS KITCHEN EQUIPMENT	LOADS LOAD (VA) 3200	N (AMP)	6.7 44.6	B PH (AMP)	10 31



1221 MicKinney St. Suite 4250 Houston, TX 77010

Gensler

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♦IMEG

Infinity MEP+S

Infinity MEP+S

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Imeg Corp. 3700 W Sam Houston Pkwy S Suite 100 Houston, TX 77042 Tel 832.856.8064 Fax 816.842.6441

Suite 400 Houston, TX 77042 Tel 713.429.4949

ProE Consulting
1334 Brittmoore Rd.
Suite 1703
Houston, TX 77043

C&T Design and Equipment Co.
ASSUMD C. POLICIAN AND CONTINUES AND STORY

C&T Design and Equipment Co.
9555 Baythorne Dr.
Suite 200

Houston, TX 77041

Tel 713.682.6390

 △
 Date
 Description

 1
 10.03.2024
 ISSUE FOR PERMIT

A 10.24.2024 ADDENDUM 2

Tel 832.714.2568

Seal / Signature



Project Name

Market Square Park Kiosk Improvements

Project Number

H24233
Description

PANEL SCHEDULES

Scale

12" = 1'-0"

E7.01

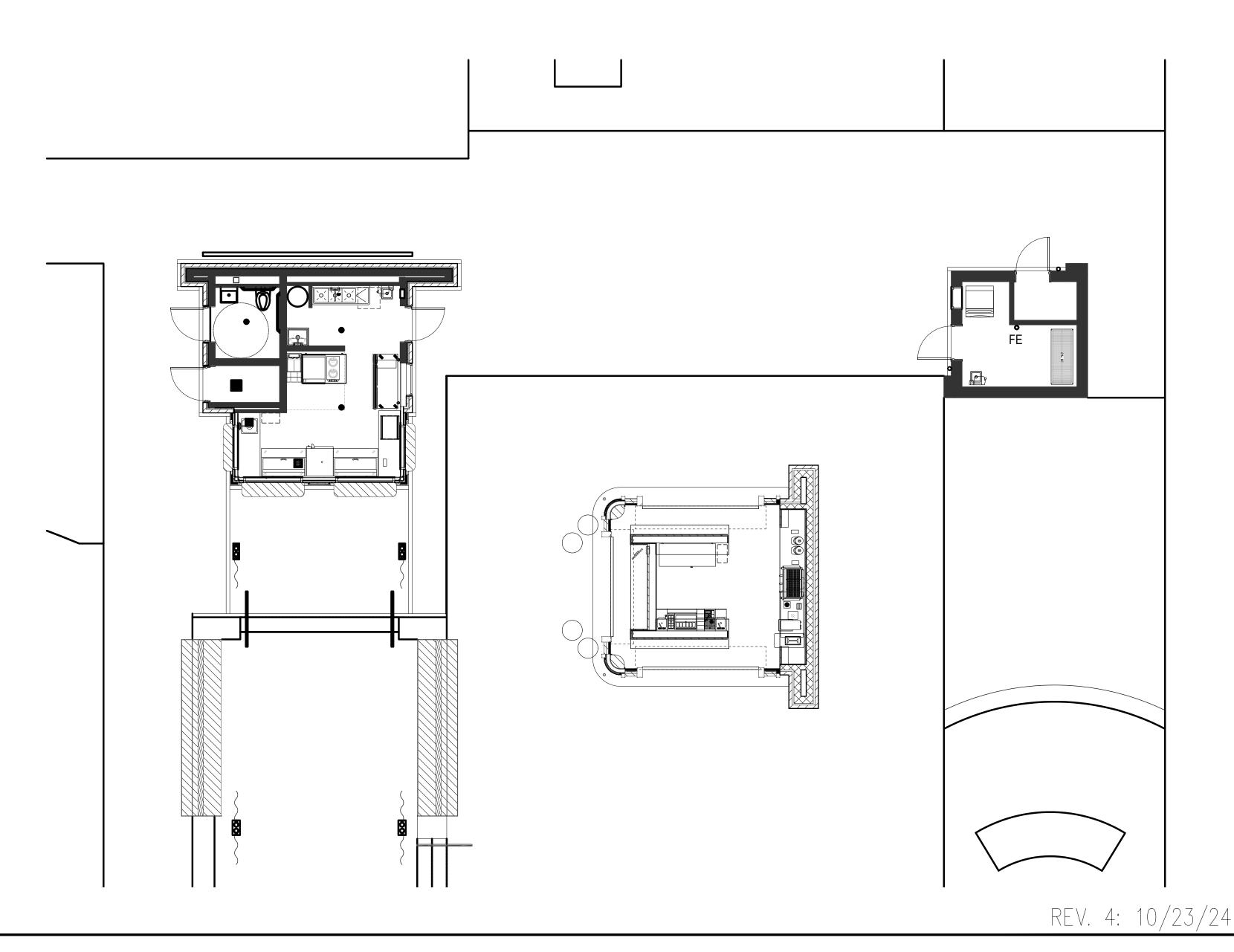
INFINITY MEP+S CONSULTANTS BRINGING PASSION TO ENGINEERING
TBPE Registration Number 18865 10260 Westheimer Rd., Suite 400 Houston, Texas 77042 713.429.4949 ww.infinitymep.com

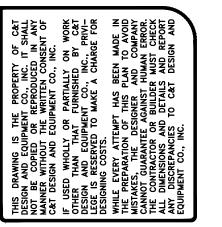
"MARKET SQUARE KIOSK IMPROVEMENTS"

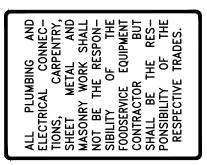
301 MILAM ST HOUSTON, TX 77002

DRAWING INDEX

FS0.0	COVER SHEET
FS1.0	EQUIPMENT FLOOR PLAN
FS2.0	EQUIPMENT SCHEDULE
FS3.0	PLUMBING ROUGH-INS
FS4.0	ELECTRICAL ROUGH-INS
FS5.0	NOT USED
FS6.0	ELEVATIONS







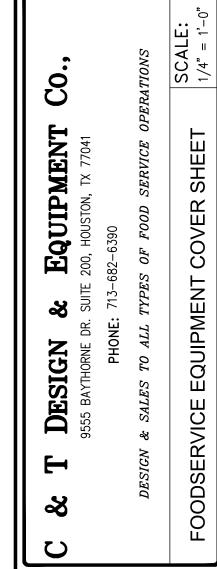
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W.M. 10/23/24

REVISIONS

NO. DATE DESCRIPTION

1 10/1/2024 ISSUE FOR PERMIT



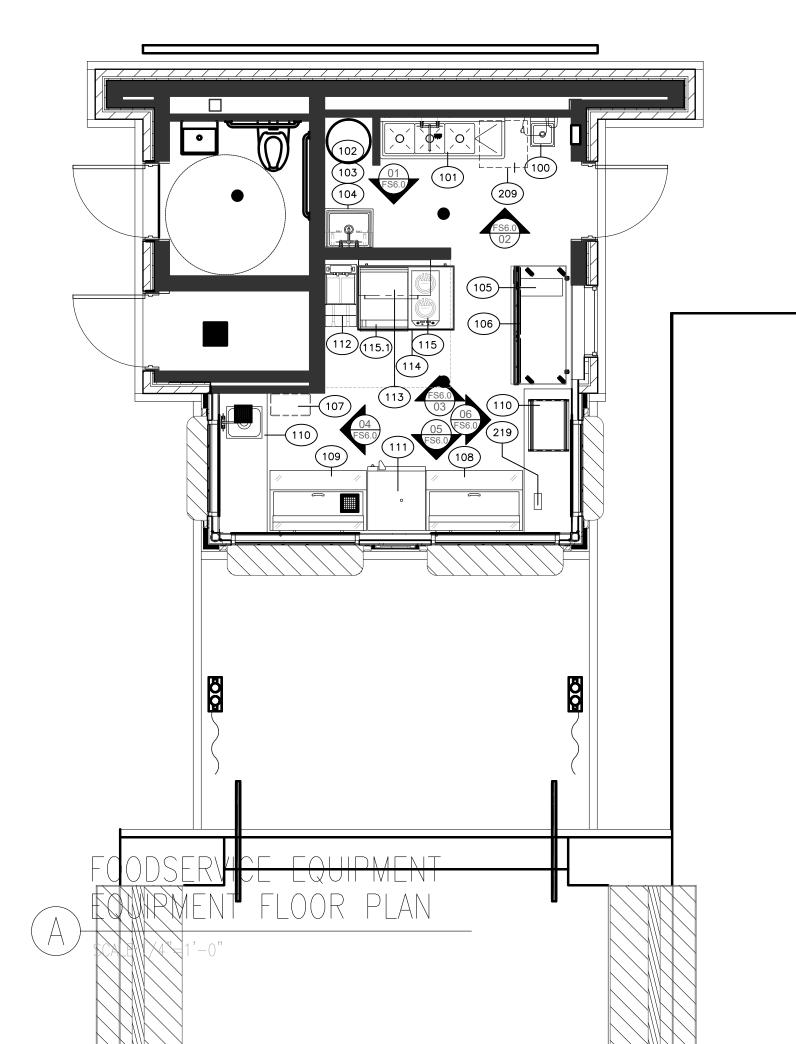
PROJECT MANAGER
E-MAIL ADDRESS
WILLIAM MCBRIDE
wmcbride@c-tdesign.com

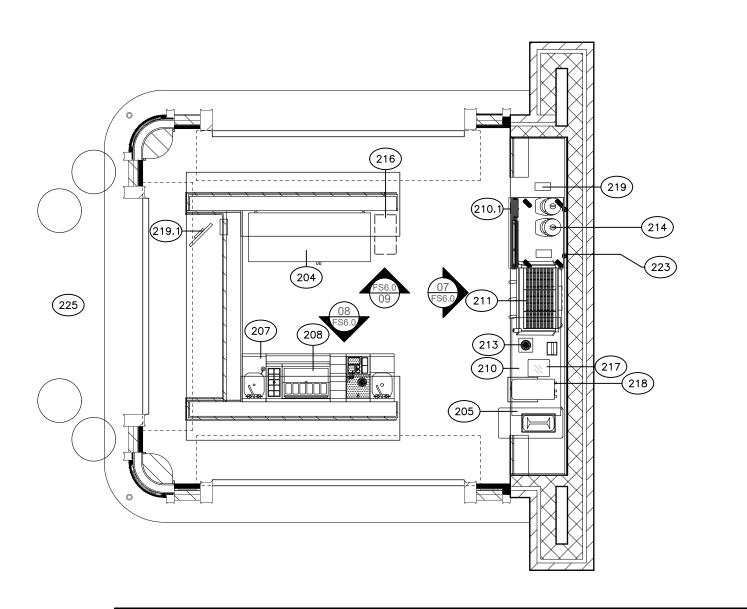
MARKET SQUARE PARK
KIOSK IMPROVEMENTS
301 MILAM
HOUSTON, TX 77002



JOB NO. ___

FS0.0





HEALTH DEPARTMENT NOTES

- ALL NEW EXHAUST HOODS WILL BE CONSTRUCTED AS PER THE FOLLOWING STANDARDS: NSF, UL AND NFPA-96. ALL NEW HOODS TO BEAR U.L. CLASSIFIED LABLE WITHOUT DAMPERS IN EXHAUST VENT COLLARS. HOODS ARE DESIGNED TO MEET OR EXCEED 50 FPM CAPTURE VELOCITY AT THE COOKING SURFACE EDGE AND HAVE 6" MINIMUM OVERHANG AT ALL EXPOSED COOKING AREAS.
- ALL COOKING EQUIPMENT UNDER EXHAUST HOODS ARE EITHER ON CASTERS WITH FLEXIBLE UTILITY QUICK DISCONNECTS OR FIXED ON STAINLESS STEEL LEGS AND SEALED TO WALLS WITH CLEAR SILICONE SEALANT.

ICE MACHINES TO BE HELD 6" OFF WALL. IF VACUUM BREAKER IS REQUIRED BY CODES

- IT WILL BE FURNISHED BY PLUMBING CONTRACTOR. HOT FOOD WELLS AND STEAM TABLES ARE FILLED WITH WATER BY COUNTER TOP FAUCETS OR ADJACENT SINK FAUCETS.
- CABINETS OR COUNTERS WITH EXPOSED FOOD OR CLEAN UTENSILS WILL BE PROVIDED WITH DOORS OR NO OPEN SHELVING BELOW 18" ABOVE FLOOR. THE HOODS AND EXHAUST DUCT SYSTEMS WILL BE PROVIDED WITH AN AUTOMATIC FIRE
- EXTINGUISHING SYSTEM. ALL REFRIGERATION EQUIPMENT SHALL HAVE THERMOMETERS WHICH ARE EASILY READABLE, IN PROPER WORKING CONDITION, AND ACCURATE WITHIN A RANGE OF PLUS OR MINUS TWO
- COUNTER TOP EQUIPMENT NOT READILY MOVABLE, WEIGHING OVER 80 POUNDS WILL BE PROVIDED WITH LEGS OR FEET AT LEAST 4" HIGH. ALL CHEMICAL SANITIZER KITS FOR THREE (3) COMPARTMENT SINKS WILL BE FURNISHED
- BY THE CHEMICAL SUPPLIER. 10. ALL CHEMICAL INJECTION SYSTEMS MUST BE INSTALLED DOWNSTREAM FROM A VACUUM BREAKER OR AIR GAP TO PREVENT POSSIBLE BACK SIPHONAGE OF THE CHEMICALS INTO
- THE WATER LINE SYSTEM. 11. ALL CUTTING BOARDS AND WORK SURFACES SHALL BE OF NON-WOOD CONSTRUCTION. 12. ALL FOOD SERVICE AND RELATED EQUIPMENT SHALL BE INSTALLED IN CONFORMITY WITH
- 13. AN AISLE SPACE OF 36" MINIMUM OR MORE SHALL BE PROVIDED WITHIN ALL WORK AND
- 14. BACK SPLASHES OF EQUIPMENT SHALL BE INSTALLED A MINIMUM OF 3" FROM WALLS OR SEALED TO WALLS. VACUUM BREAKERS WHEN USED TO BE A MINIMUM OF 6" ABOVE THE FLOOD LEVEL RIM
- NO OVERSHELVES TO BE PROVIDED OVER COOKING EQUIPMENT. PROVIDE A MINIMUM OF 50 FOOT CANDLES OF LIGHTING IN ALL FOOD PRODUCTION AND SERVING AREAS AND INCLUDING WALK-IN BOXES. LIGHTING TO BE SCHEDULED OVER EXPOSED

WITH NO SHUT-OFF DEVICES BEYOND THE DISCHARGE OF THE VACUUM BREAKER.

- FOOD AND UTENSIL AREAS. 18. HAND WASHING FACILITIES ARE REQUIRED FOR FOOD PREPERATION, SERVING, OR UTENSIL WASHING AREAS AND WILL BE SHOWN ON THE FLOOR PLAN.
- SNEEZE GUARD PROTECTION WHERE APPLICABLE WILL BE PROVIDED FOR EXPOSED, UNWRAPPED FOOD AT SUCH AREAS AS SALAD BARS, BUFFETS AND CAFETERIA COUNTERS.
- 20. FOODSERVICE EQUIPMENT DESIGN AND INSTALLATION SHALL BE IN COMPLICANCE WITH APPLICABLE BUILDING AND HEALTH CODES.
- 21. ALL WALLS, CEILINGS AND FLOORS WITHIN THE FOOD PREPARATION AREAS SHALL BE CONSTRUCTED WITH SMOOTH, NON-ABSORBENT AND EASILY CLEANABLE MATERIALS. ARTIFICIAL LIGHTING FIXTURES OVER FOOD PREPARATION AREAS SHALL HAVE PROTECTIVE SHIELDING. FIFTY (50) FOOT-CANDLES SHALL BE PROVIDED TO ALL WORK SURFACES AND
- AT LEAST THIRTY (30) FOOT-CANDLESSHALL BE PROVIDED TO OTHER SURFACES IN FOOD PREPARATION, WAREWASHING AND HAND WASHING AREAS. 23. AREA OVER WALK-IN COOLER SHALL BE ENCLOSED TO FINISHED CEILING.
- 24. ALL POISONOUS OR TOXIC MATERIALS SHALL BE STORED IN CABINETS OR IN SIMILAR PHYSICALLY SEPARATED COMPARTMENTS SPECIFICALLY USED FOR THIS PURPOSE. 25. MOP SINK TO BE LOCATED IN THE VICINITY OF KITCHEN.
- 26. UTENSIL CLEANING AND SANITIZING SHALL BE ACCOMPLISHED IN THREE COMPARTMENT SINK WITH MINIMUM BOWL SIZE OF 15"x15"x12" DEEP w/INTERNAL ROUNDED CORNERS. 27. MACHINE CLEANING AND SANITIZING SHALL BE ACCOMPLISHED IN DISHWASHING MACHINE

UTILIZING 180°F RINSE CYCLE WATER TEMPERATUR OR BY CHEMICAL SANITIZATION.

DR	AWN BY:	: DATE:
	W.M.	10/23/24
	RE\	VISIONS
NO.	DATE	DESCRIPTION
1	10/1/2024	ISSUE FOR PERMIT
Α	10/24/24	ADDENDUM 1

PROJECT MANAGER E-MAIL ADDRESS WILLIAM MCBRIDE wmcbride@c-tdesign.com

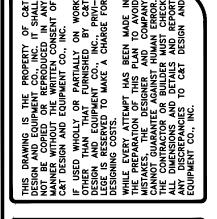
IMPROVEMENTS
301 MILAM 005 30 MARKET KIOSK II

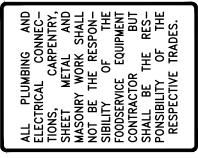


JOB NO.

- OF OWNER FURNISHED OWNER INSTALLED OI
- VF VENDOR FURNISHED • VI VENDOR INSTALLED
- NIKEC NOT IN KITCHEN EQUIPMENT CONTRACT KEC KITCHEN EQUIPMENT CONTRACTOR
- GC GENERAL CONTRACTOR AFF ABOVE FINISHED FLOOR

			EQUIPMENT SCHEDUI	E	
ITEM NO	QTY	EQUIPMENT CATEGORY	MANUFACTURER	MODEL NUMBER	EQUIPMENT REMARKS
100	1	HAND SINK	JOHN BOOS & CO.	PBHS-W-0909	EXISTING TO REUSE
101	1	SINK, NSF, 3 COMP, 16 GAUGE	ADVANCE TABCO	FC-3-1515-15R	EXISTING TO REUSE
102	1	MOP SINK SHELF	JOHN BOOS & CO.	PB-MSS824	EXISTING TO REUSE
103	1	SERVICE SINK FAUCET	KROWNE METAL	16-127	EXISTING TO REUSE
104	1	MOP SINK	JOHN BOOS & CO.	PBMS2016-6	EXISTING TO REUSE
105	1	WHIPPED CREAM MACHINE	CARPIGIANI	KW-50	
106	1	REFRIGERATOR, UNDERCOUNTER	TURBO AIR	JUR-60-N6	
107	1	TRASH CANS	CUSTOM	CUSTOM - TRASH CANS	WITH 6" S/S TRASH SHOOT
108	1	REFRIGERATOR, SANDWICH/SALAD PREP	TURBO AIR	EST-48-N-V	, , , , , , , , , , , , , , , , , , ,
109	1	REFRIGERATOR, SANDWICH/SALAD PREP	TURBO AIR	EST-48-N-V	
110	4	TABLE, WORK, 16 GAUGE, FLAT TOP W/ UNDERSHELF	ADVANCE TABCO	MS-246	W/SINK BOWL, 1 EA 5'-10 LONG
111	1	OVEN, CONVECTION, ELECTRIC, PROOFER	MOFFAT	E32D5-P8M	
112	1	FRYER, DEEP FAT, ELECTRIC	IMPERIAL RANGE	IFS-40-E	
113	1	SALAMANDER BROILER, ELECTRIC	IMPERIAL RANGE	ISB-36-E	
114	1	REFRIGERATOR, SHORTY	TRUE MFG. — GENERAL FOODSERVICE	TRCB-48	
115	1	INDUCTION COOKER	COOKTEK	MC2502F	
115.1	1	GRIDDLE, ELECTRIC	MAGIKITCH'N	MKE24	
	<u>'</u>				
204	1	BACK BAR COOLER	TRUE MFG. — GENERAL FOODSERVICE	TBB-24-60G-HC-LD	
205	1	FROZEN DRINK MACHINE	SPACEMAN USA	6650-C	
207	1	UNDERBAR HANDSINK W/SOAP & TOWEL DISPENSERS	KROWNE	KR24-12ST	
208	1	UNDERBAR ALL—IN—ONE STATION	KROWNE	KR24-MT64	
209	1	WAREWASHER, UNDERCOUNTER	CMA DISHMACHINES	L-1X	
210	1	UNDERCOUNTER REFRIGERATOR	TURBO AIR	JUR-48-N6	
210.1	1 1	UNDER COUNTER REFRIGERATOR	TURBO AIR	JUR-36-N6	
211	1 1	ESPRESSO MACHINE	LA MARZOCCO SL	GB5 S 3AV	
213	1 1	RINSER STATION	KROWNE	KR-7GR	
214	1 1	GRINDER, COFFEE	UNIC USA	E37K	
216	1 1	TRASH CANS	CUSTOM	CUSTOM — TRASH CANS	
217	1	COFFEE GRINDER	BUNN-O-MATIC	20580.0001	
218	1	COFFEE/TEA BREWER	BUNN-O-MATIC	52000.0301	
219	7	PRINTER-POS	TOAST	CUSTOM	POS PRINTER
219.1	1	PRINTER-POS PRINTER-POS	TOAST	CUSTOM	POS PRINTER POS WITH PRINTER
220	1	SPARE NUMBER			I OO WIIII I INIINILIN
221	1	ICE MAKER W/O BIN	MANITOWOC ICE		
				IRT0900A	
222	LOT	SHELVING, WIRE	JOHN BOOS & CO.	EPS-2460-G	
223	1	PUCK TAMPER	ESPRESSO PARTS	CUSTOM	PUCK TAMPER
224	1	HAND SINK	JOHN BOOS & CO.	PBHS-W-0909	
225	4	COOLER, BARREL	CUSTOM	CUSTOM	
226	1	SPARE NUMBER	_		





DR	AWN BY:	: DATE:
	W.M.	10/23/24
	RE\	VISIONS
NO.	DATE	DESCRIPTION
1	10/1/2024	ISSUE FOR PERMIT
Α	10/24/24	ADDENDUM 1

FOODSERVICE EQUIPMENT FLOOR PLAN

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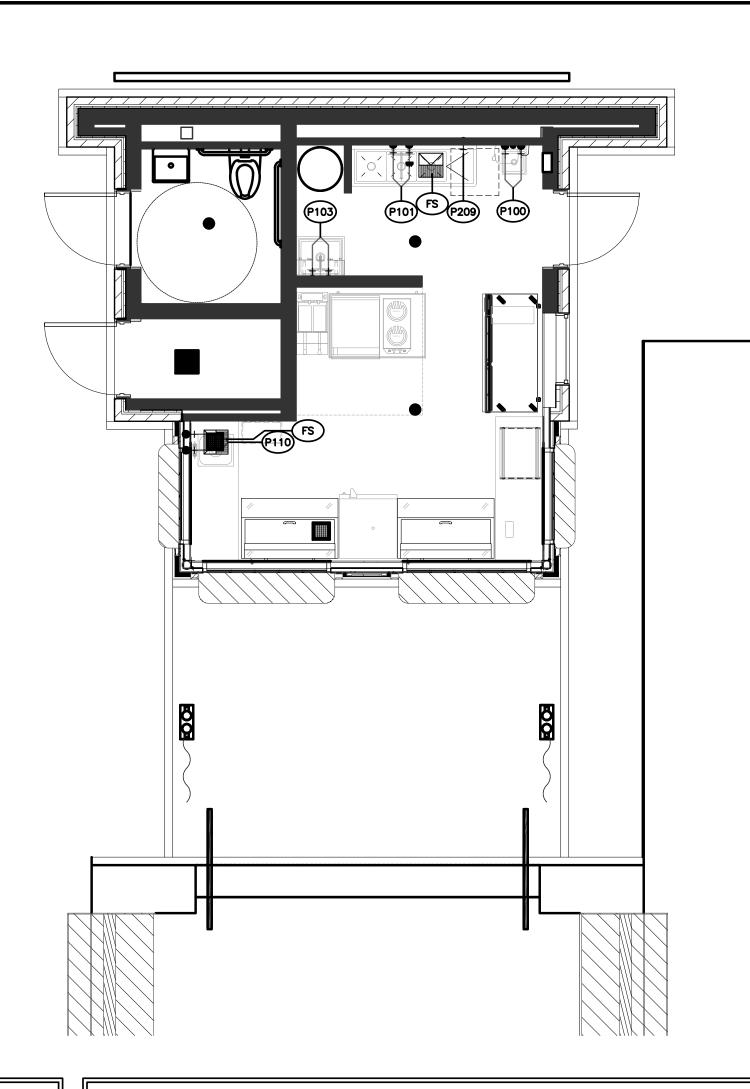
& T DESIGN & EQUIPMENT (
9555 BAYTHORNE DR. SUITE 200, HOUSTON, TX 77041
PHONE: 713-682-6390
DESIGN & SALES TO ALL TYPES OF FOOD SERVICE OPER. PROJECT MANAGER
E-MAIL ADDRESS

WILLIAM MCBRIDE wmcbride@c-tdesign.com

MARKET SQUARE PARK
KIOSK IMPROVEMENTS
301 MILAM
HOUSTON, TX 77002



JOB NO. _



PLUMBING LEGEND

0+	HW	HOT WATER WITH SERVICE STOP
0+	CW	COLD WATER WITH SERVICE STOP
O+ O+	HCW	HOT & COLD WATER WITH SERVICE STOP
\$ \$ \$ \$	HCW	HOT & COLD WATER WITH SERVICE STOP & DRAIN
	FD	FLOOR DRAIN
o	FFD	FLOOR DRAIN WITH FUNNEL
	FS	FLOOR SINK WITH HALF GRATE
٥	DR	DRAIN
•	G	GAS MAIN
₩	GAS	GAS ROUGH IN WITH VALVE
	EVC	EXHAUST VENT CONNECTION
	SVC	SUPPLY VENT CONNECTION
	AFF	ABOVE FINISHED FLOOR
l		

BTC BRANCH TO EQUIPMENT

PLUMBING NOTES

ALL DIMENSIONS ARE FROM COLUMN CENTERLINES AND/OR FINISHED WALLS. ALL DIMENSIONS ARE TO THE CENTERLINES OF ROUGH-INS.

THE FOLLOWING WORK IS TO BE PERFORMED BY DIVISION 15 - MECHANICAL:
- PROVIDE ALL ROUGHING-IN AND CONNECTIONS TO FOODSERVICE EQUIPMENT.

- INSTALL ALL ACCESSORIES AND FITTINGS PROVIDED LOOSE WITH FOODSERVICE EQUIPMENT

- PROVIDE ALL VALVES, TRAPS, WATER AND PRESSURE REGULATORS, REDUCING VALVES, PIPING RUNS, SHOCK ABSORBERS, GREASE INTERCEPTORS, ETC. IN ORDER TO CONNECT FOODSERVICE EQUIPMENT TO BUILDING

- FLUSH OUT ALL PIPING AND DRAINAGE SYSTEMS PRIOR TO CONNECTION OF FOODSERVICE EQUIPMENT. - PROVIDE AND INSTALL SPRINKLER SYSTEM, IF REQUIRED.

- PROVIDE AND INSTALL WATER SOFTENERS, FILTERS AND TREATMENT SYSTEMS.

- INSULATE 180^F HOT WATER FROM BOOSTER HEATER TO DISHWASHER INLET.

- INSTALL FIRE SUPPRESSION MECHANICAL GAS VALVE IN A VISIBLE AND ACCESSIBLE LOCATION. - PROVIDE GAS PRESSURE OF 4" TO 6" W.C. AT COOKING EQUIPMENT.

- PROVIDE CONDUIT FOR REFRIGERATION LINES.

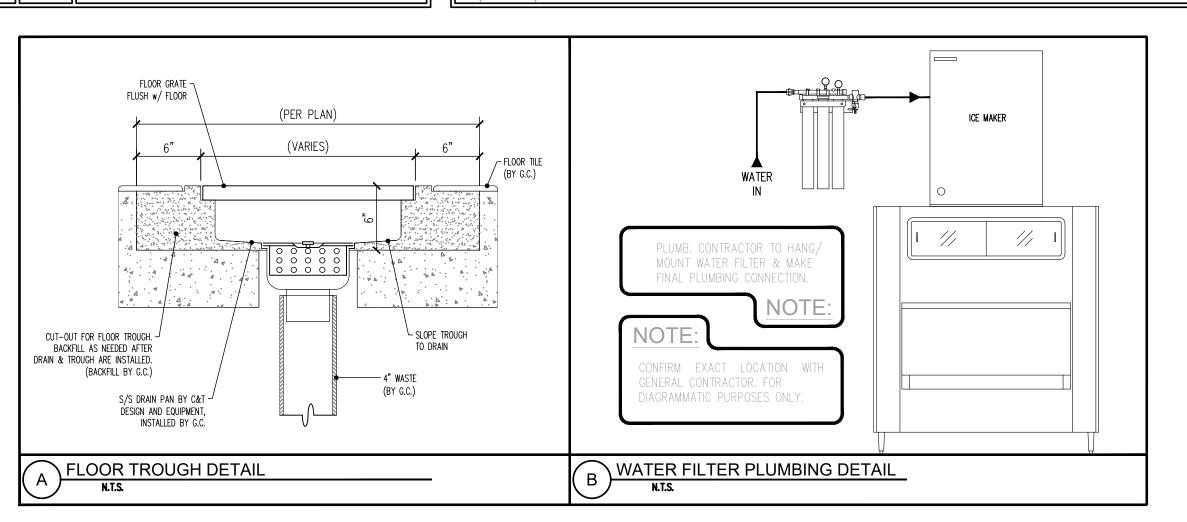
- HVAC CONTRACTOR TO HANG HOOD, PROVIDE AND INSTALL ALL DUCT WORK, EXHAUST AND SUPPLY FANS,

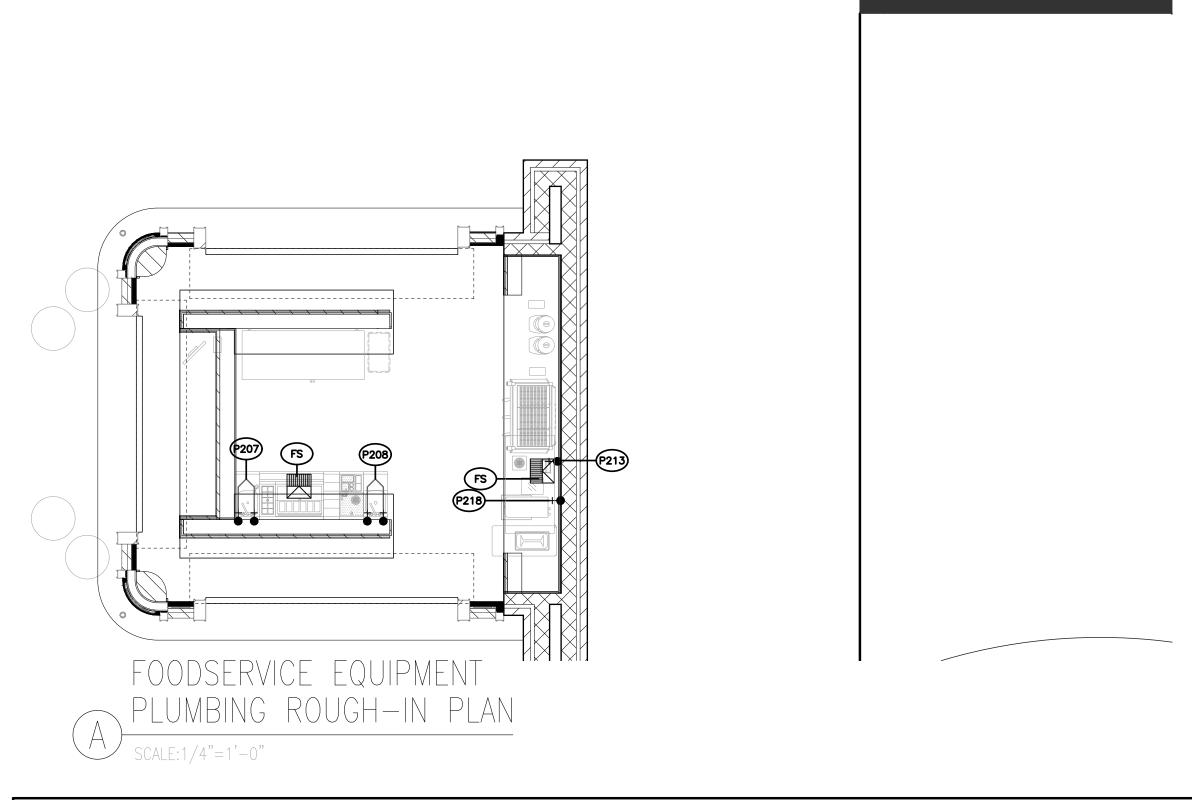
CURBS, ROOF JACKS AND ROOF PENETRATIONS.

- HVAC CONTRACTOR TO PROVIDE AIR BALANCING.

- PROVIDE PROPER VENTILATION TO REFRIGERATION MECHINERY ROOM (MAX. 90^F), DRY STORAGE ROOMS

(MAX. 75[^]F) AND WAREWASH ROOM.





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	PLUMBING SCHEDULE									╛	
ITEM	EQUIPMENT CATEGORY	QTY	LOCATION	COLD WATER SIZE	COLD WATER AFF	HOT WATER SIZE	HOT WATER AFF	DIRECT DRAIN SIZE	DIRECT DRAIN AFF	PLUMBING REMARKS	· •
FS	FLOOR SINK	5	FLOOR					3	0]
P100	HAND SINK	1	WALL	1/2	24	1/2	24	1 1/2	20	EXISTING TO REUSE]
P101	SINK, NSF, 3 COMP, 16 GAUGE	1	WALL	1/2	24	1/2	24			EXISTING TO REUSE]
P103	SERVICE SINK FAUCET	1	WALL	1/2	36	1/2	36			EXISTING TO REUSE]
P110	TABLE, WORK, 16 GAUGE, FLAT TOP W/ PREP SINK	1	WALL	1/2	24	1/2	24	1 1/2	20]
P207	UNDERBAR HANDSINK W/SOAP & TOWEL DISPENSERS	1	WALL	1/2	12	1/2	12]
P208	UNDERBAR ALL-IN-ONE STATION	1	WALL	1/2	12	1/2	12]
P209	WAREWASHER, UNDERCOUNTER	1	WALL		8	1/2	2]
P211	STEAM SYSTEM	1	WALL	3/8	36]
P211.	1ESPRESSO SYSTEM	1	WALL	3/8	24]
P213	RINSER STATION	1	WALL	1/2	36]
P218	COFFEE/TEA BREWER	1	WALL	1/2	48]
P221	ICE MAKER W/BIN	1	WALL	1/2	60]
P224	HAND SINK	1	WALL	1/2	24	1/2	24	1 1/2	20]
]

* NOTE: HAND SINKS MOUNTED & CONNECTED BY PLUMBING CONTRACTOR. WATER FILTERS FOR ICE MACHINES MOUNTED & CONNECTED BY PLUMBING CONTRACTOR. FLOOR TROUGHS INSTALLED & CONNECTED BY PLUMBING CONTRACTOR. ALL QUICK CONNECT GAS HOSES SUPPLIED BY K.E.C. & INSTALLED BY PLUMBING CONTRACTOR.

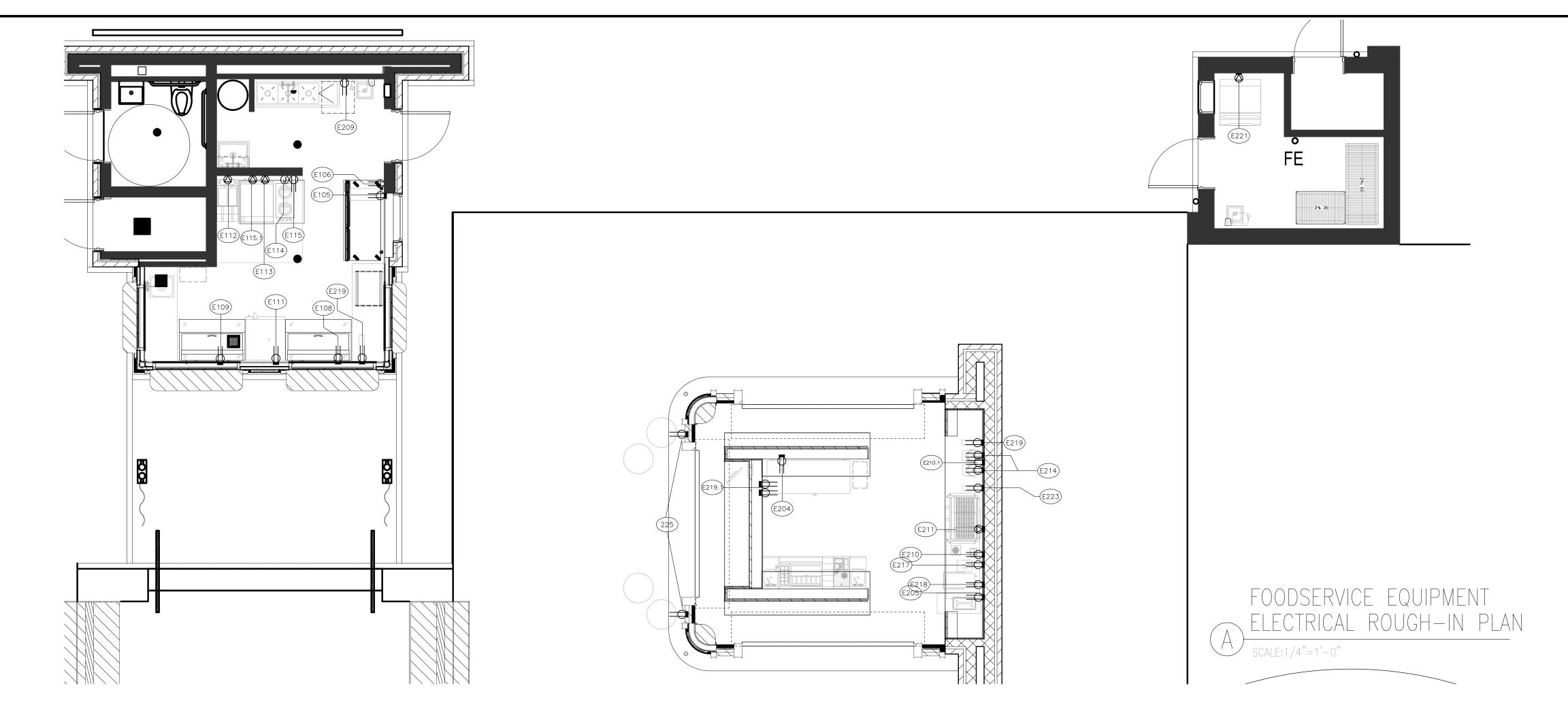
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	W.M.	10/23/24								
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NO.	DATE	DESCRIPTION								
1	10/1/2024	ISSUE FOR PERMIT								
Α	10/24/24	ADDENDUM 1								

PROJECT MANAGER E-MAIL ADDRESS WILLIAM MCBRIDE wmcbride@c-tdesign.com

MARKET SQUARE PARK KIOSK IMPROVEMENTS 301 MILAM



JOB NO.



ITEM OTY CONTROL OTHER OTHER	
E106 1 2.0 REFRIGERATOR, UNDERCOUNTER 115 1 12	S
E108	
E109 1 3.0 REFRIGERATOR, SANDWICH/SALAD PREP 115 1 12	
E111 1 28.0 OVEN, CONVECTION, ELECTRIC, PROOFER 208 1 40	
11.6	
## E112	BY EC
## E113	
## E114	BY EC
E115	BY EC
E115.1 1 31.6 GRIDDLE, ELECTRIC 208 3 40 X CORDSET E204 1 2.1 BACK BAR COOLER 115 1 12 X 5-15P E205 1 15.0 FROZEN DRINK MACHINE 120 1 24 X 5-20P E209 1 16.0 WAREWASHER, UNDERCOUNTER 115 1 26 X 5-20P E210 1 2.1 BACK BAR COOLER 115 1 24 X 5-15P E210.1 1 1.7 BACK BAR COOLER 115 1 24 X 5-15P E211 1 50.0 ESPRESSO SYSTEM 208 1 24 X 6-50P E214 2 15.0 GRINDER, COFFEE 110 1 36 X 5-20P E217 1 4.0 COFFEE GRINDER 120 1 36 X 5-15P E218 1 14.0 COFFEE/TEA BREWER 120 1 36 X 5-15P E219 2 2.1 PRINTER-POS 120 1 36 X 5-15P E219.1 1 2.1 PRINTER-POS 120 1 36 X 5-15P E219.1 1 2.1 PRINTER-POS 120 1 36 X 5-15P E221 1 9.5 ICE MAKER W/O BIN 208 1 60 X 6-20P	
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E219.1 1 2.1 PRINTER-POS 120 1 36	
E221 1 9.5 ICE MAKER W/O BIN 208 1 60 X 6-20P	
E223 1 2.0 COFFEE TAMPER 120 1 36 X 5-15P	
E225 4 2.1 COOLER, BARREL 120 1 12 X 5-15P	

* INDICATES CIRCUIT TO HAVE SHUNT TRIP INTERCONNECTED TO FIRE SUPPRESSION SYSTEM MICROSWITCH TO BE SHUT DOWN IN CASE OF FIRE.

→ NOTE: ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR MAKING ALL FINAL AND INTERMEDIATE CONNECTIONS TO EQUIPMENT. ALL COMPONENTS SHIPPED LOOSE WITH EQUIPMENT WHICH REQUIRE ELECT. CONNECTION IS TO BE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY. ELECTRIC CONTRACTOR IS TO COORDINATE SHEETS THE KEC SHALL NOT BE RESPONSIBLE FOR ANY WIRING OR CONNECTIONS TO FOODSERVICE EQUIPMENT, INCLUDING CONTROL WIRING OR FIRE ALARM WIRING.

ELECTRICAL LEGEND

DR DUPLEX RECEPTACLE DR DUPLEX RECEPTACLE IN WALL SINGLE RECEPTACLE SINGLE RECEPTACLE IN WALL \bigcirc PEDESTAL MOUNT SINGLE RECEPTACLE J JUNCTION BOX JUNCTION BOX IN WALL •① PEDESTAL MOUNT JUNCTION BOX DCR DROP CORD RECEPTACLE CONDUIT STUB LIGHT FIXTURE \boxtimes MC MOTOR CONTROL SWITCH SW SWITCH (TOGGLE) AFF ABOVE FINISHED FLOOR BTC BRANCH TO CONNECTION

ELECTRICAL NOTES

- ROUGHING-IN AND FINAL CONNECTIONS OF ELECTRICAL SYSTEMS TO FOODSERVICE EQUIPMENT.

THE FOLLOWING WORK IS TO BE PERFORMED BY THE ELECTRICAL CONTRACTOR:

COMMUNICATION SYSTEMS, CLOCKS AND STAFF TIME CLOCKS IN FOODSERVICE

- CONDUIT AND WIRING FROM DISPOSER SWITCH TO TIME DELAY, MAGNETIC STARTER, MOTOR AND SOLENOID VALVES: ALL BELOW COUNTER TOP.

- WALL SWITCH FOR LIGHT FIXTURES IN EXHAUST HOODS.

- WALL SWITCH FOR FAN MOTOR FOR EXHAUST HOOD'S SYSTEM.

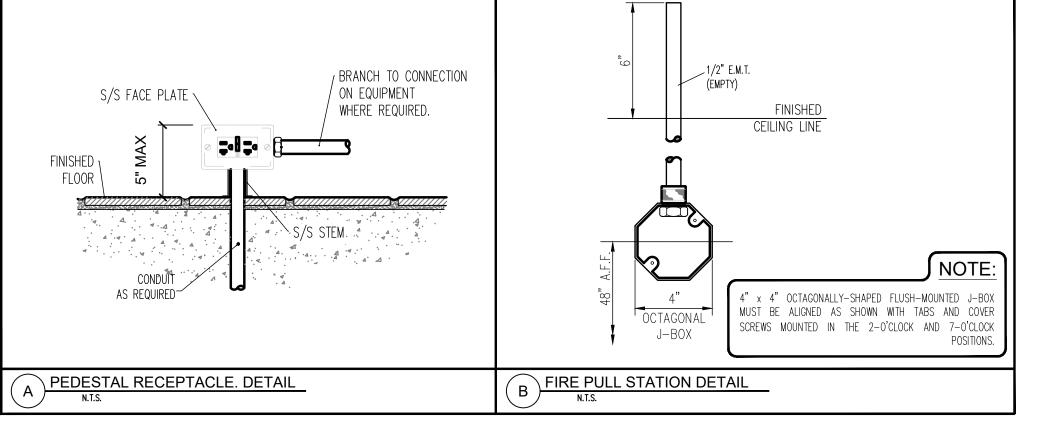
- WIRING TO AND INSTALLATION OF ACCESSORIES (IF ANY) WHICH ARE FURNISHED STANDARD WITH FOODSERVICE EQUIPMENT.

- EMERGENCY LIGHTING AND/OR POWER SYSTEMS.

- ALL DISCONNECT SWITCHES AS REQUIRED. (NEMA 4, WATERPROOF SUGGESTED). - SPECIAL NOTE: ANSUL FIRE SUPPRESSION SYSTEM IS TO BE CONNECTED TO CORRESPONDING SHUNT TRIP BREAKERS FOR SHUT DOWN OF COOKING

EQUIPMENT BELOW VENTILATOR DURING FIRE - IN ADDITION, THE SUPPRESSION SYSTEM SHALL BE REQUIRED TO BE INTERCONNECTED WITH MECHANICAL GAS SHUT OFF DURING FIRE.

*** DIVISION 16 TO PROVIDE [" EMPTY CONDUIT FROM OCTOGONAL JB IN WALL AT 54" AFF UP THRU WALL TO 6" ABOVE CEILING AND EXIT WALL - FOR FIRE SYSTEM REMOTE PULL.



DRAWN BY: DATE: REVISIONS O. DATE DESCRIPTION 10/1/2024 ISSUE FOR PERMI

10/24/24 ADDENDUM 1

PROJECT MANAGER E-MAIL ADDRESS WILLIAM MCBRIDE wmcbride@c-tdesign.com

7002

T SQUARE PARK IMPROVEMENTS 301 MILAM

301 MARKET KIOSK IN



JOB NO.

