

Document 00903

ADDENDUM NO. 3

Issue Date: October 31, 2024  
Project: MARKET SQUARE PARK KIOSK IMPROVEMENTS  
Project No.: 24-460.100-01  
From: Downtown Redevelopment Authority  
1313 Main Street  
Houston, Texas 77002  
To: Prospective Bidders

This Addendum forms a part of the Bidding Documents and will be incorporated into the Contract Documents. Insofar as the Project Manual or Drawings or both are inconsistent, this Addendum governs. Acknowledge receipt of the Addendum by inserting its number and date of issue in Document 00310 - Form of Proposal. FAILURE TO DO SO WILL SUBJECT BID TO DISQUALIFICATION.

*This Addendum uses the change page method: remove, remove and replace, or add pages, or Drawing sheets, as directed in the change instructions below. Change bars ( | ) are provided in the right margins of pages from the Project Manual to indicate where changes have been made; no change bars are provided in added Sections. Reissued Drawing Sheets show the Addendum number in the title block and changes in the Drawing are noted by a revision mark and enclosed in a revision cloud.*

PART 1- INSTRUCTIONS

1.1 No changes.

PART 2- CLARIFICATIONS

2.1 No changes.

PART 3- BIDDING REQUIREMENTS (DIVISION 0)

3.1 No changes.

PART 4- PROJECT MANUAL (DIVISIONS 1-16)

4.1 No changes.

PART 5- DRAWINGS

5.1 See attached drawing clarifications for review and consideration. A narrative of changes is provided below. Remove the entire sheet and insert replacement sheet included herein.

GENERAL

G0.000 COVER

- Updated titleblock.

G0.001 DRAWING INDEX & PROJECT INFORMATION

- Updated drawing index.

CIVIL

C3 - OVERALL SITE AND DEMOLITION PLAN

- Adjusted area of proposed work.

C5 - STORM SEWER PLAN

- Shifted storm sewer line to connect to junction box to the south.

C6 - DRAINAGE AREA MAP & CALCULATIONS

- Updated storm calcs per storm line adjustment.

C7 - UTILITY PLAN

- Removed copper tubing from water line.
- Edited sheet note 2 to match COH requirements.

C8 - STORM WATER POLLUTION PREVENTION PLAN

- Moved filter fabric fence out to encompass existing building to the west. Shifted construction access and truck wash to the north of the site.
- Removed inlet barriers from inlets outside of work area.

ARCHITECTURAL

D1.101 DEMOLITION PLAN - LEVEL 01

- Updated sheet note 03, existing light poles to remain.
- Updated sheet note 07 for existing scope to remain.
- Existing stone wall and brick wall extents to remain at kiosk.

A1.101 CONSTRUCTION PLAN - LEVEL 01

- Removed centerline annotation for decorative light poles.

A2.000 BUILDING ELEVATIONS

- Update existing kiosk elevations, existing stone exterior finish to remain. Remove/add finish tags, sheet notes as necessary.
- Edit sheet notes 02, 03, 04, 09, 10, 15, 23.
- Include area for future tenant signage, provide power as necessary for illuminated signage.

A2.001 BUILDING ELEVATIONS

- Include area for future tenant signage, provide power as necessary for illuminated signage.
- Add material tags.
- Add sheet notes for electrical panel and wall hydrant, indicate on elevation.

A5.000 ENLARGED PLANS - KIOSK

- Update finish plan extents of new brick wall finish.
- Revise construction plan to show existing stone wall and brick exterior to remain as indicated.

A6.000 EXTERIOR DETAILS - PLAN

- Update plan details for existing brick exterior to remain.
- Added new details and elevations of bar.

The following items are to be addressed in a future drawing issuance, and are to be considered for pricing.

MECHANICAL

M2.01 - MECHANICAL PLAN

- Toilet exhaust grille at kiosk will not be relocated.
- Sheet note 4 to be revised to 6, demo existing air curtain over kiosk entry door.

PLUMBING

P2.02 - PLUMBING ENLARGED PLANS

- Area drain to be included at new bar.

ELECTRICAL

E2.01 - POWER PLAN

- Power to be provided for future tenant signage at roof parapets. See A2.000 and A2.001, sheet note 15.

E3.01 - LIGHTING PLAN

- Add LED tape light TP1 at back counter ceiling, see 11/A7.000

E4.01 - POWER HVAC EQUIPMENT PLAN

- West bar entry to show three air curtains instead of two.

END OF ADDENDUM NO. 3

# Downtown Redevelopment Authority / TIRZ No. 3

---

## Market Square Park Kiosk Improvements

### ADDENDUM 3

10.31.2024

301 Milam St, Houston, TX 77002

PROJECT NUMBER: 002.9349.000  
TABS NUMBER: TABS2025002146

### Downtown Redevelopment Authority / TIRZ No. 3

Client  
1221 McKinney St.  
Suite 4250  
Houston, TX 77010  
Tel 713.650.3022

### Gensler

Architect  
909 Fannin St.  
Suite 200  
Houston, TX 77010  
Tel 713.844.0000  
Fax 713.844.0001



10/31/2024

### Imeg Corp.

Structural Engineer  
3700 W Sam Houston Pkwy S  
Suite 100  
Houston, TX 77042  
Tel 832.856.8064  
Fax 816.842.6441

### Infinity MEP+S

MEP Engineer  
10260 Westheimer Road  
Suite 400  
Houston, TX 77042  
Tel 713.429.4949

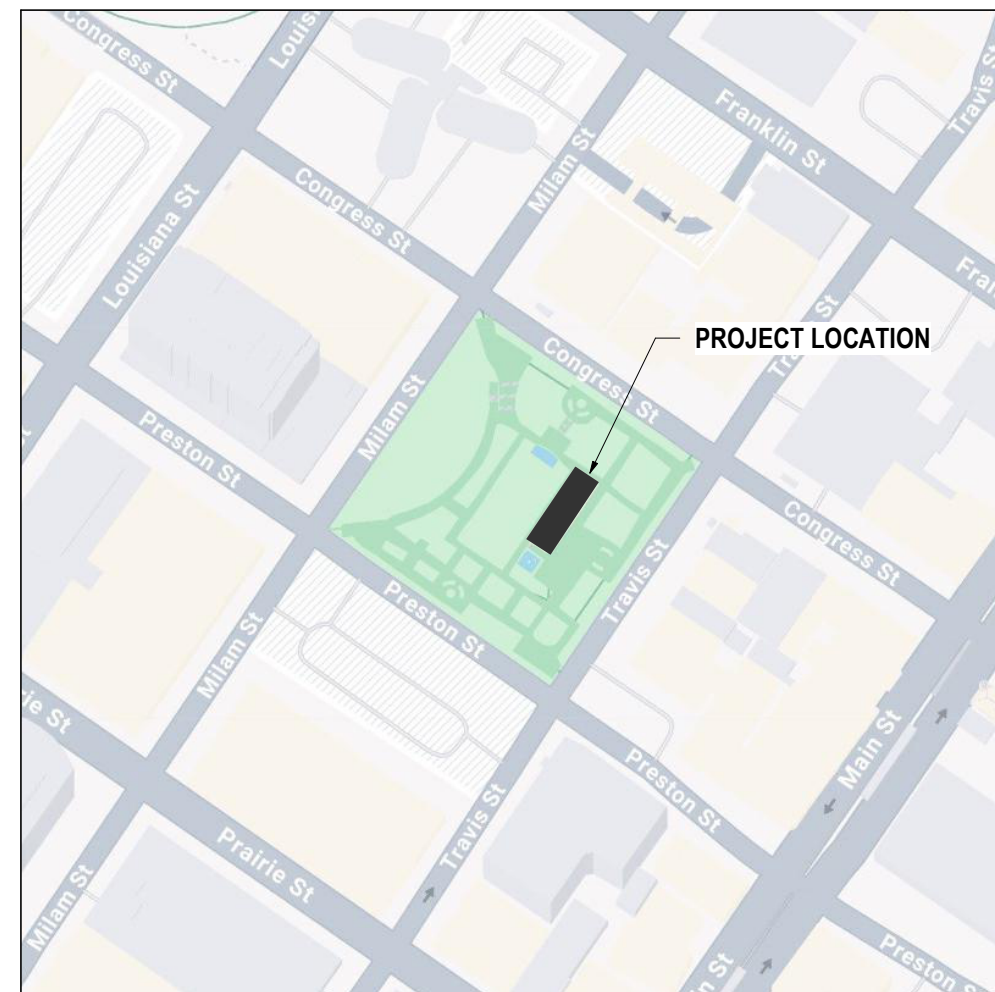
### ProE Consulting

Civil Engineer  
1334 Brittmoore  
Suite 2808  
Houston, TX 77043  
Tel 832.714.2568

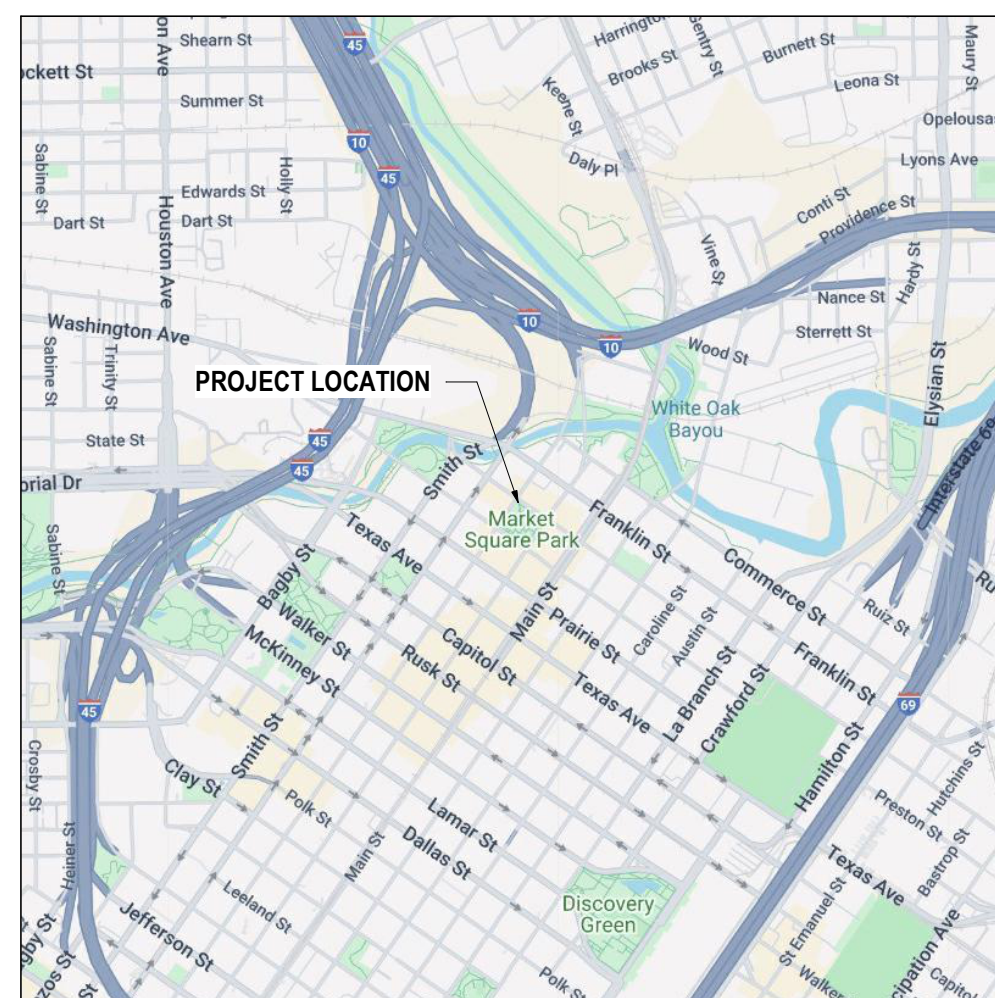
### C&T Design

Food Service & Equipment  
9555 Baythorne Dr.  
Suite 200  
Houston, TX 77041  
Tel 713.682.6390

## VICINITY MAP



## LOCATION MAP



## MINIMUM PLUMBING FACILITIES

REFER TO G1.101 LIFE SAFETY PLAN

## HAZARDOUS MATERIALS NOTES (ASBESTOS)

- IN THE EVENT OF ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE OR THE SUBSTANTIAL RISK THEREOF, CLIENT WILL HAVE THE DUTY TO INFORM THE ARCHITECT OF SUCH RISKS KNOWN OR REASONABLE KNOWABLE TO CLIENT.
- IF ASBESTOS OR ANY OTHER TOXIC SUBSTANCE, OR RISK TO EXPOSURE THERETO IS DISCOVERED BY ARCHITECT DURING WORK ON THE PROJECT, ARCHITECT SHALL IN ITS SOLE DISCRETION, HAVE THE RIGHT TO SUSPEND WORK ON THE PROJECT.
- CLIENT SHALL HAVE THE DUTY TO PROMPTLY RETAIN A QUALIFIED EXPERT SAFELY TO REMOVE OR SUPERVISE THE REMOVAL OF SUCH ASBESTOS OR OTHER TOXIC SUBSTANCE.
- CLIENT SHALL INDEMNIFY AND HOLD ARCHITECT, ITS AFFILIATES AND SUBCONTRACTORS AND THEIR OFFICERS, AGENTS, AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY ON THE PART OF OR DAMAGE TO SUCH FEES AND EXPENSES ARE INCURRED, WHICH MAY RESULT IN ASBESTOS OR OTHER TOXIC SUBSTANCE EXPOSURE ON THE PROJECT.

## GENERAL NOTES

- COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, ORDERS, RULES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK EXCEPT AS PROVIDED OTHERWISE IN THE SPECIFICATIONS OR OWNER CONTRACTOR AGREEMENT.
- REVIEW DOCUMENTS, VERIFY DIMENSIONS AND FIELD CONDITIONS AND CONFIRM THAT WORK IS BUILDABLE AS SHOWN. REPORT ANY CONFLICTS OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION.
- COORDINATE WORK WITH THE OWNER, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.
- OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT. INCLUDE SCHEDULE REQUIREMENTS IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.
- MAINTAIN WORK AREAS SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH OWNER AND/OR PROPERTY MANAGER TO ENSURE SECURITY.
- MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH APPLICABLE CODES AND ORDINANCES.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT.

## PROJECT INFORMATION

PROJECT DESCRIPTION:	A RENOVATION AND TENANT FIT-OUT OF EXISTING RESTAURANT KIOSK SPACE AND STORAGE, AND NEW FREE-STANDING OUTDOOR BAR, NOT SPRINKLERED. PROJECT SCOPE ALSO INCLUDES ALTERATIONS OF EXISTING TRELIS STRUCTURE, SEATING AREA, AND SITE IMPROVEMENTS. NO CHANGE OF OCCUPANCY TYPE FROM EXISTING USE.
BUILDING ADDRESS:	301 MILAM STREET, HOUSTON, TX 77002
BLOCK AND LOT NO.:	BLOCK 34
OCCUPANCY TYPE:	GROUP A-2
CONSTRUCTION TYPE:	TYPE II-B
PROJECT AREA:	825 GSF
ALLOWABLE AREA (PER STORY):	9,500 SF
BUILDING HEIGHT (STORIES):	1
ALLOWABLE STORIES:	2
BUILDING HEIGHT (FEET):	12 FT.
ALLOWABLE HEIGHT:	55 FT.
FIRE PROTECTION:	RE: LIFE SAFETY PLAN KIOSK: EXISTING PORTABLE FIRE EXTINGUISHER IN CABINET, EXISTING AUTOMATIC FIRE DETECTION AND MANUAL FIRE ALARM SYSTEM. OUTDOOR BAR: PORTABLE FIRE EXTINGUISHER. STORAGE: EXISTING PORTABLE FIRE EXTINGUISHER.

## APPLICABLE CODES / STANDARDS

BUILDING CODE:	2021 INTERNATIONAL EXISTING BUILDING CODE W/ CITY OF HOUSTON AMENDMENTS
	2021 INTERNATIONAL BUILDING CODE W/ CITY OF HOUSTON AMENDMENTS
PLUMBING CODE:	2021 UNIFORM PLUMBING CODE W/ CITY OF HOUSTON AMENDMENTS
MECHANICAL CODE:	2021 UNIFORM MECHANICAL CODE W/ CITY OF HOUSTON AMENDMENTS
ELECTRICAL CODE:	2023 NATIONAL ELECTRICAL CODE W/ CITY OF HOUSTON AMENDMENTS
FIRE/LIFE SAFETY CODE:	2021 INTERNATIONAL FIRE CODE W/ CITY OF HOUSTON AMENDMENTS
ACCESSIBILITY CODE:	2012 STATE OF TEXAS ACCESSIBILITY STANDARDS
ENERGY CODE:	ASHRAE 90.1-2013 W/ CITY OF HOUSTON AMENDMENTS 2021 INTERNATIONAL ENERGY CONSERVATION CODE W/ CITY OF HOUSTON AMENDMENTS

## FIRE-RESISTANCE RATING REQUIREMENTS

IBC CH. 6

BUILDING ELEMENT	REQUIRED	PROVIDED
STRUCTURAL FRAME, INCLUDING COLUMNS, GIRDERS AND TRUSSES	0	0
BEARING WALLS - EXTERIOR	0	0
NONBEARING WALLS - EXTERIOR	0	0
BEARING WALLS - INTERIOR	0	0
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBER	0	0
NONBEARING WALLS - INTERIOR	0	0
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBER	0	0

\* Indicate section number permitting reduction  
\*\* 0-4 hours or N/A - Not applicable

## FIRE-RESISTANCE RATED CONSTRUCTION

IBC CH. 7 & 10

BUILDING ELEMENT	REQUIRED	PROVIDED
SHAFT ENCLOSURES - EXIT	N/A	N/A
SHAFT ENCLOSURES - OTHER	N/A	N/A
CORRIDOR SEPARATION	N/A	N/A
OCCUPANCY SEPARATION	N/A	N/A
PARTY/FIRE WALL SEPARATION	N/A	N/A
SMOKE BARRIER SEPARATION	N/A	N/A
TENANT SEPARATION	N/A	N/A
INCIDENTAL USE SEPARATION	N/A	N/A

DRAWING INDEX				
SHEET NO.	SHEET NAME	CURRENT REVISION	CURRENT ISSUE DATE	CURRENT ISSUE
<b>GENERAL</b>				
G0.000	COVER	B	10.31.2024	ADDENDUM #3
G0.001	DRAWING INDEX & PROJECT INFORMATION	B	10.31.2024	ADDENDUM #3
G0.010	GENERAL GRAPHIC SYMBOLS	1	10.01.2024	ISSUE FOR PERMIT
G0.011	GENERAL - ABBREVIATIONS	1	10.01.2024	ISSUE FOR PERMIT
G1.101	FIRE & LIFE SAFETY PLAN - LEVEL 01	A	10.24.2024	ADDENDUM #2
G9.000	BUILDING 3D VIEWS	A	10.24.2024	ADDENDUM #2
<b>CIVIL</b>				
C1	COVER SHEET	A	10.24.2024	ADDENDUM #2
C2	GENERAL NOTES	A	10.24.2024	ADDENDUM #2
C3	OVERALL SITE AND DEMOLITION PLAN	B	10.31.2024	ADDENDUM #3
C4	GRADING & PAVING PLAN	A	10.24.2024	ADDENDUM #2
C5	STORM SEWER PLAN	B	10.31.2024	ADDENDUM #3
C6	DRAINAGE AREA MAP & CALCULATIONS	B	10.31.2024	ADDENDUM #3
C7	UTILITY PLAN	B	10.31.2024	ADDENDUM #3
C8	STORM WATER POLLUTION PREVENTION PLAN	B	10.31.2024	ADDENDUM #3
C9	STORM WATER POLLUTION PREVENTION DETAILS	1	10.01.2024	ISSUE FOR PERMIT
C10	CONSTRUCTION DETAILS	1	10.01.2024	ISSUE FOR PERMIT
<b>DEMOLITION</b>				
D1.101	DEMOLITION PLAN - LEVEL 01	B	10.31.2024	ADDENDUM #3
<b>ARCHITECTURE</b>				
A0.100	ARCHITECTURAL SITE PLAN	A	10.24.2024	ADDENDUM #2
A0.300	PARTITION TYPES & DETAILS	1	10.01.2024	ISSUE FOR PERMIT
A0.400	DOOR & WINDOW SCHEDULES	A	10.24.2024	ADDENDUM #2
A0.401	DOOR & WINDOW DETAILS	1	10.01.2024	ISSUE FOR PERMIT
A0.600	FINISH SCHEDULE	A	10.24.2024	ADDENDUM #2
A1.101	CONSTRUCTION PLAN - LEVEL 01	B	10.31.2024	ADDENDUM #3
A2.000	BUILDING ELEVATIONS	B	10.31.2024	ADDENDUM #3
A2.001	BUILDING ELEVATIONS	B	10.31.2024	ADDENDUM #3
A3.000	BUILDING SECTIONS	A	10.24.2024	ADDENDUM #2
A5.000	ENLARGED PLANS - KIOSK	B	10.31.2024	ADDENDUM #3
A5.010	ENLARGED PLANS - BAR	A	10.24.2024	ADDENDUM #2
A5.011	ENLARGED PLANS - BAR	A	10.24.2024	ADDENDUM #2
A5.020	ENLARGED PLANS - STORAGE	1	10.01.2024	ISSUE FOR PERMIT
A6.000	EXTERIOR DETAILS - PLAN	B	10.31.2024	ADDENDUM #3
A6.001	EXTERIOR DETAILS - PLAN	A	10.24.2024	ADDENDUM #2
A6.010	EXTERIOR DETAILS - SECTION	1	10.01.2024	ISSUE FOR PERMIT
A6.020	EXTERIOR DETAILS - SECTION	A	10.24.2024	ADDENDUM #2
A6.021	EXTERIOR DETAILS - SECTION	A	10.24.2024	ADDENDUM #2
A7.000	ENLARGED ELEVATIONS & DETAILS	A	10.24.2024	ADDENDUM #2
A7.001	ENLARGED ELEVATIONS & DETAILS	1	10.01.2024	ISSUE FOR PERMIT
<b>STRUCTURAL</b>				
S0.01	GENERAL NOTES	1	10.01.2024	ISSUE FOR PERMIT
S0.02	GENERAL NOTES	1	10.01.2024	ISSUE FOR PERMIT
S1.01	FOUNDATION PLAN	A	10.24.2024	ADDENDUM #2
S2.01	LOWER ROOF FRAMING PLAN	A	10.24.2024	ADDENDUM #2
S2.02	UPPER ROOF FRAMING PLAN	A	10.24.2024	ADDENDUM #2
S3.01	FOUNDATION DETAILS	A	10.24.2024	ADDENDUM #2
S3.02	FOUNDATION DETAILS	A	10.24.2024	ADDENDUM #2
S4.01	FRAMING DETAILS	A	10.24.2024	ADDENDUM #2
S4.02	FRAMING DETAILS	A	10.24.2024	ADDENDUM #2
S5.01	STANDARD CONCRETE DETAILS	1	10.01.2024	ISSUE FOR PERMIT
S5.02	STANDARD CONCRETE DETAILS	1	10.01.2024	ISSUE FOR PERMIT
S5.03	STANDARD CONCRETE DETAILS	1	10.01.2024	ISSUE FOR PERMIT
S6.01	STANDARD STEEL DETAILS	1	10.01.2024	ISSUE FOR PERMIT
S6.02	STANDARD STEEL DETAILS	1	10.01.2024	ISSUE FOR PERMIT
S7.01	STANDARD CMU DETAILS	A	10.24.2024	ADDENDUM #2
<b>MECHANICAL</b>				
M0.01	MECHANICAL COVER SHEET	1	10.01.2024	ISSUE FOR PERMIT
M0.02	MECHANICAL SCHEDULES	A	10.24.2024	ADDENDUM #2
M0.03	MECHANICAL SPECIFICATIONS	1	10.01.2024	ISSUE FOR PERMIT
M2.01	MECHANICAL PLAN	A	10.24.2024	ADDENDUM #2
M6.01	MECHANICAL DETAILS	1	10.01.2024	ISSUE FOR PERMIT
<b>PLUMBING</b>				
P0.01	PLUMBING COVER SHEET	1	10.01.2024	ISSUE FOR PERMIT
P0.03	PLUMBING SCHEDULES	1	10.01.2024	ISSUE FOR PERMIT
P0.03	PLUMBING SPECIFICATIONS	1	10.01.2024	ISSUE FOR PERMIT
P0.04	PLUMBING SPECIFICATIONS	1	10.01.2024	ISSUE FOR PERMIT
P2.01	PLUMBING FLOOR PLAN	A	10.24.2024	ADDENDUM #2
P2.02	PLUMBING ENLARGED PLANS	A	10.24.2024	ADDENDUM #2
P3.01	PLUMBING ROOF PLAN	A	10.24.2024	ADDENDUM #2
P5.01	PLUMBING RISERS	A	10.24.2024	ADDENDUM #2
P6.01	PLUMBING DETAILS	1	10.01.2024	ISSUE FOR PERMIT
<b>ELECTRICAL</b>				
E0.01	ELECTRICAL COVER SHEET	A	10.24.2024	ADDENDUM #2
E0.02	ELECTRICAL SPECIFICATIONS	1	10.01.2024	ISSUE FOR PERMIT
E2.01	POWER PLAN	A	10.24.2024	ADDENDUM #2
E3.01	LIGHTING PLAN	A	10.24.2024	ADDENDUM #2
E3.02	LIGHTING PLAN	A	10.24.2024	ADDENDUM #2
E4.01	POWER HVAC EQUIPMENT PLAN	A	10.24.2024	ADDENDUM #2
E6.01	ELECTRICAL DETAILS	1	10.01.2024	ISSUE FOR PERMIT
E7.00	PANEL SCHEDULES & RISER	A	10.24.2024	ADDENDUM #2
E7.01	PANEL SCHEDULES	A	10.24.2024	ADDENDUM #2
<b>FOOD SERVICE</b>				
FS0.0	COVER SHEET	A	10.24.2024	ADDENDUM #2
FS1.0	EQUIPMENT FLOOR PLAN	A	10.24.2024	ADDENDUM #2
FS2.0	EQUIPMENT SCHEDULE	A	10.24.2024	ADDENDUM #2
FS3.0	PLUMBING ROUGH-INS	A	10.24.2024	ADDENDUM #2
FS4.0	ELECTRICAL ROUGH-INS	A	10.24.2024	ADDENDUM #2
FS6.0	ELEVATIONS	A	10.24.2024	ADDENDUM #2

# Downtown Redevelopment Authority / TIRZ No. 3

1221 McKinney St., Suite 4250  
Houston, TX 77010

## Gensler

909 Fannin Street  
Suite 200  
Houston, TX 77010  
United States

Tel 713.844.0000  
Fax 713.844.0001



Imeg Corp.  
3700 W Sam Houston Pkwy S  
Suite 100  
Houston, TX 77042  
Tel 832.856.8064  
Fax 816.842.6441



Infinity MEP+S  
10260 Westheimer Road  
Suite 400  
Houston, TX 77042  
Tel 713.429.4949



ProE Consulting  
1334 Britton Moore Rd.  
Suite 200B  
Houston, TX 77043  
Tel 832.714.2568



C&T Design and Equipment Co.  
9555 Bayshore Dr.  
Suite 200  
Houston, TX 77041  
Tel 713.682.6390

Date	Description
1 10.01.2024	ISSUE FOR PERMIT
A 10.24.2024	ADDENDUM #2
B 10.31.2024	ADDENDUM #3

Seal / Signature



10/31/2024

Project Name

Market Square Park Kiosk  
Improvements

Project Number

002.9349.000

Description

DRAWING INDEX & PROJECT  
INFORMATION

Scale

As indicated

# G0.001

# DOWNTOWN HOUSTON

301 MILAM ST, HOUSTON, TX 77002

## Gensler

909 Fannin Street  
Suite 200  
Houston, TX 77010  
United States

Tel 713.844.0000  
Fax 713.844.0001



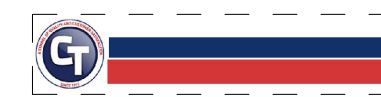
Imeg Corp.  
3700 W Sam Houston Pkwy S  
Suite 100  
Houston, TX 77042  
Tel 832.856.8064  
Fax 816.842.6441



Infinity MEP+S  
10260 Westheimer Road  
Suite 400  
Houston, TX 77042  
Tel 713.429.4949



ProE Consulting  
1334 Brittonmoore Rd.  
Suite 200  
Houston, TX 77043  
Tel 832.714.2568



C&T Design and Equipment Co.  
9555 Bayshore Dr.  
Suite 200  
Houston, TX 77041  
Tel 713.682.6390

### SHEET NOTES

- CONTRACTOR TO VERIFY LOCATION OF CENTERPOINT ENERGY, AT&T, AND OTHER UNDERGROUND UTILITIES. COORDINATE WITH UTILITY OWNERS FOR REMOVAL AND/OR RELOCATION OF UTILITIES IN ORDER TO CONSTRUCT THE PROPOSED STRUCTURE.
- CONTRACTOR TO REMOVE AND RELOCATE LIGHT POLES AND TABLES.
- ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS ARE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK. IN THE VICINITY, FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
- ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., TO THE BEST PRACTICES AND APPROVED BY THE OWNER.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PER THE PLANS.
- DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
- ALL DEMOLITION WORK OR CONSTRUCTION VEHICLE TRAFFIC WITHIN 10 FEET OF THE CANOPY OF ANY TREE TO BE SAVED SHALL BE CLOSELY COORDINATED WITH TREE PRESERVATION ACTIVITIES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, ETC. AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
- CONTRACTOR TO REMOVE FULL DEPTH OF PAVEMENT (ASPHALT AND CONCRETE). REFERENCE SURVEY FOR LIMITS OF PAVEMENT.
- CONTRACTOR TO EPOXY ALL EXPOSED REBAR.
- CONTRACTOR IS RESPONSIBLE FOR MANAGING STORM WATER RUNOFF WITHIN THE PROJECT AREA DURING CONSTRUCTION, INCLUDING PROVIDING MEASURES FOR TEMPORARY CONVEYANCE OF FLOW WHICH MAY CONSIST OF DIVERSION SWALES OR PUMPING OF WATER TO EXISTING STORM OUTFALL LOCATIONS FROM PROJECT AREA TO MATCH EXISTING DRAINAGE PATTERNS PER THE EXISTING CONDITIONS DRAINAGE AREA MAP.

**CAUTION!**  
EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

**BENCHMARK:** RM 210045

- THE HORIZONTAL CONTROL FOR THE SURVEY IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), (2001 ADJ.).
- ALL ELEVATIONS SHOWN THEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), (2001, ADJ.).
- THE HORIZONTAL AND VERTICAL CONTROL FOR THE SURVEY IS BASED ON TROPICAL STORM ALLISON RECOVERY PROJECT (TSARP) REFERENCE MARK RM 210045.
- ALL EXISTING ELEVATIONS ARE BASED OFF APPROVED PLANS DATED JANUARY 2010.

### FLOOD STATEMENT:

THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF HOUSTON, HARRIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY NO. 480296, DATED JANUARY 6, 2017, INDICATES THAT THIS TRACT IS WITHIN ZONE "X" SHADED AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE "X" UNSHADED AREAS OF MINIMAL FLOOD HAZARD, AS SHOWN ON MAP AND PANEL NO. 48201C0690N. THIS DETERMINATION HAS BEEN MADE BY SCALING THE PROPERTY ON THE ABOVE REFERENCED MAP AND IS NOT THE RESULT OF AN ELEVATION SURVEY. WARNING: IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FOOD HAZARD AREA, THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR OR ENGINEER.

### GENERAL NOTES

- DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII 3' UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- SIDEWALKS TO HAVE A 5% MAXIMUM RUNNING SLOPE AND A 2% MAXIMUM CROSS SLOPE IN ACCORDANCE WITH ADA REQUIREMENTS.
- FIELD VERIFY ADA GRADES PRIOR TO PLACING PAVEMENT. CONTRACTOR SHALL CONSTRUCT ALL ACCESSIBLE ROUTES IN ACCORDANCE WITH ADA STANDARDS AND TAS.
- REF. IRRIGATION PLANS PRIOR TO PLACING PAVEMENT.
- CONTRACTOR TO ADJUST EXISTING SANITARY SEWER MANHOLES, STORM SEWER MANHOLES, ELECTRICAL MANHOLES, FIRE HYDRANTS, VALVE BOXES, WATER METERS, ETC. TO MATCH PROPOSED FINISHED GRADES IF NECESSARY.

**Seal / Signature**

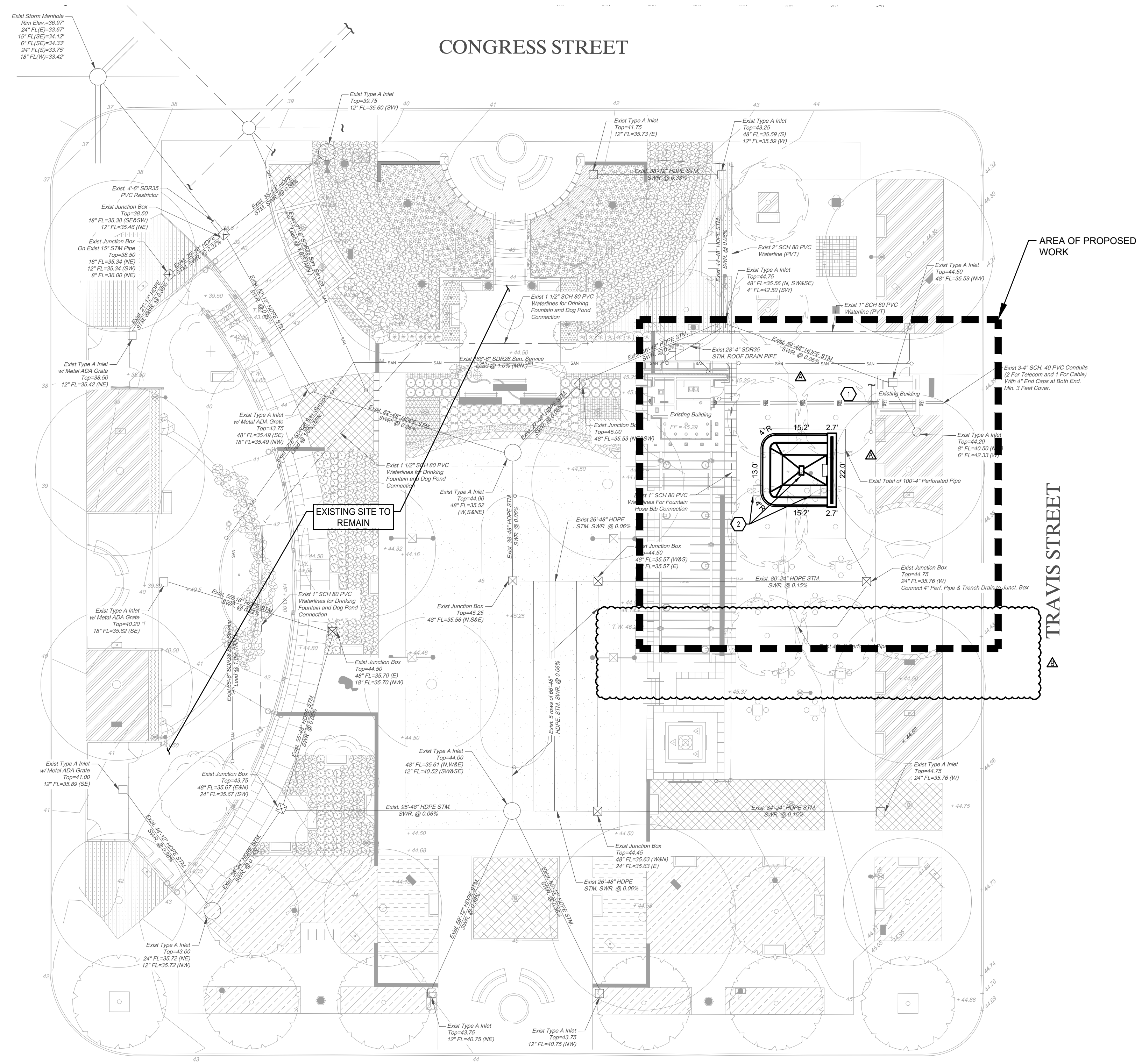
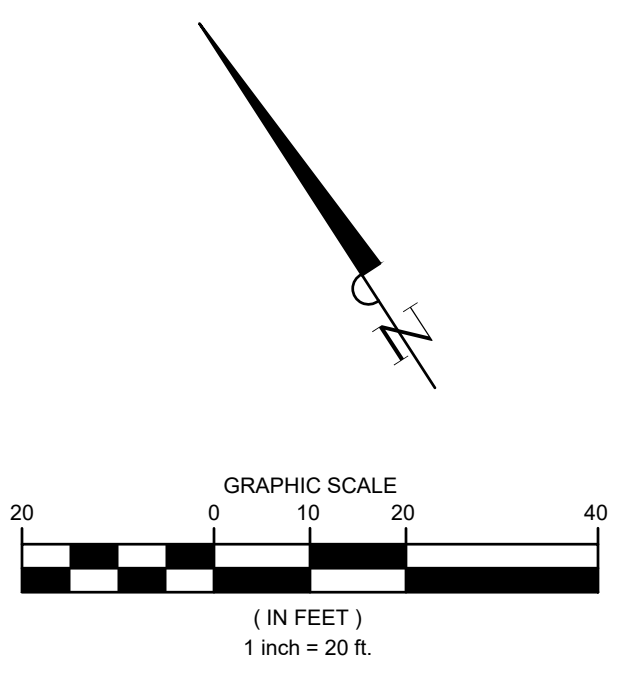
**Project Name**  
Market Square Park Kiosk Improvements

**Project Number**  
1125-0001

**Description**  
OVERALL SITE AND DEMOLITION PLAN

**Scale**  
1"=20'

**C3**



# DOWNTOWN HOUSTON

301 MILAM ST, HOUSTON, TX 77002

## Gensler

909 Fannin Street  
Suite 200  
Houston, TX 77010  
United States

Tel 713.844.0000  
Fax 713.844.0001



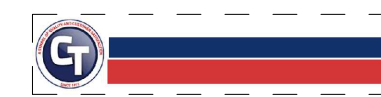
Imeg Corp.  
3700 W Sam Houston Pkwy S  
Suite 100  
Houston, TX 77042  
Tel 832.856.8064  
Fax 816.842.6441



Infinity MEP+S  
10260 Westheimer Road  
Suite 400  
Houston, TX 77042  
Tel 713.429.4949



ProE Consulting  
1334 Britton Rd.  
Suite 2808  
Houston, TX 77043  
Tel 832.714.2568

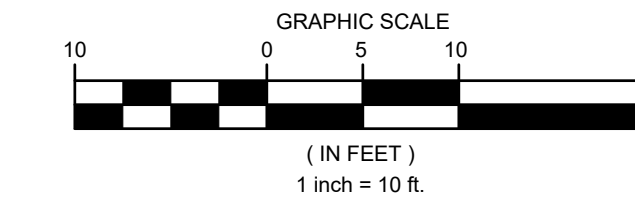


C&T Design and Equipment Co.  
9555 Baythorne Dr.  
Suite 200  
Houston, TX 77041  
Tel 713.682.6390

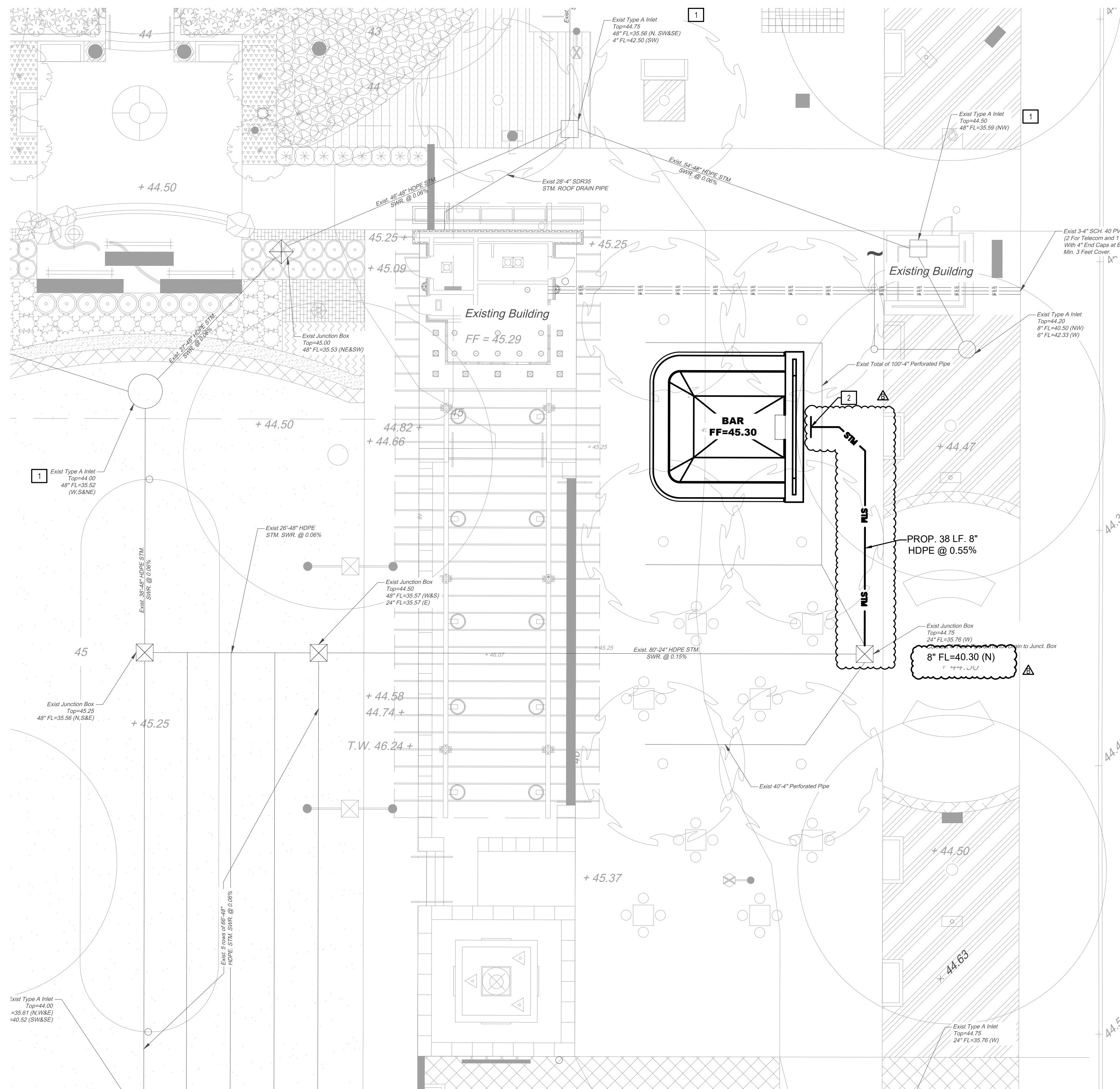
### SHEET NOTES

#### KEYED NOTES

- 1 CONTRACTOR TO FIELD VERIFY EXISTING STORM SEWER MANHOLE LOCATION AND ELEVATIONS PRIOR TO ANY CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- 2 STORM SEWER STUB 5' FROM SLAB. SEE ARCHITECTURAL PLANS FOR DOWNSPOUT CONNECTION. SEE SHEET C10 FOR DOWNSPOUT DETAILS.



LEGEND	
TC	TOP OF CURB
G	GUTTER
TP	TOP OF PAVEMENT
TG	TOP OF GRATE
MEP	MATCH EXISTING PAVEMENT
	PROPOSED STORM INLET
	PROPOSED CURB INLET
	PROPOSED WATER METER
	PROPOSED BACKFLOW PREVENTER
	PROPOSED FIRE HYDRANT
	PROPOSED TS&V
	PROPOSED CLEAN OUT
	PROPOSED MANHOLE
	PROPOSED STORM SEWER (12" - 18" DIAMETER)
	PROPOSED STORM SEWER (24" - 48" DIAMETER)
STM	PROPOSED STORM SEWER (24" - 48" DIAMETER)
	PROPOSED JUNCTION BOX
	PROPOSED RIP RAP



TRAVIS STREET

**CAUTION!**  
EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

**BENCHMARK:** RM 210045

1. THE HORIZONTAL CONTROL FOR THE SURVEY IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), (2001 ADJ.).
2. ALL ELEVATIONS SHOWN THEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), (2001, ADJ.).
3. THE HORIZONTAL AND VERTICAL CONTROL FOR THE SURVEY IS BASED ON TROPICAL STORM ALLISON RECOVERY PROJECT (TSARP) REFERENCE MARK RM 210045.
4. ALL EXISTING ELEVATIONS ARE BASED OFF APPROVED PLANS DATED JANUARY 2010.

#### FLOOD STATEMENT:

THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF HOUSTON, HARRIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY NO. 480296, DATED JANUARY 6, 2017, INDICATES THAT THIS TRACT IS WITHIN ZONE "X" SHADED. AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE "X" UNSHADED AREAS OF MINIMAL FLOOD HAZARD, AS SHOWN ON MAP AND PANEL NO. 48201C0690N. THIS DETERMINATION HAS BEEN MADE BY SCALING THE PROPERTY ON THE ABOVE REFERENCED MAP AND IS NOT THE RESULT OF AN ELEVATION SURVEY. WARNING: IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FOOD HAZARD AREA, THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR OR ENGINEER.

### GENERAL NOTES

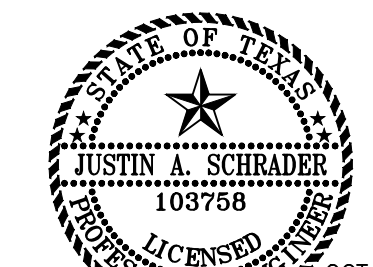
1. ALL EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY BASED ON EXISTING TOPO FROM IFC SET AND THE BEST AVAILABLE INFORMATION.
2. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND.
3. ALL PRIVATE STORM PIPING MATERIAL SHALL BE H.D.P.E. PIPE. ALL PUBLIC STORM PIPING MATERIAL SHALL BE R.C.P. PIPE.
4. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY CITY OF HOUSTON PRIOR TO STARTING CONSTRUCTION.
5. OWNER TO OBTAIN ALL PERMITS REQUIRED BY THE CITY OF HOUSTON PRIOR TO STARTING CONSTRUCTION OF UTILITY AND/OR CULVERTS WITHIN THE RIGHT OF WAY.
6. EXISTING PRIVATE AND PUBLIC GREEN AREAS, UTILITIES, PAVEMENTS, CURBS, DRIVEWAYS AND SIDEWALKS DAMAGED OR REMOVED DURING CONSTRUCTION OR AS A RESULT OF CONSTRUCTION SHALL BE REPLACED TO THE CITY OF HOUSTON STANDARDS.

#### DOWNSPOUT DRAINAGE NOTE:

DOWNSPOUTS SHALL BE CONNECTED TO SUBSURFACE DRAINAGE SYSTEM. ADDITIONAL AREA DRAINS MAY BE INSTALLED TO IMPROVE DRAINAGE COLLECTION AROUND PROPOSED HOUSES.

Date	Description
10.01.2024	ISSUE FOR PERMIT
10.24.2024	ADDENDUM 2
10.31.2024	ADDENDUM 3

Seal / Signature



Project Name

Market Square Park Kiosk Improvements

Project Number

1125-0001

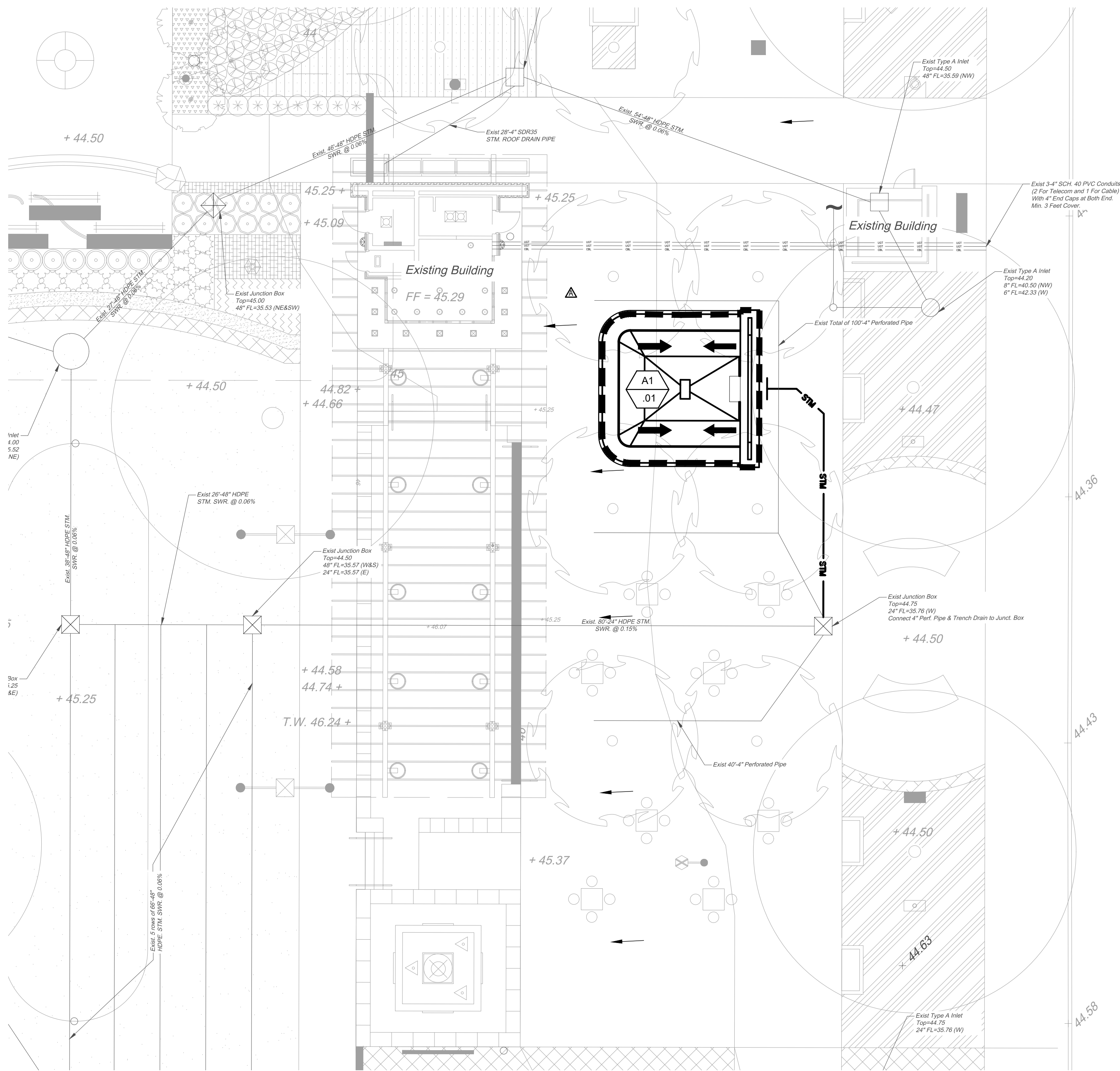
Description

STORM SEWER PLAN

Scale

1"=10'

**C5**



TRAVIS STREET

**CAUTION!**  
EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

**BENCHMARK:** RM 210045

- THE HORIZONTAL CONTROL FOR THE SURVEY IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), (2001 ADJ.).
- ALL ELEVATIONS SHOWN THEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), (2001, ADJ.).
- THE HORIZONTAL AND VERTICAL CONTROL FOR THE SURVEY IS BASED ON TROPICAL STORM ALLISON RECOVERY PROJECT (TSARP) REFERENCE MARK RM 210045.
- ALL EXISTING ELEVATIONS ARE BASED OFF APPROVED PLANS DATED JANUARY 2010.

**FLOOD STATEMENT:**

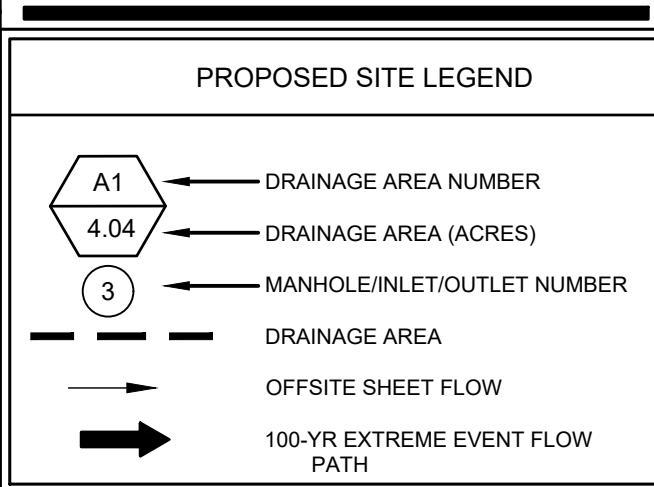
THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF HOUSTON, HARRIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY NO. 480296, DATED JANUARY 6, 2017, INDICATES THAT THIS TRACT IS WITHIN ZONE "X" SHADED. AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE "X" UNSHADED AREAS OF MINIMAL FLOOD HAZARD, AS SHOWN ON MAP AND PANEL NO. 48201C0690N. THIS DETERMINATION HAS BEEN MADE BY SCALING THE PROPERTY ON THE ABOVE REFERENCED MAP AND IS NOT THE RESULT OF AN ELEVATION SURVEY. WARNING: IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FOOD HAZARD AREA, THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR OR ENGINEER.

Line	MANHOLES/ INLETS from to	Area ac.	Total Area ac.	C Factor	tc min.	I (2 yr) c.f.s.	Q (2 yr) c.f.s.	Total Q c.f.s.	Reach ft.	Pipe size in.	Slope %	n	Design Q c.f.s.	Design V f.p.s.	Slope Fall ft.	Friction Loss ft.	Flowline upstrm. elev.	Flowline dnstrm. elev.	Actual V f.p.s.	Y ft.	H.G.L. Slope %	Hydr.Grad. upstrm. elev.	Hydr.Grad. dnstrm. elev.	TG/NG elev.	TG - H.G. ft.	
System A	A1	OUT	0.0100	0.0100	0.80	15.00	4.83	0.04	0.04	38	8	0.55%	0.011	1.06	3.0	0.21	0.00	40.00	39.79	0.1	0.7	0.55%	40.67	40.46	45.00	4.33

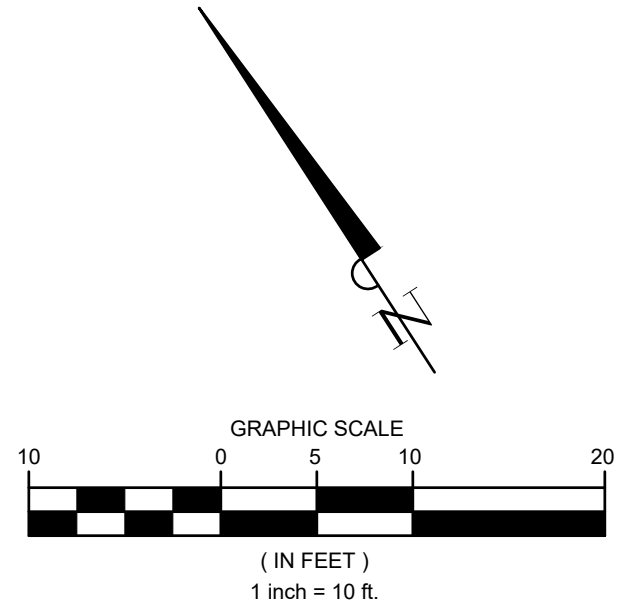
Line	ANHOLES/ INLETS from to	Area ac.	Total Area ac.	C Factor	tc min.	I (100 yr) c.f.s.	Q (100 yr) c.f.s.	Add. Q (100 year) c.f.s.	Total Q c.f.s.	Reach ft.	Pipe size in.	Slope %	n	Design Q c.f.s.	Design V f.p.s.	Slope Fall ft.	Friction Loss ft.	Flowline upstrm. elev.	Flowline dnstrm. elev.	Actual V f.p.s.	Y ft.	H.G.L. Slope %	Hydr.Grad. upstrm. elev.	Hydr.Grad. dnstrm. elev.	TG/NG elev.	TG - H.G. ft.
System A	A1	OUT	0.0100	0.0100	0.80	15.00	10.86	0.09	0.09	38	8	0.55%	0.011	1.06	3.0	0.21	0.00	40.00	39.79	0.3	0.7	0.55%	40.67	40.46	45.00	4.33

**SHEET NOTES**



**REDEVELOPMENT NOTE:**

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AS SHOWN ON TOPOGRAPHIC SURVEY PRIOR TO STARTING CONSTRUCTION. IF THERE IS ANY DISCREPANCY, NOTIFY ENGINEER IMMEDIATELY.



**DOWNTOWN HOUSTON**  
301 MILAM ST, HOUSTON, TX 77002

**Gensler**  
909 Fannin Street Suite 200 Houston, TX 77010 United States  
Tel 713.844.0000 Fax 713.844.0011

**IMEC**  
Imeg Corp. 3700 W Sam Houston Pkwy S Suite 100 Houston, TX 77042 Tel 832.856.8064 Fax 816.842.6441

**INFINITY**  
Infinity MEP+S 10260 Westheimer Road Suite 400 Houston, TX 77042 Tel 713.429.4949

**PRO**  
ProE Consulting 1334 Brittonmoore Rd. Suite 2808 Houston, TX 77043 Tel 832.714.2568

**C&T**  
C&T Design and Equipment Co. 9555 Baythorne Dr. Suite 200 Houston, TX 77041 Tel 713.682.6390

Date	Description
1 10.01.2024	ISSUE FOR PERMIT
A 10.24.2024	ADDENDUM 2
B 10.31.2024	ADDENDUM 3

**GENERAL NOTES**

Seal / Signature



Project Name  
**Market Square Park Kiosk Improvements**

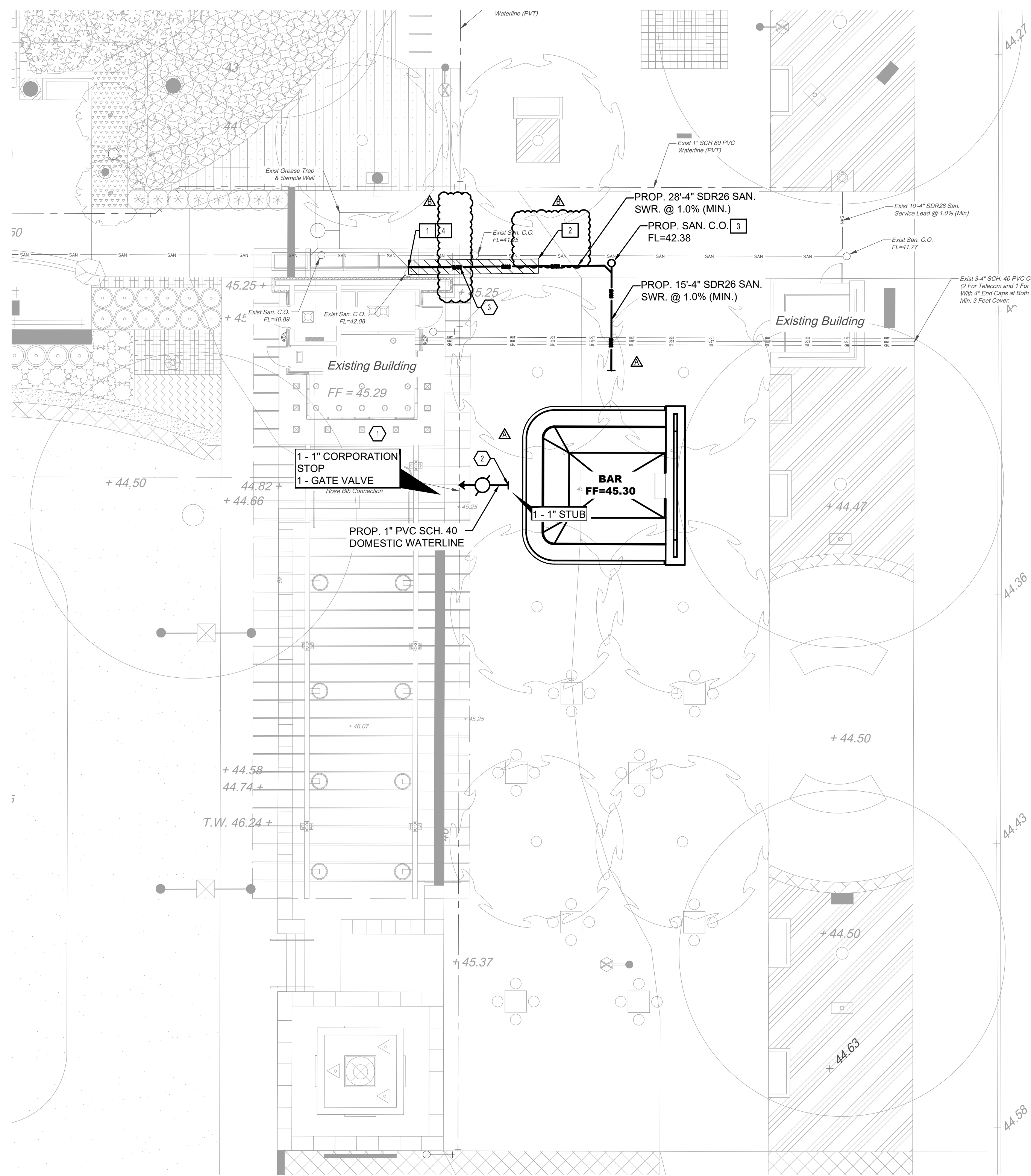
Project Number  
1125-0001

Description  
**DRAINAGE AREA MAP & CALCULATIONS**

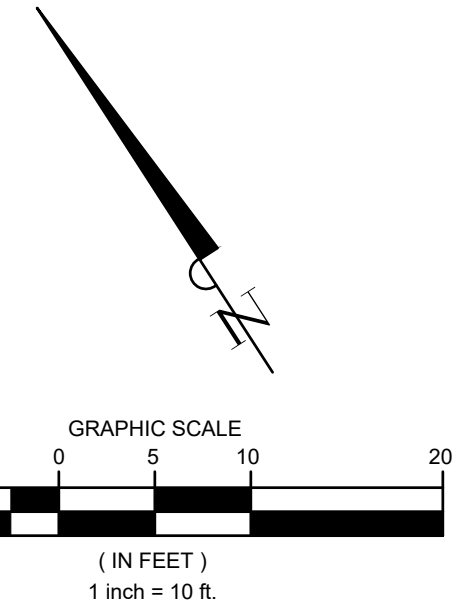
Scale  
1"=10'

**C6**





TRAVIS STREET



**NOTE:**  
 CONTRACTOR TO COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING FOR PLACEMENT OF ANY CONDUITS NEEDED. SEE MEP PLANS. I.E. KIOSK/BAR LIGHTING, TREE/LANDSCAPING/HARDSCAPE LIGHTING, ETC.

**CAUTION!**  
 EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

**BENCHMARK:** RM 210045

1. THE HORIZONTAL CONTROL FOR THE SURVEY IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), (2001 ADJ.).
2. ALL ELEVATIONS SHOWN THEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), (2001, ADJ.).
3. THE HORIZONTAL AND VERTICAL CONTROL FOR THE SURVEY IS BASED ON TROPICAL STORM ALLISON RECOVERY PROJECT (TSARP) REFERENCE MARK RM 210045.
4. ALL EXISTING ELEVATIONS ARE BASED OFF APPROVED PLANS DATED JANUARY 2010.

**FLOOD STATEMENT:**

THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF HOUSTON, HARRIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY NO. 480296, DATED JANUARY 6, 2017, INDICATES THAT THIS TRACT IS WITHIN ZONE "X" SHADED. AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE "X" UNSHADED AREAS OF MINIMAL FLOOD HAZARD, AS SHOWN ON MAP AND PANEL NO. 48201C0690N. THIS DETERMINATION HAS BEEN MADE BY SCALING THE PROPERTY ON THE ABOVE REFERENCED MAP AND IS NOT THE RESULT OF AN ELEVATION SURVEY. WARNING: IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FOOD HAZARD AREA, THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR OR ENGINEER.

**SHEET NOTES**

- KEYED NOTES
1. CONTRACTOR TO FIELD VERIFY EXISTING 8" WATER LINE LOCATION PRIOR TO ANY CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
  2. PROVIDE WATER LINE STUB 5' FROM BUILDING. SEE MEP PLANS FOR CONTINUATION.
  3. CONTRACTOR TO VERIFY WATER LINE DEPTH AND OFFSET IF FLOWLINE CONFLICT.
- 
1. CONTRACTOR TO FIELD VERIFY EXISTING SANITARY SEWER LOCATION AND ELEVATIONS PRIOR TO ANY CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
  2. PLACE 1 FULL SECTION (MIN 18 FT) OF SS CENTERED AT WL CROSSING. PROVIDE RESTRAINED JOINTS ON SS, SPACED AT LEAST 9 FT HORIZONTALLY FROM CENTERLINE OF WL.
  3. INSTALL SANITARY CLEANOUT. SEE DETAIL SHEET C10.
  4. CONTRACTOR TO VERIFY IF EXISTING CLEANOUT IS A ONE WAY CLEANOUT AND REPLACE WITH A TWO CLEANOUT.

**GENERAL NOTES**

1. ALL EXISTING UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY BASED ON EXISTING TOPO FROM IFC SET AND THE BEST AVAILABLE INFORMATION.
2. CONTRACTOR SHALL FIELD VERIFY LOCATION OF EXISTING UTILITIES AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND.
3. SANITARY SEWER LINES CROSSING WATER LINES ARE TO BE CASED (C-900 OR DUCTILE IRON) TO CITY OF HOUSTON SPECIFICATIONS.
4. THE CITY OF HOUSTON IS TO BE NOTIFIED 48 HOURS PRIOR TO WATER AND SANITARY SEWER TAPS THAT ARE TO BE MADE. AN AUTHORIZED REPRESENTATIVE MUST INSPECT SAID TAPS.
5. ALL PRIVATE STORM PIPING MATERIAL SHALL BE H.D.P.E. PIPE. ALL PUBLIC STORM PIPING MATERIAL SHALL BE R.C.P. PIPE.
6. CONTRACTOR TO OBTAIN ALL PERMITS REQUIRED BY CITY OF HOUSTON PRIOR TO STARTING CONSTRUCTION.
8. OWNER TO OBTAIN ALL PERMITS REQUIRED BY THE CITY OF HOUSTON PRIOR TO STARTING CONSTRUCTION OF UTILITY AND/OR CULVERTS WITHIN THE RIGHT OF WAY.
9. WATER LINES 4" AND LARGER SHALL BE PVC PER AWWA C900, 3" AND SMALLER WATER LINES SHALL BE TYPE K COPPER TUBING.

**DOWNTOWN HOUSTON**  
 301 MILAM ST, HOUSTON, TX 77002

**Gensler**  
 909 Fannin Street  
 Suite 200  
 Houston, TX 77010  
 United States  
 Tel 713.844.0000  
 Fax 713.844.0001

**IMEC**  
 Imeg Corp.  
 3700 W Sam Houston Pkwy S  
 Suite 100  
 Houston, TX 77042  
 Tel 832.856.8064  
 Fax 816.842.6441

**INFINITY**  
 INFINITY MEP CONSULTANTS  
 Infinity MEP+S  
 10260 Westheimer Road  
 Suite 400  
 Houston, TX 77042  
 Tel 713.429.4949

**PRO**  
 ProE Consulting  
 1334 Britton Rd.  
 Suite 2808  
 Houston, TX 77043  
 Tel 832.714.2568

**C&T**  
 C&T Design and Equipment Co.  
 9555 Bayhome Dr.  
 Suite 200  
 Houston, TX 77041  
 Tel 713.682.6390

Date	Description
1 10.01.2024	ISSUE FOR PERMIT
A 10.24.2024	ADDENDUM 2
B 10.31.2024	ADDENDUM 3

Seal / Signature



Project Name  
**Market Square Park Kiosk Improvements**

Project Number  
**1125-0001**

Description  
**UTILITY PLAN**

Scale  
**1"=10'**

**C7**

STORM WATER POLLUTION PREVENTION NOTES

1. SEDIMENT WILL BE RETAINED ON SITE TO THE MAXIMUM EXTENT PRACTICABLE.
2. CONTROL MEASURE WILL BE PROPERLY SELECTED, INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND GOOD ENGINEERING PRACTICE. IF DAMAGED OR RENDERED INEFFECTIVE, THE EROSION AND SEDIMENT CONTROLS WILL BE REPAIRED OR REPLACED IMMEDIATELY.
3. WHEN PUMPING (DEWATERING) STANDING STORM WATER FROM THE SITE, THE OPERATOR SHALL USE APPROPRIATE BEST MANAGEMENT PRACTICES (BMP'S) FROM THE STORM WATER MANAGEMENT HANDBOOK FOR CONSTRUCTION ACTIVITIES THAT ADDRESS DEWATERING ACTIVITIES. UNTREATED/DIRECT DISCHARGE INTO A STORM SEWER WILL NOT BE ALLOWED.
4. IF THE INTERIM PERIOD BETWEEN CONSTRUCTION OF UTILITIES AND STREET CONSTRUCTION WILL BE MORE THEN 21 DAYS, THE STREET RIGHT-OF-WAY WILL BE MULCHED OR OTHERWISE STABILIZED WITHIN THE 14 DAYS.
5. AFTER PAVING COMPLETION, NEWLY GRADED AREAS AND ALL EXPOSED SOILS WILL BE COMPLETELY STABILIZED.
6. CONTROL MEASURES WILL BE INSTALLED ALONG BACK OF CURB TO ADEQUATELY PREVENT SEDIMENT RUNOFF INTO STREETS ONCE PAVING COMPLETE.
7. CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE, UNLESS THEY ARE USING A PROPERLY DESIGNED AND DESIGNATED CONCRETE WASHOUT AREA.
8. EROSION AND SEDIMENT CONTROL MEASURES THAT HAVE BEEN IMPROPERLY INSTALLED OR HAVE BEEN DISABLED, RUN-OVER, REMOVED, OR OTHERWISE RENDERED INEFFECTIVE MUST BE REPLACED OR CORRECTED IMMEDIATELY.
9. MAINTENANCE AND REPAIRS WILL BE CONDUCTED WITHIN 24 HOURS OF INSPECTION REPORT.
10. SEDIMENT WILL BE REMOVED FROM BEHIND THE FILTER FABRIC FENCE WHEN IT REACHES 1/3 THE HEIGHT OF THE FENCE.
11. SEDIMENT WILL BE REMOVED AROUND THE INLET BARRIERS AND DIKES WHEN THE STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED.
12. INSPECTIONS OF ALL BMP'S WILL BE CONDUCTED EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER; OR EVERY 7 CALENDAR DAYS.
13. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLANS WILL BE INSPECTED TO INSURE EFFECTIVE OPERATION.
14. THE SWPPP WILL BE AMENDED TO REPLACE INEFFECTIVE BMP'S IDENTIFIED THROUGH INSPECTIONS WITHIN 7 DAYS OF IDENTIFYING THE DEFICIENCY.
15. REPORTS WILL INCLUDE WHAT MAINTENANCE WAS DONE AS A RESULT OF THE INSPECTION.
16. ALL LITTER, TRASH AND FLOATABLE DEBRIS WILL BE CONTAINED WITHIN THE SITE.

SHEET NOTES

GENERAL NOTES

IMPORTANT NOTE:

THE OWNER-DEVELOPER, CONTRACTORS, BUILDERS AND OTHERS PERFORMING WORK ON THIS PROJECT SHALL COMPLY WITH THE TCEQ RULES REGARDING STORM WATER POLLUTION. ALL PAPERWORK REQUIRED BY THE TCEQ SHALL BE PRESENT ON THE JOB SITE AT ALL TIMES. IT'S SUGGESTED THAT THE REQUIRED PAPERWORK BE POSTED ON A "SIGN, POST OR BULLETIN BOARD" THAT WOULD BE READILY AVAILABLE FOR INSPECTION BY GOVERNMENTAL PERSONNEL. AS THE RESPONSIBILITY FOR POLLUTION PREVENTION IS PASSED FROM ONE PARTY TO ANOTHER, THE RESPONSIBLE PARTY SHOULD BE NOTED AND DISPLAYED, SO THAT IF A VIOLATION OCCURS, THE PROBABLE RESPONSIBLE PARTY CAN BE IDENTIFIED. CONTACT TCEQ FOR ANY CLARIFICATION OF REQUIREMENTS.

BENCHMARK: RM 210045

1. THE HORIZONTAL CONTROL FOR THE SURVEY IS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD83), (2001 ADJ.).
2. ALL ELEVATIONS SHOWN THEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88), (2001, ADJ.).
3. THE HORIZONTAL AND VERTICAL CONTROL FOR THE SURVEY IS BASED ON TROPICAL STORM ALLISON RECOVERY PROJECT (TSARP) REFERENCE MARK RM 210045.
4. ALL EXISTING ELEVATIONS ARE BASED OFF APPROVED PLANS DATED JANUARY 2010.

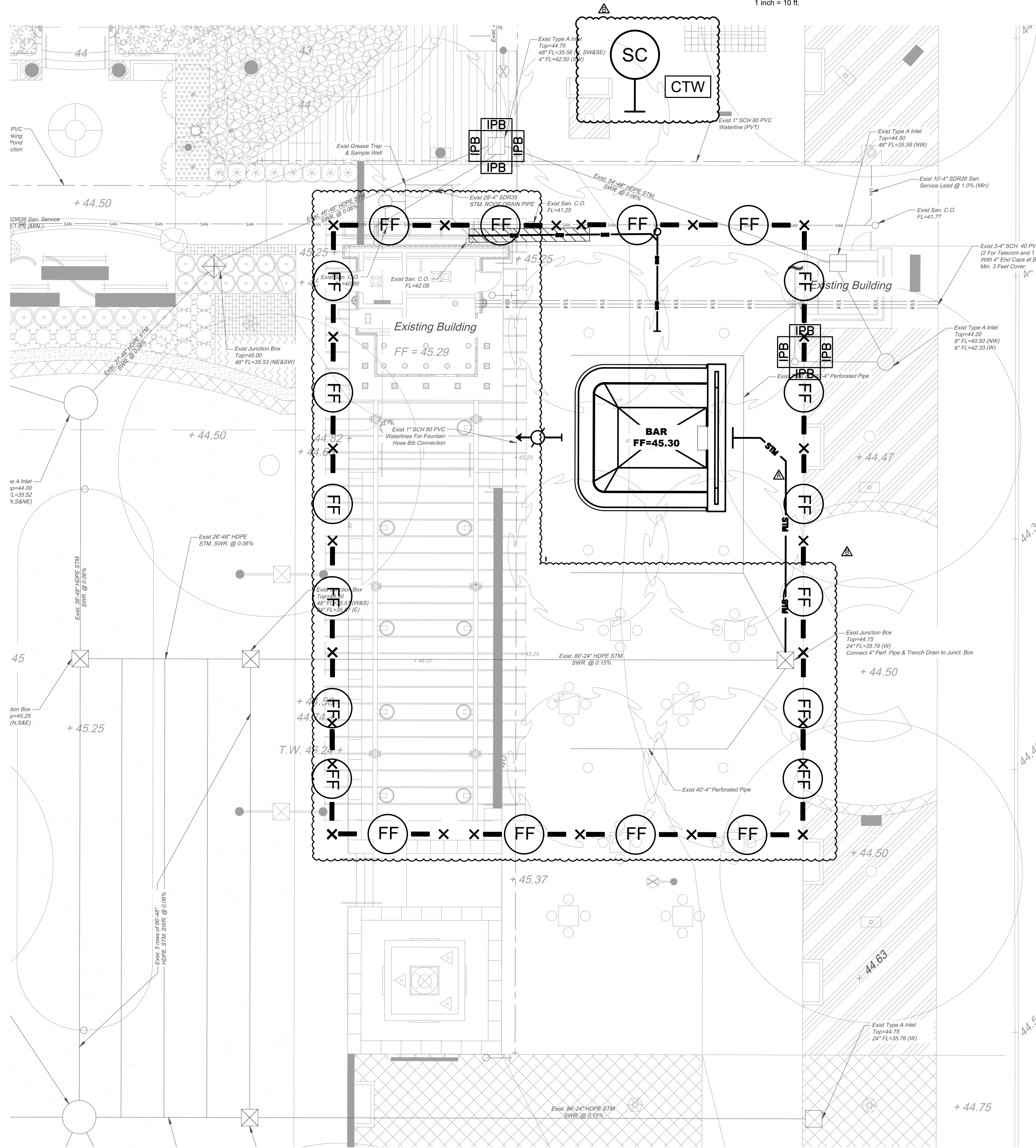
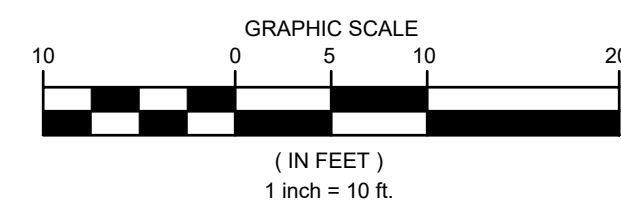
FLOOD STATEMENT:

THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR THE CITY OF HOUSTON, HARRIS COUNTY, TEXAS AND INCORPORATED AREAS, COMMUNITY NO. 480296, DATED JANUARY 6, 2017, INDICATES THAT THIS TRACT IS WITHIN ZONE "X" SHADED. AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND ZONE "X" UNSHADED AREAS OF MINIMAL FLOOD HAZARD, AS SHOWN ON MAP AND PANEL NO. 48201C0690N. THIS DETERMINATION HAS BEEN MADE BY SCALING THE PROPERTY ON THE ABOVE REFERENCED MAP AND IS NOT THE RESULT OF AN ELEVATION SURVEY. WARNING: IF THIS SITE IS NOT WITHIN AN IDENTIFIED SPECIAL FOOD HAZARD AREA, THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR OR ENGINEER.

TRAVIS STREET

**CAUTION!**  
EXISTING UNDERGROUND UTILITIES IN THE AREA CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY REPAIRS TO EXISTING UTILITIES DUE TO DAMAGE INCURRED DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES ON THE PLANS.

LEGEND	
SYMBOL	DESCRIPTION
	FILTER FABRIC FENCE
	STABILIZED CONSTRUCTION ACCESS
	STAGE I AND STAGE II INLET PROTECTION BARRIER
	PORTABLE CONCRETE TRUCK WASHOUT AREA



DOWNTOWN HOUSTON

301 MILAM ST, HOUSTON, TX 77002

Gensler

909 Fannin Street  
Suite 200  
Houston, TX 77010  
United States

Tel 713.844.0000  
Fax 713.844.0001



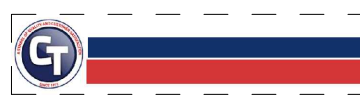
Imeg Corp.  
3700 W Sam Houston Pkwy S  
Suite 100  
Houston, TX 77042  
Tel 832.856.8064  
Fax 816.842.6441



Infinity MEP+S  
10260 Westheimer Road  
Suite 400  
Houston, TX 77042  
Tel 713.429.4949



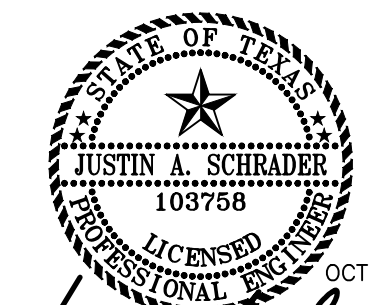
ProE Consulting  
1334 Brittmoores Rd.  
Suite 2808  
Houston, TX 77043  
Tel 832.714.2568



C&T Design and Equipment Co.  
9555 Bayhome Dr.  
Suite 200  
Houston, TX 77041  
Tel 713.682.6390

Date	Description
1 10.01.2024	ISSUE FOR PERMIT
A 10.24.2024	ADDENDUM 2
B 10.31.2024	ADDENDUM 3

Seal / Signature



Project Name

Market Square Park Kiosk Improvements

Project Number

1125-0001

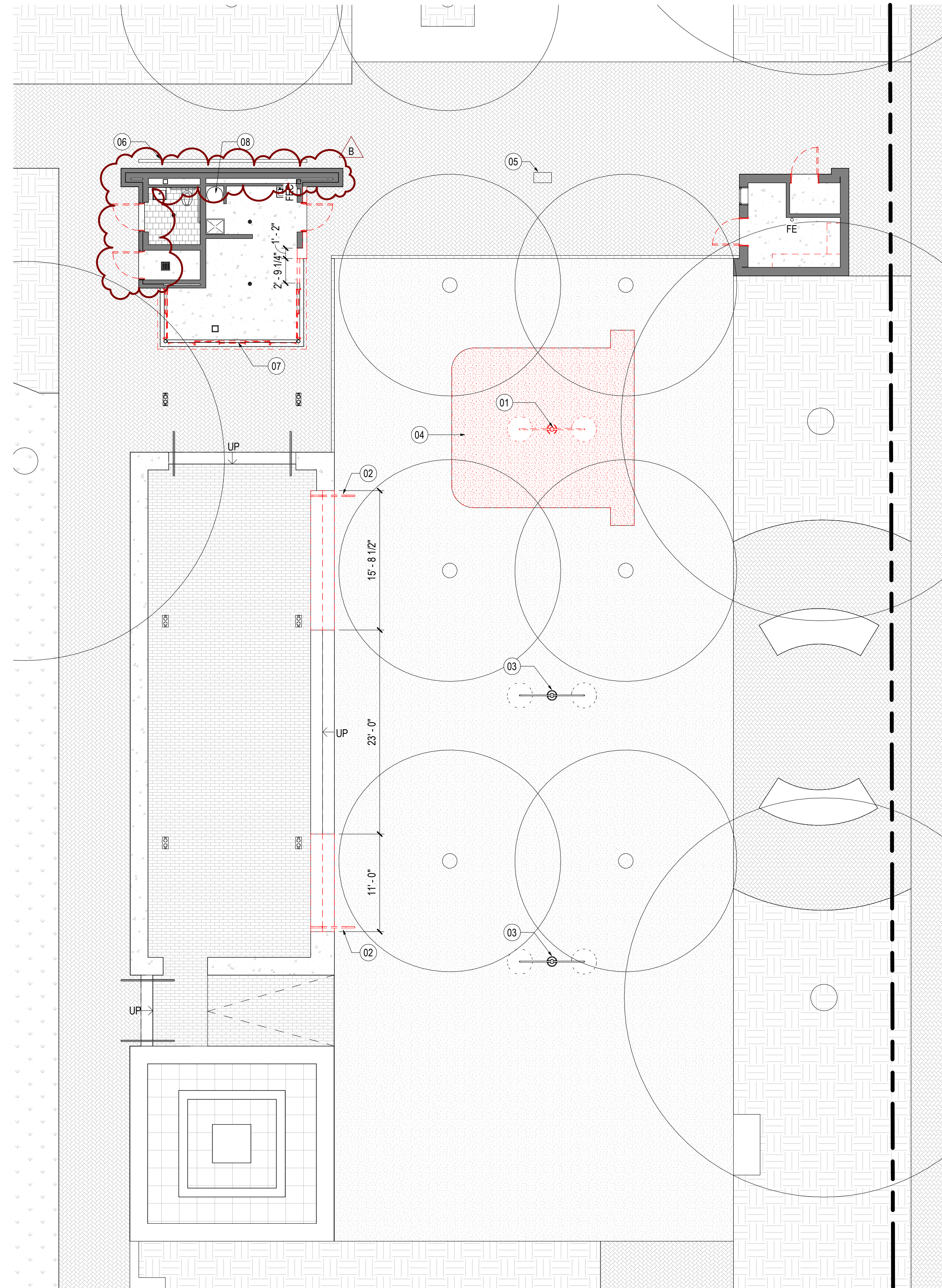
Description

STORM WATER POLLUTION PREVENTION PLAN

Scale

1"=10'

C8



**01 DEMOLITION PLAN - LEVEL 01**  
SCALE: 1/8" = 1'-0"

REF: 01 / A2.000

**SHEET NOTES**

- 01 REMOVE EXISTING LIGHT POLE
- 02 REMOVE AND RELOCATE EXISTING HANDRAILS, RE: CONSTRUCTION PLAN
- 03 EXISTING DECORATIVE LIGHTPOLES TO REMAIN, EXTEND CONDUIT AND FEEDERS AS NECESSARY FOR CONSTRUCTION OF NEW BAR STRUCTURE
- 04 REMOVE AREA OF EXISTING DECOMPOSED GRAVEL AS INDICATED IN PLAN
- 05 EXISTING ELECTRICAL PULL BOX TO REMAIN
- 06 EXISTING IN-GROUND LIGHT FIXTURES TO REMAIN
- 07 REMOVE EXISTING EXTERIOR WINDOWS, WALL CLADDING U.N.O.; EXISTING CMU STRUCTURE AND STEEL FRAMING TO REMAIN U.N.O.; EXISTING PLASTER SOFFIT AND ROOF TO REMAIN U.N.O.
- 08 EXISTING WATER HEATER TO REMAIN

**GENERAL NOTES**

- A. RE: GO SHEET SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- B. FOR CONSTRUCTION PLAN AND OTHER PLAN REFERENCES, RE: A1 SHEET SERIES.
- C. COORDINATE WITH PROPERTY MANAGER FOR RETURN OF SALVAGE ITEMS TO BUILDING OWNER FOR FUTURE REUSE. COORDINATE WITH PROPERTY MANAGER FOR ITEMS REQUIRED.
- D. REMOVE EXISTING INTERIOR PARTITIONS, DOORS, FRAMES, HARDWARE, FLOOR AND WALL FINISHES, LIGHTS AND CEILING SYSTEMS NOT SHOWN TO REMAIN OR AS REQUIRED FOR NEW WORK.
- E. REMOVE EXISTING COMMUNICATIONS CABLEING NOT SHOWN TO REMAIN ON CONSULTANT'S PLANS OR AS REQUIRED FOR NEW WORK.
- F. REMOVE EXISTING MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS NOT SHOWN TO REMAIN ON CONSULTANT'S PLANS OR AS REQUIRED FOR NEW WORK.
- G. PATCH, REPAIR, AND AFFECTED AREAS IN PREPARATION FOR NEW WORK.
- H. ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES, AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. UPON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- I. IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER.
- J. REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- K. REMOVE EXISTING FLOOR FINISHES AND PREPARE SUBFLOOR AS REQUIRED FOR NEW FLOOR FINISHES.
- L. COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- M. PROVIDE AND MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND OTHER WORKERS.

**Downtown  
Redevelopment  
Authority /  
TIRZ No. 3**

1221 McKinney St., Suite 4250  
Houston, TX 77010

**Gensler**

909 Fannin Street  
Suite 200  
Houston, TX 77010  
United States

Tel 713.844.0000  
Fax 713.844.0001



Imeg Corp.  
3700 W Sam Houston Pkwy S  
Suite 100  
Houston, TX 77042  
Tel 832.856.8064  
Fax 816.842.6441



Infinity MEP+S  
10260 Westheimer Road  
Suite 400  
Houston, TX 77042  
Tel 713.429.4949



ProE Consulting  
1334 Brittmoore Rd.  
Suite 2808  
Houston, TX 77043  
Tel 832.714.2568



C&T Design and Equipment Co.  
9555 Baythorne Dr.  
Suite 200  
Houston, TX 77041  
Tel 713.682.6390

Date	Description
1 10.01.2024	ISSUE FOR PERMIT
A 10.24.2024	ADDENDUM #2
B 10.31.2024	ADDENDUM #3

Seal / Signature



*CM*

10/31/2024

Project Name

**Market Square Park Kiosk  
Improvements**

Project Number

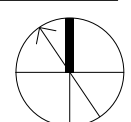
**002.9349.000**

Description

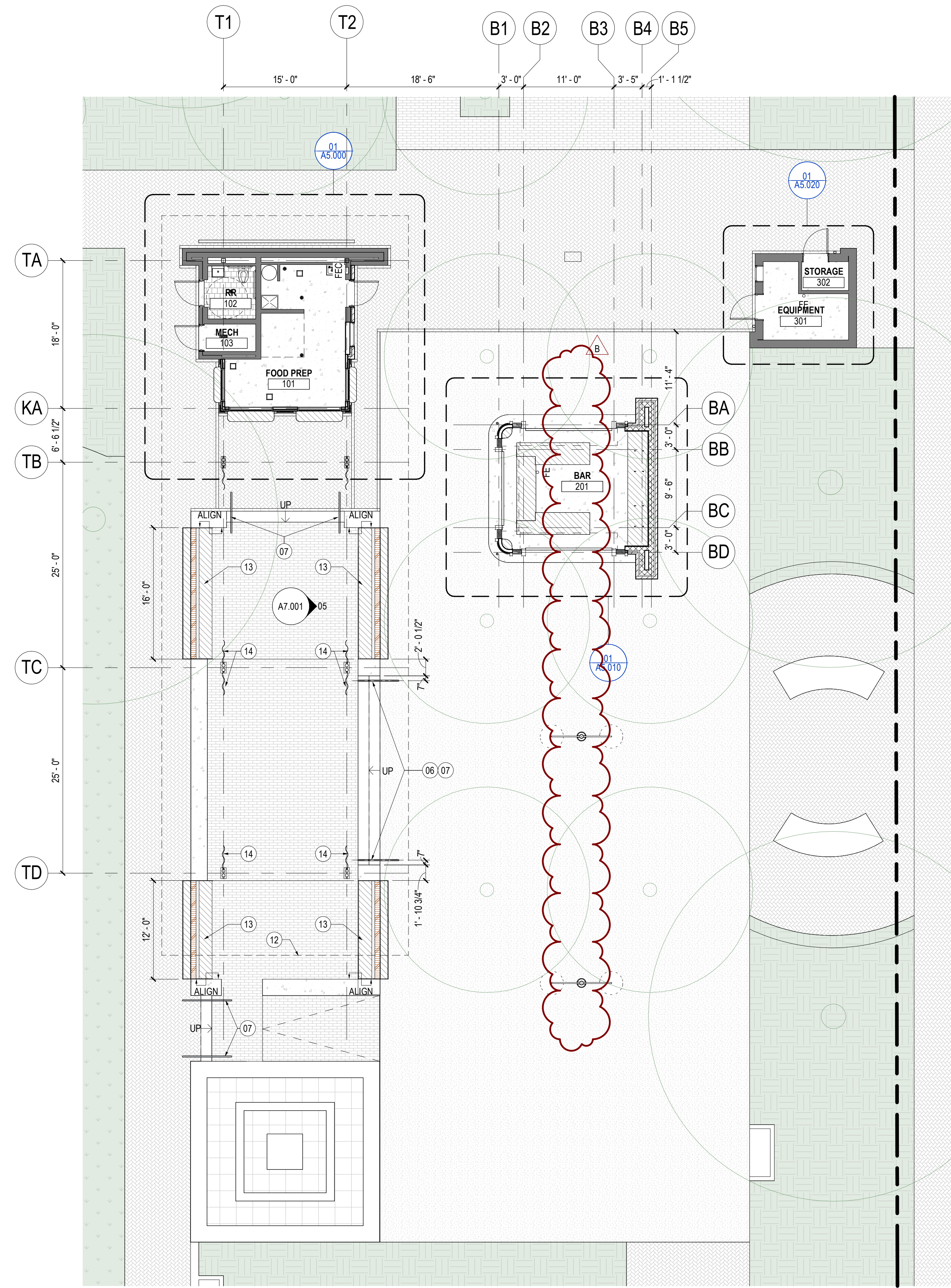
**DEMOLITION PLAN - LEVEL 01**

Scale

**1/8" = 1'-0"**



**D1.101**



**01 A - CONSTRUCTION PLAN - LEVEL 01**  
 SCALE: 1/8" = 1'-0"

**SHEET NOTES**

- 06 REUSE AND RELOCATE EXISTING HANDRAILS
- 07 PAINT ALL EXISTING HANDRAILS TO MATCH NEW TRELLIS STRUCTURE FINISH
- 12 OUTLINE OF EXISTING TRELLIS CANOPY OVERHEAD
- 13 BANQUETTE SEATING; RE: ENLARGED ELEVATIONS
- 14 OUTDOOR DRAPERY WITH COLUMN TIEBACKS; RE: ELEVATIONS

**GENERAL NOTES**

- A. RE: G0 SHEET SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- B. RE: G1 SHEET SERIES FOR CODE ANALYSIS RELATED TO PROJECT.
- C. RE: A0.300 SERIES FOR PARTITION TYPES AND DETAILS.
- D. DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: A0.400 FOR DOOR SCHEDULE AND TYPES.
- E. ALL EXISTING DOORS, FRAMES AND HARDWARE TO REMAIN ARE DESIGNATED WITH AN "EX" SYMBOL.
- G. COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
- H. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE. UNO MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.

**Downtown  
 Redevelopment  
 Authority /  
 TIRZ No. 3**

1221 McKinney St., Suite 4250  
 Houston, TX 77010

**Gensler**

909 Fannin Street  
 Suite 200  
 Houston, TX 77010  
 United States  
 Tel 713.844.0000  
 Fax 713.844.0001



Imeg Corp.  
 3700 W Sam Houston Pkwy S  
 Suite 100  
 Houston, TX 77042  
 Tel 832.856.8064  
 Fax 816.842.6441



Infinity MEP+S  
 10260 Westheimer Road  
 Suite 400  
 Houston, TX 77042  
 Tel 713.429.4949



ProE Consulting  
 1334 Britton Rd.  
 Suite 2808  
 Houston, TX 77043  
 Tel 832.714.2568



C&T Design and Equipment Co.  
 9555 Bayshore Dr.  
 Suite 200  
 Houston, TX 77041  
 Tel 713.682.6390

Date	Description
1 10.01.2024	ISSUE FOR PERMIT
A 10.24.2024	ADDENDUM #2
B 10.31.2024	ADDENDUM #3

Seal / Signature



Project Name

**Market Square Park Kiosk  
 Improvements**

Project Number

**002.9349.000**

Description

**CONSTRUCTION PLAN - LEVEL 01**

Scale

1/8" = 1'-0"

**A1.101**

# Downtown Redevelopment Authority / TIRZ No. 3

1221 McKinney St., Suite 4250  
Houston, TX 77010

## Gensler

909 Fannin Street  
Suite 200  
Houston, TX 77010  
United States

Tel 713.844.0000  
Fax 713.844.0001



Imeg Corp.  
3700 W Sam Houston Pkwy S  
Suite 100  
Houston, TX 77042  
Tel 832.856.8064  
Fax 816.842.6441



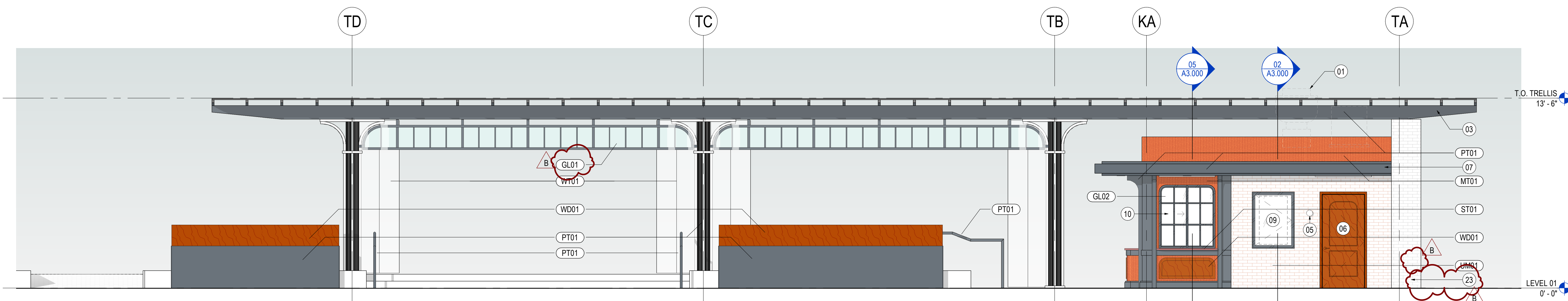
Infinity MEP+S  
10260 Westheimer Road  
Suite 400  
Houston, TX 77042  
Tel 713.429.4949



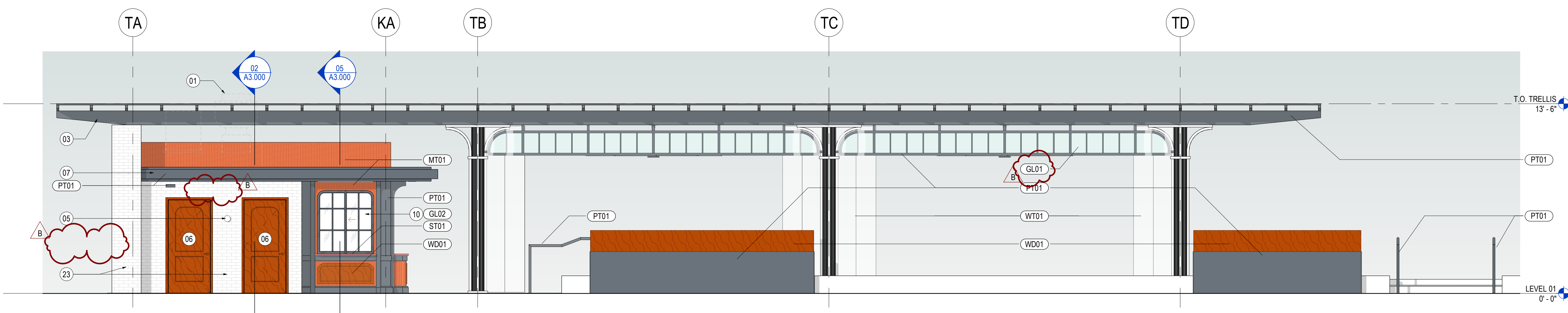
ProE Consulting  
1334 Britton Rd.  
Suite 2808  
Houston, TX 77043  
Tel 832.714.2568



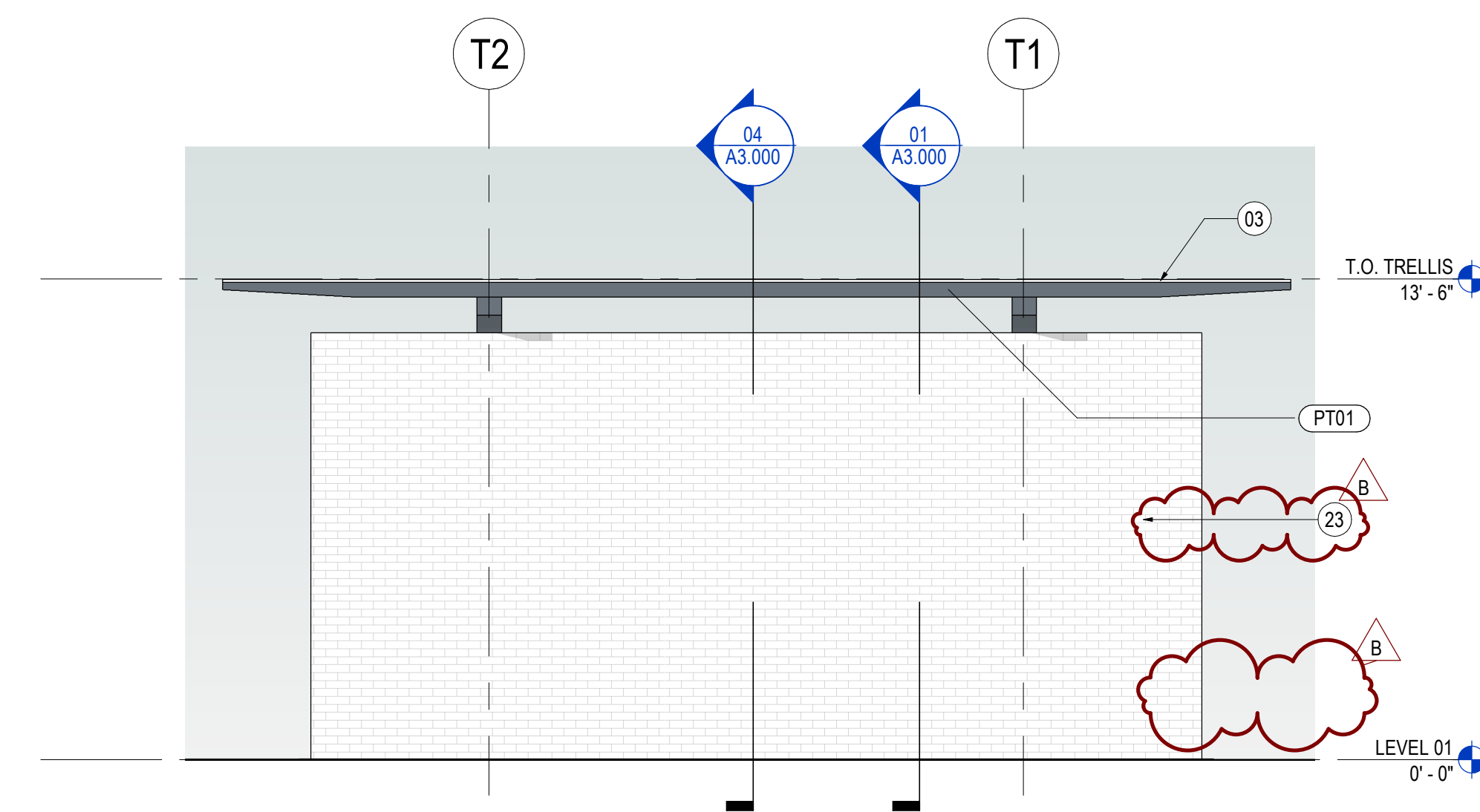
C&T Design and Equipment Co.  
9555 Bayshore Dr.  
Suite 200  
Houston, TX 77041  
Tel 713.682.6390



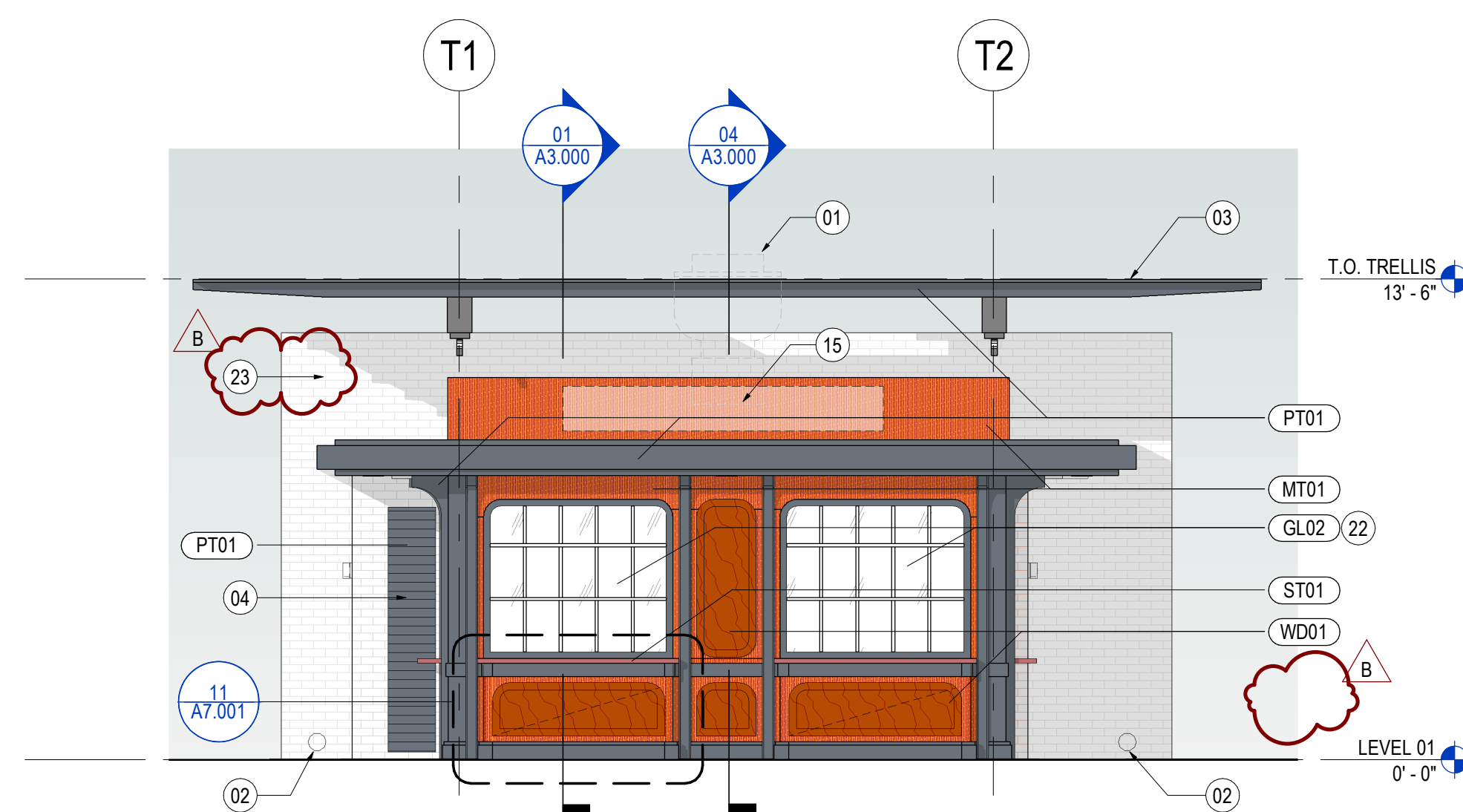
**01 ELEVATION - PICK-UP STATION - EAST**  
SCALE: 1/4" = 1'-0"  
REF: 01 / A5.000



**02 ELEVATION - PICK-UP STATION - WEST**  
SCALE: 1/4" = 1'-0"  
REF: 01 / A5.000



**04 ELEVATION - PICK-UP STATION - NORTH**  
SCALE: 1/4" = 1'-0"  
REF: 01 / A5.000



**03 ELEVATION - PICK-UP STATION - SOUTH**  
SCALE: 1/4" = 1'-0"  
REF: 01 / A5.000

### SHEET NOTES

- 01 EXISTING VENT HOOD EXHAUST AND MECHANICAL ROOM TOP UNIT TO REMAIN
- 02 EXISTING DOWNSPOUT TO REMAIN
- 03 EXISTING TRELLIS STRUCTURE; FINISH AS SCHEDULED; ALL DEVICES AND ATTACHED FIXTURES TO MATCH ADJACENT FINISH.
- 04 EXISTING MECHANICAL LOUVER TO REMAIN; FINISH AS SCHEDULED
- 05 REPLACE EXISTING WALL SCONES, RE: ELECTRICAL
- 06 REPLACE EXISTING DOORS; RE: DOOR SCHEDULE
- 07 EXISTING PERIMETER GUTTER; FINISH AS SCHEDULED
- 09 DIGITAL DISPLAY BEHIND LOCKABLE STEEL CASEMENT WINDOW; DISPLAY BOD IS SAMSUNG OH48B-S WITH CUSTOM RV VISUAL WALLMATE FLAT PANEL SURFACE MOUNTING SYSTEM; OWNER FURNISHED, CONTRACTOR INSTALLED; RE: ELECTRICAL FOR POWER
- 10 SLIDING, THERMALLY BROKEN SELF CLOSING SERVICE WINDOWS WITH CUSTOM TRANSOM AND MUNTIN DIVIDERS BY SEPARATE GLAZING CONTRACTOR; FINISH AS SCHEDULED; RE: SPEC 08 56 19.03
- 15 FUTURE SIGNAGE TO BE COORDINATED WITH TENANT; PROVIDE POWER FOR ILLUMINATED SIGNAGE
- 22 FIXED, THERMALLY BROKEN STEEL FRAMED WINDOWS
- 23 EXISTING EXTERIOR WALL FINISH TO REMAIN

Date	Description
10.01.2024	ISSUE FOR PERMIT
10.31.2024	ADDENDUM #3

Seal / Signature



*CM*  
10/31/2024

Project Name

Market Square Park Kiosk Improvements

Project Number

002.9349.000

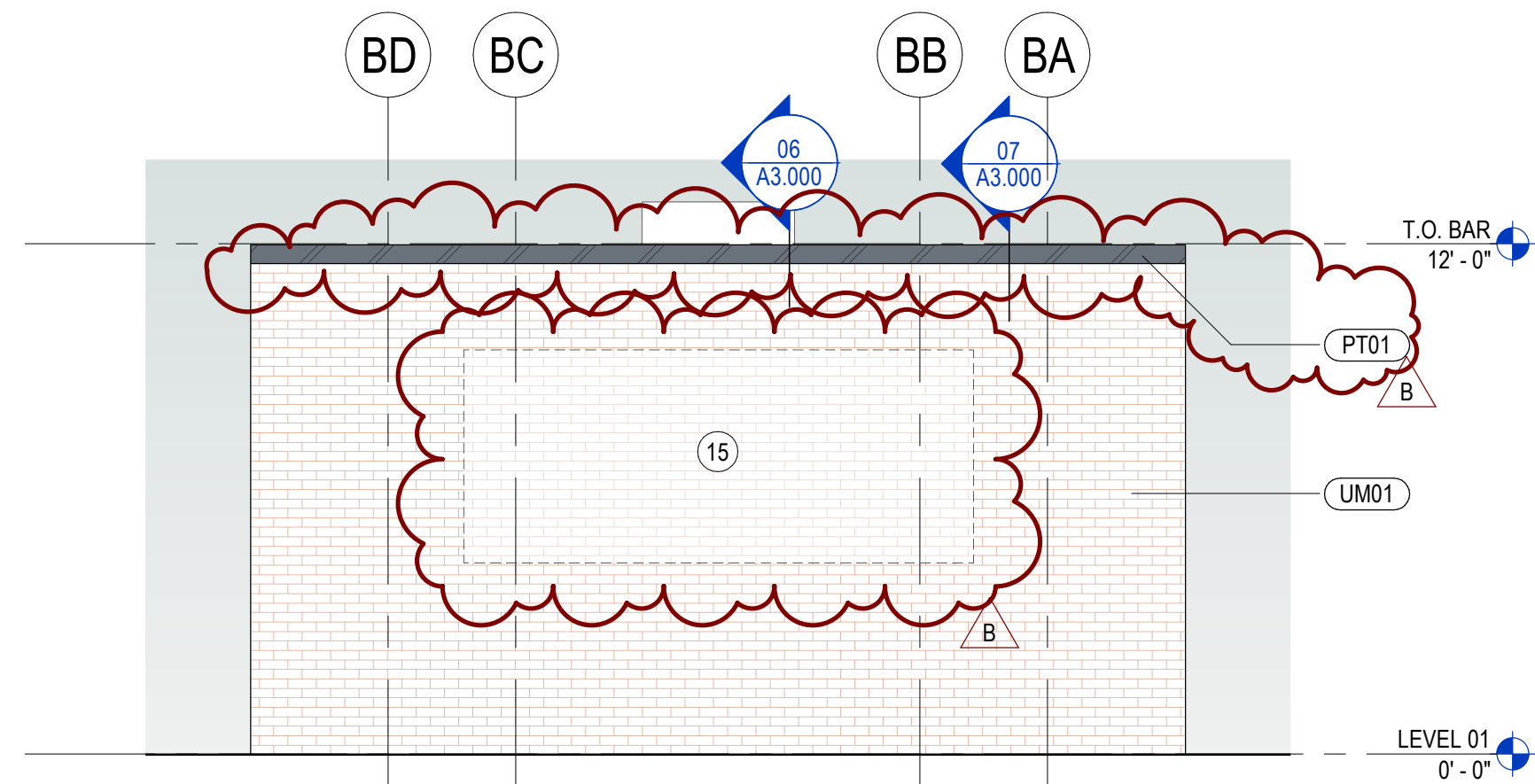
Description

BUILDING ELEVATIONS

Scale

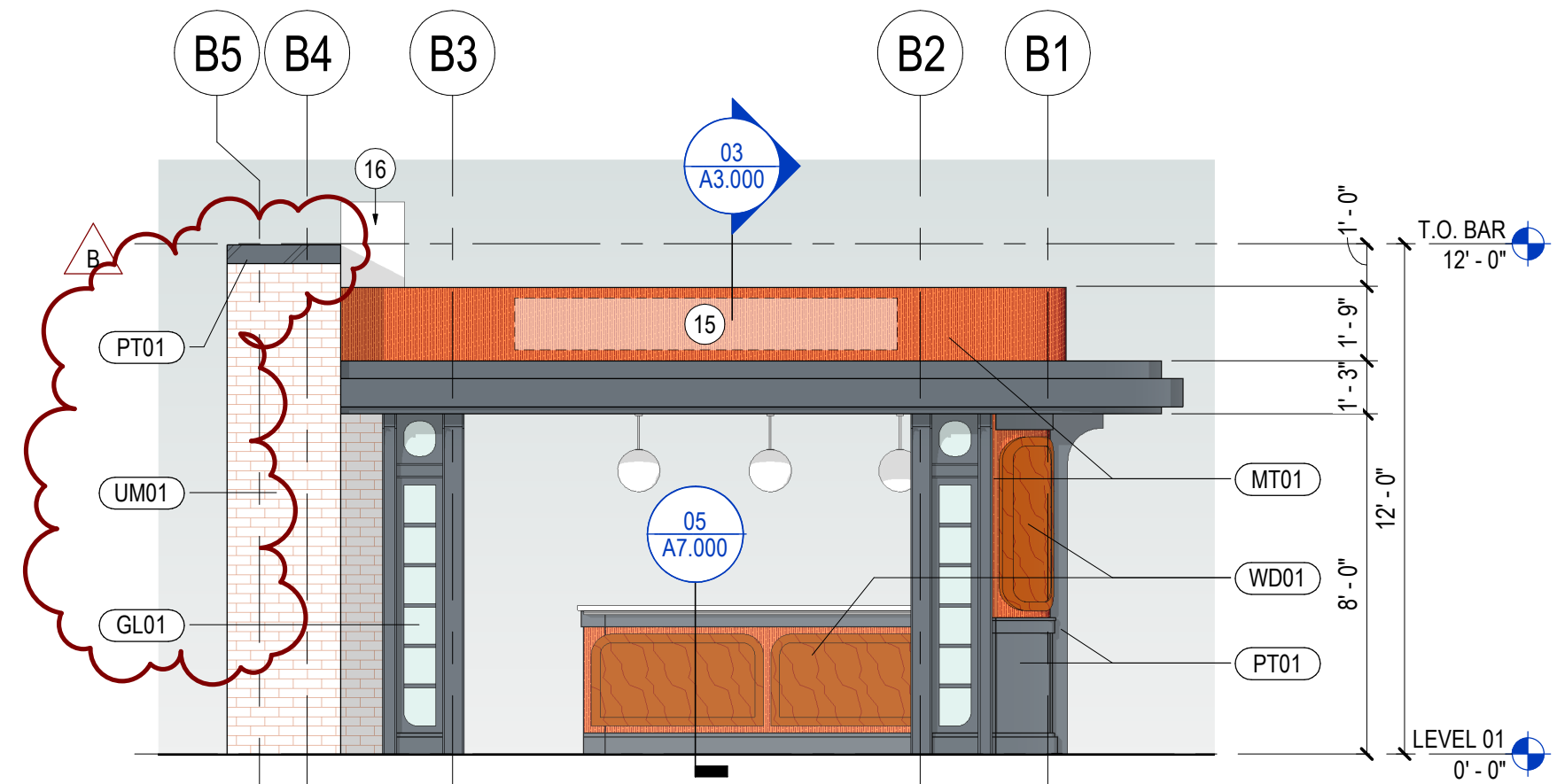
1/4" = 1'-0"

**A2.000**



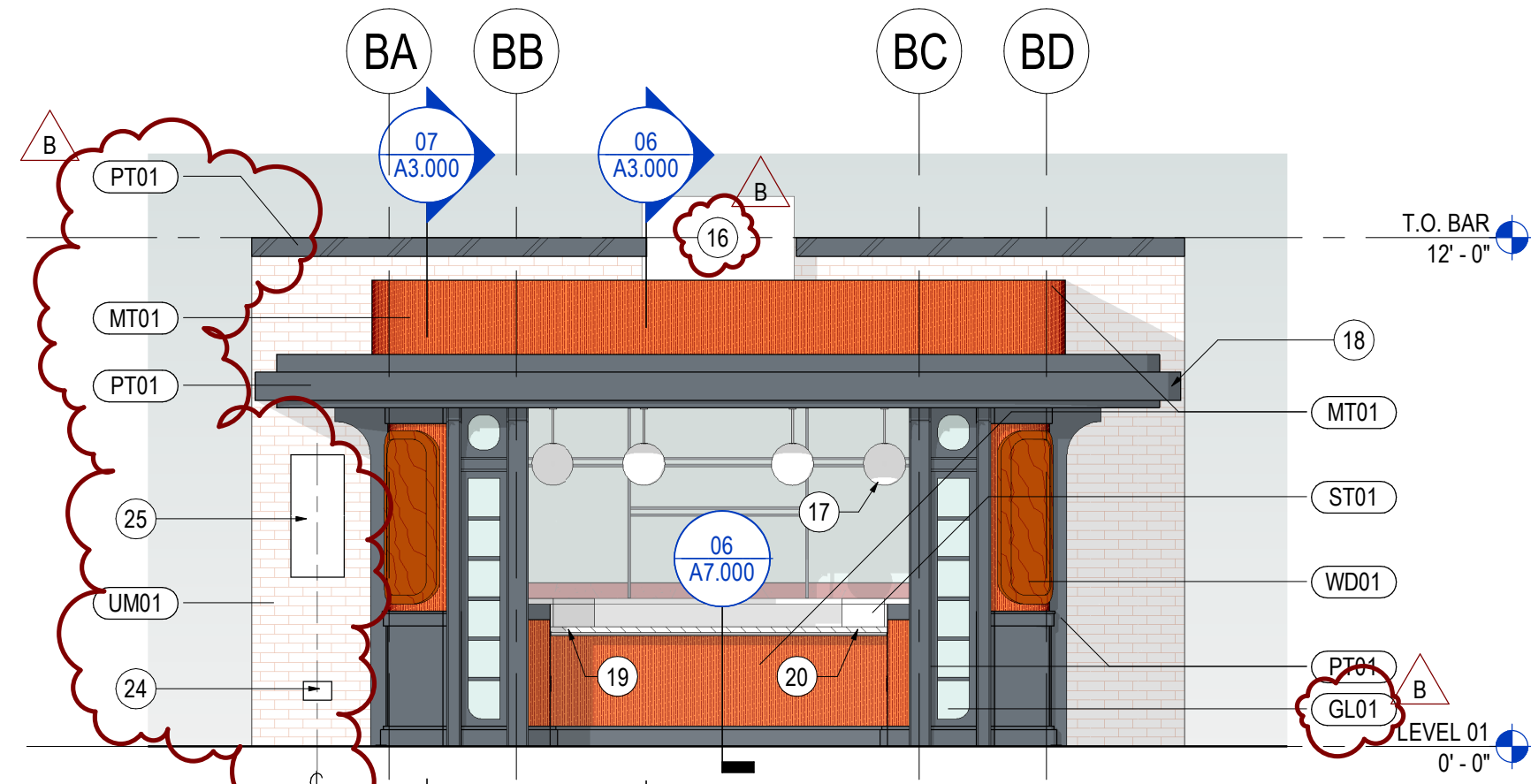
**04 ELEVATION - BAR - EAST**  
SCALE: 1/4" = 1'-0"

REF: 01 / A5.010



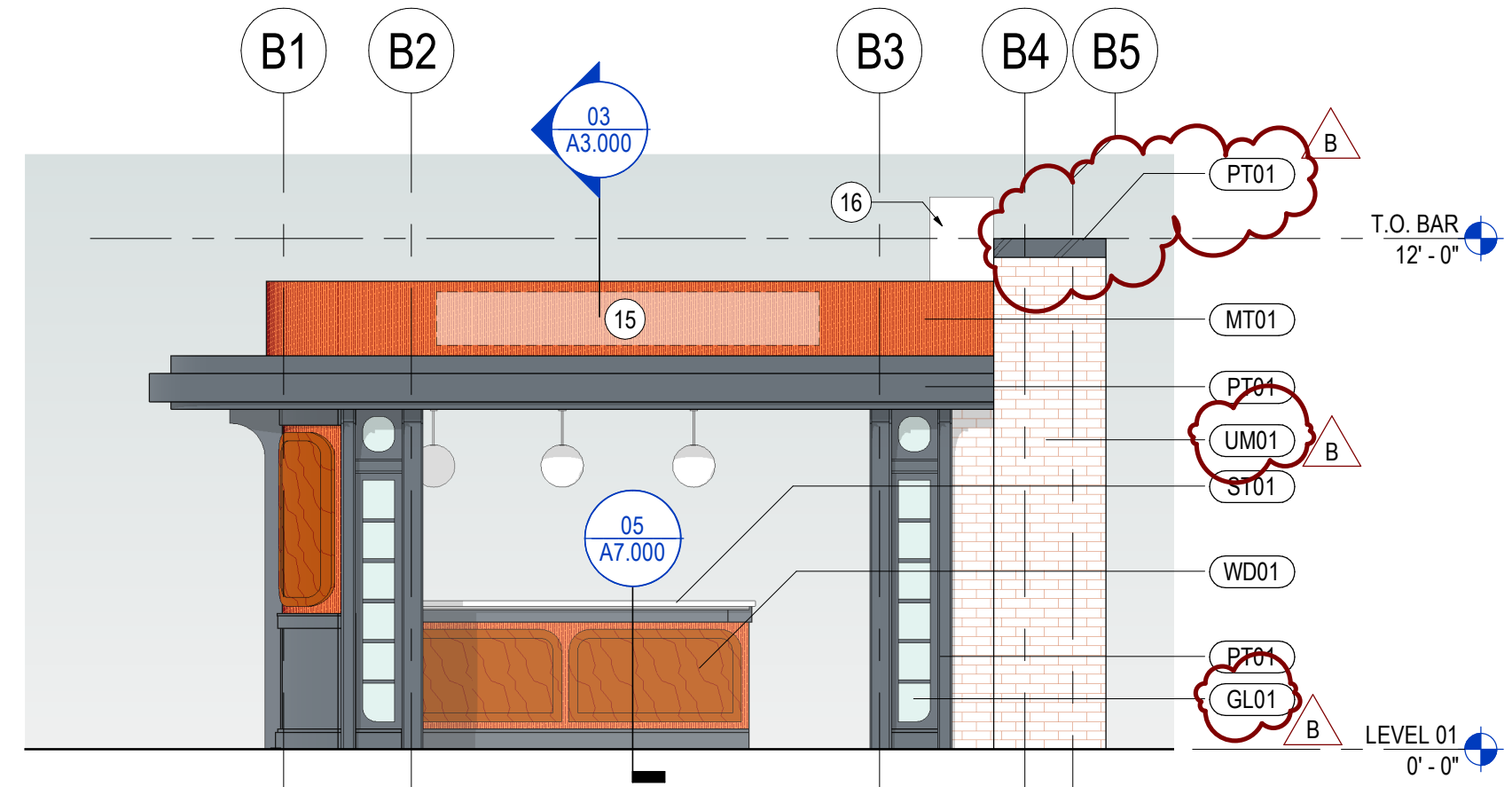
**01 ELEVATION - BAR - NORTH**  
SCALE: 1/4" = 1'-0"

REF: 01 / A5.010



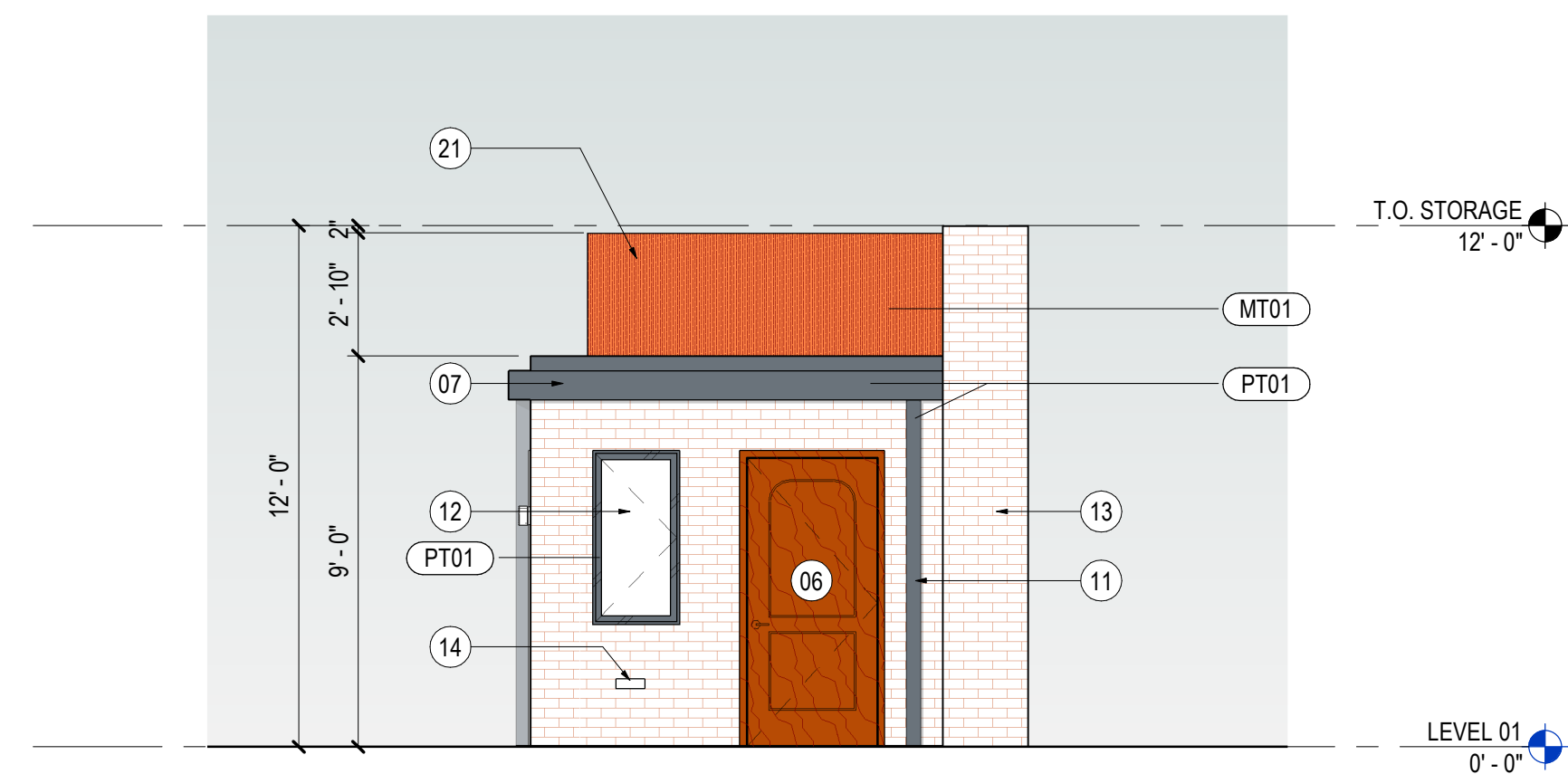
**05 ELEVATION - BAR - WEST**  
SCALE: 1/4" = 1'-0"

REF: 01 / A5.010



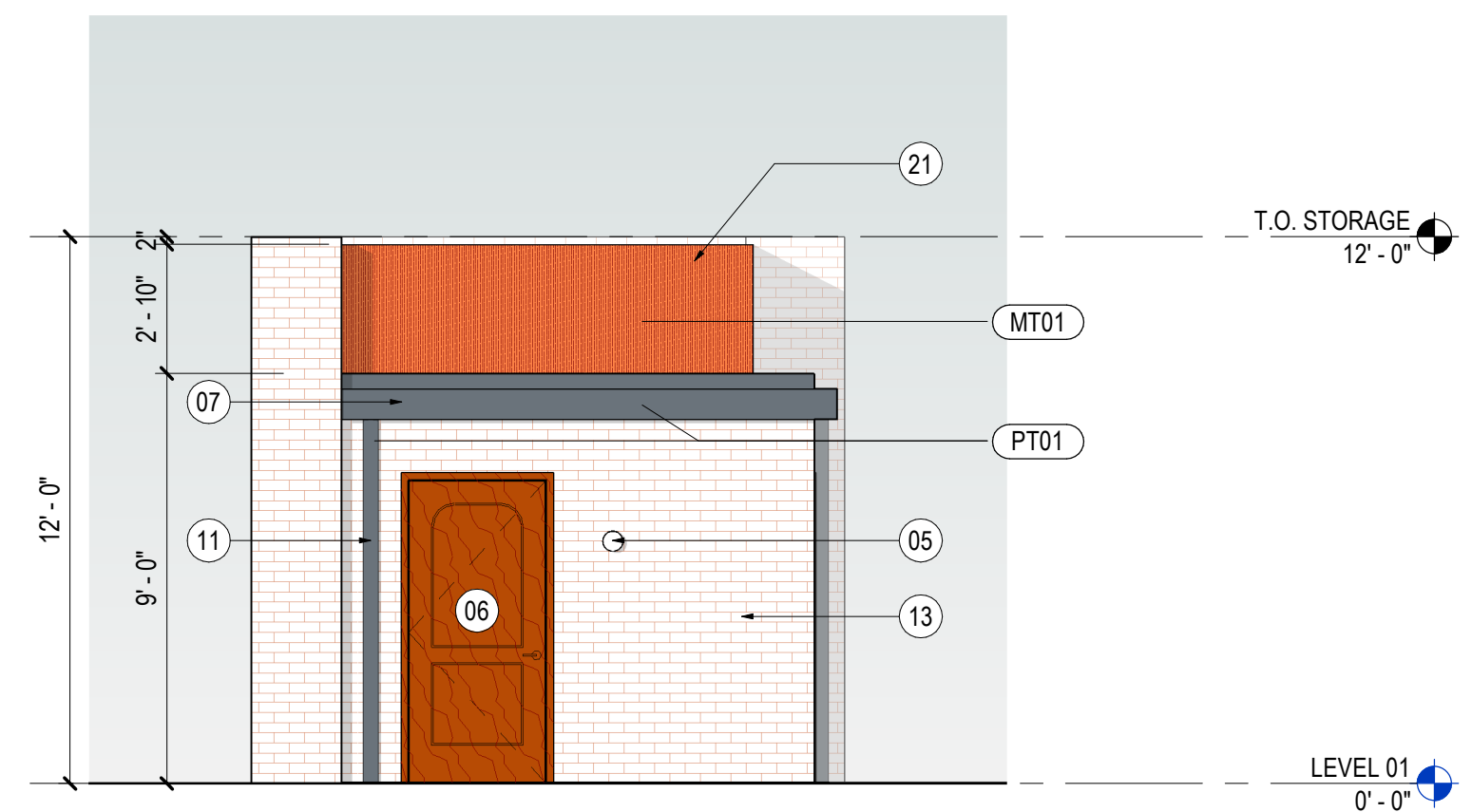
**02 ELEVATION - BAR - SOUTH**  
SCALE: 1/4" = 1'-0"

REF: 01 / A5.010



**06 ELEVATION - STORAGE - WEST**  
SCALE: 1/4" = 1'-0"

REF: 01 / A5.020



**03 ELEVATION - STORAGE - NORTH**  
SCALE: 1/4" = 1'-0"

REF: 01 / A5.020

**SHEET NOTES**

- 05 REPLACE EXISTING WALL SCONCES; RE: ELECTRICAL
- 06 REPLACE EXISTING DOORS; RE: DOOR SCHEDULE
- 07 EXISTING PERIMETER GUTTER, FINISH AS SCHEDULED
- 11 EXISTING DOWNSPOUT, FINISH AS SCHEDULED
- 12 EXISTING DISPLAY CASE, FINISH AS SCHEDULED
- 13 EXISTING BRICK EXTERIOR TO REMAIN
- 14 EXISTING WALL HYDRANT TO REMAIN
- 15 FUTURE SIGNAGE TO BE COORDINATED WITH TENANT; PROVIDE POWER FOR ILLUMINATED SIGNAGE.
- 16 ROOF USE MECHANICAL UNITS; RE: MECHANICAL
- 17 DECORATIVE PENDANT LIGHTING; RE: REFLECTED CEILING PLAN AND ELECTRICAL
- 18 PERIMETER GUTTER, FINISH AS SCHEDULED
- 19 ADA SERVICE COUNTER
- 20 ADA BAR COUNTER
- 21 REPLACE EXISTING MECHANICAL SCREEN WITH NEW HORIZONTAL LOUVERED SCREEN, FINISH AS SCHEDULED
- 24 WALL HYDRANT; RE: PLUMBING
- 25 ELECTRICAL PANEL; RE: ELECTRICAL

**GENERAL NOTES**

**Downtown  
Redevelopment  
Authority /  
TIRZ No. 3**

1221 McKinney St., Suite 4250  
Houston, TX 77010

**Gensler**

909 Fannin Street  
Suite 200  
Houston, TX 77010  
United States  
Tel 713.844.0000  
Fax 713.844.0001



Imeg Corp.  
3700 W Sam Houston Pkwy S  
Suite 100  
Houston, TX 77042  
Tel 832.856.8064  
Fax 816.842.6441



Infinity MEP+S  
10260 Westheimer Road  
Suite 400  
Houston, TX 77042  
Tel 713.429.4949



ProE Consulting  
1334 Britton Rd.  
Suite 2808  
Houston, TX 77043  
Tel 832.714.2568



C&T Design and Equipment Co.  
9555 Bayshore Dr.  
Suite 200  
Houston, TX 77041  
Tel 713.682.6390

Date	Description
10.01.2024	ISSUE FOR PERMIT
10.24.2024	ADDENDUM #2
10.31.2024	ADDENDUM #3

Seal / Signature



*Handwritten Signature*

10/31/2024

Project Name

Market Square Park Kiosk  
Improvements

Project Number

002.9349.000

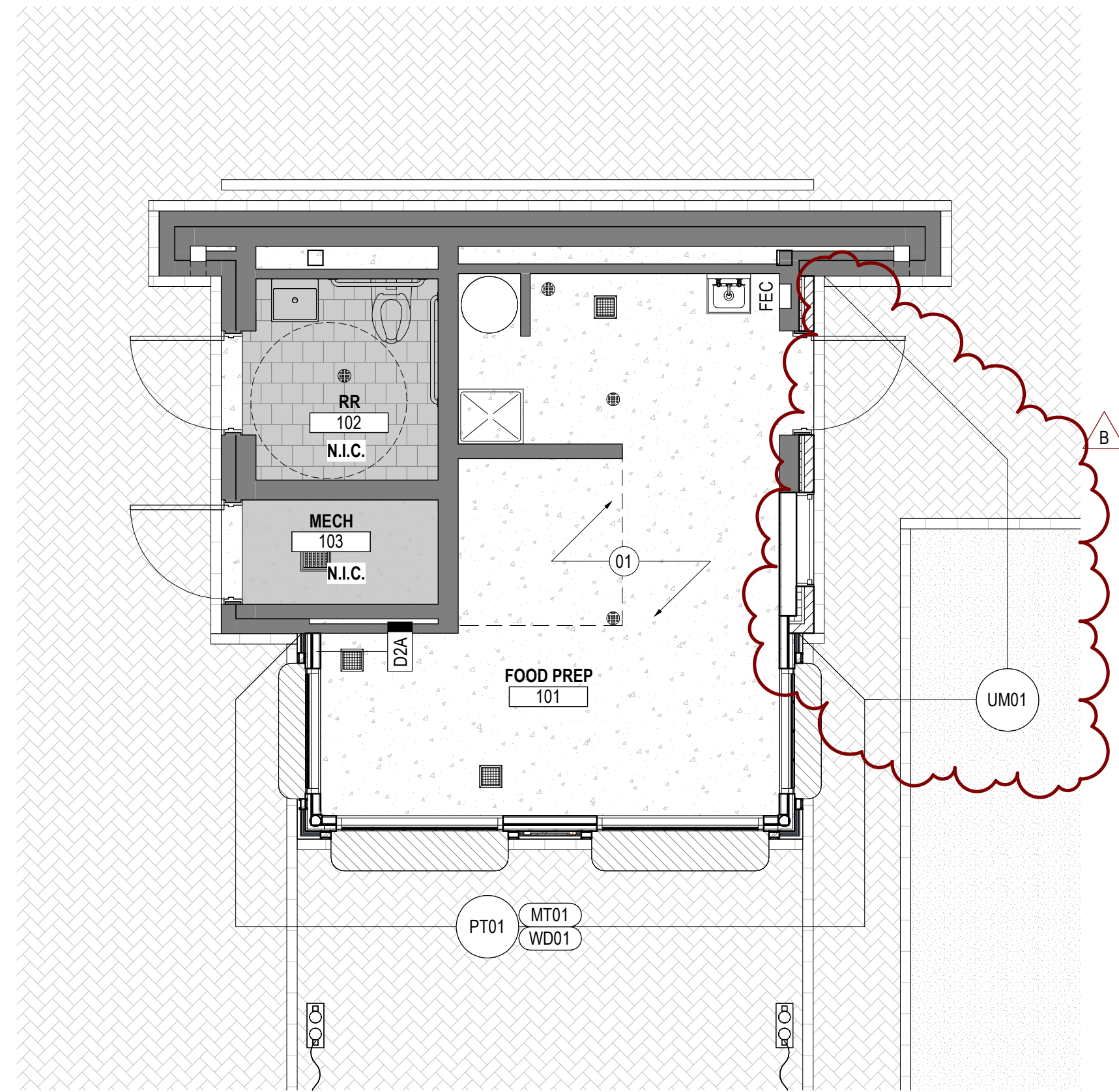
Description

BUILDING ELEVATIONS

Scale

1/4" = 1'-0"

**A2.001**



**03 ENLARGED FINISH PLAN - PICK-UP KIOSK**

SCALE: 1/4" = 1'-0"

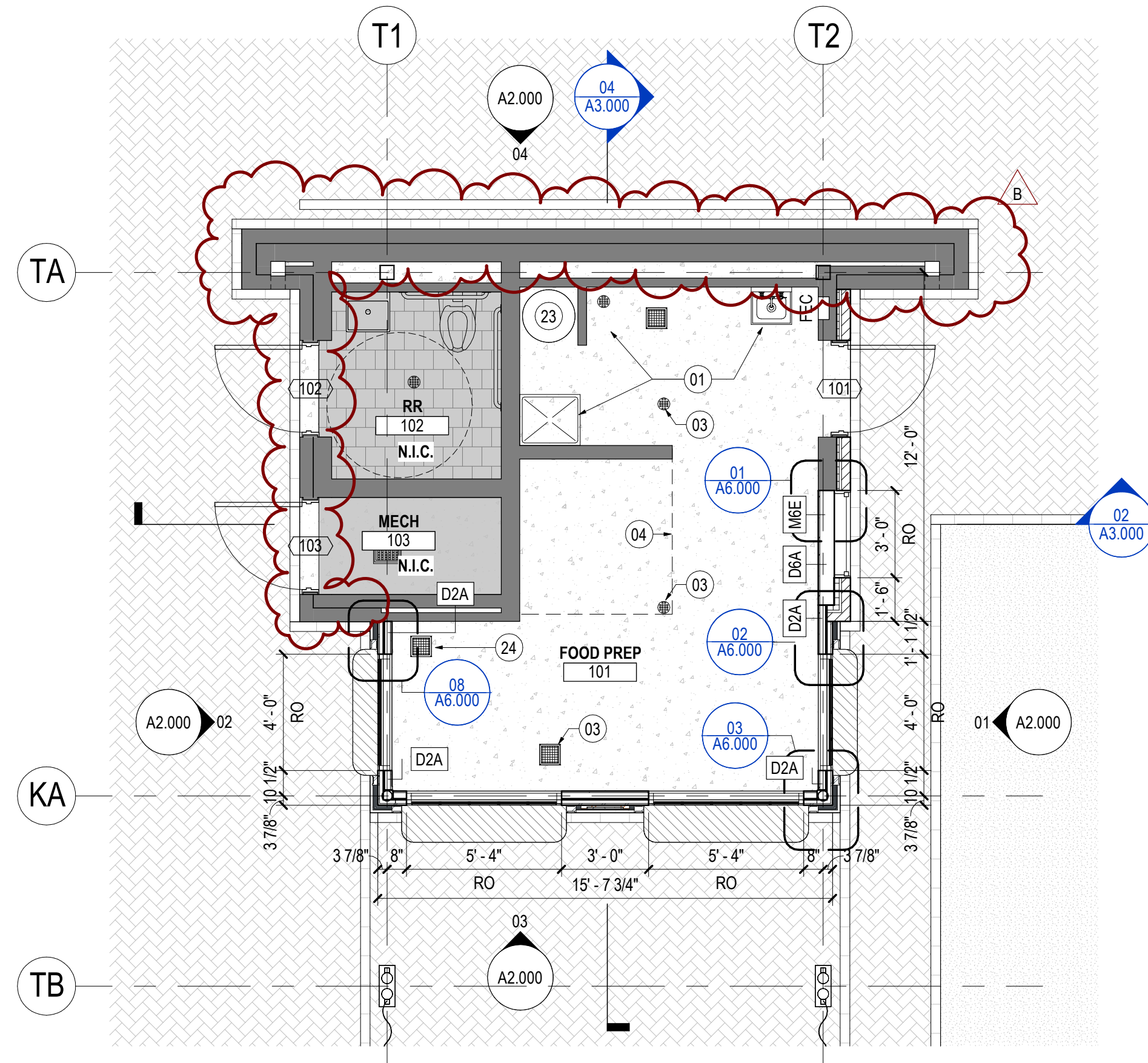
REF: /

**SHEET NOTES**

- 01 EXISTING FINISHES TO REMAIN, PATCH AND REPAIR AS NECESSARY TO LIKE NEW CONDITION.

**GENERAL NOTES**

- A. RE: G0 SHEET SERIES FOR SYMBOLS AND ABBREVIATIONS.
- B. RE: A0.600 FOR FINISH CODES.
- C. ENSURE SURFACES TO RECEIVE FINISHES ARE CLEAN, TRUE, AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.
- D. REPAIR EXISTING SURFACES TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- E. PROVIDE MINIMUM 3-COAT PAINT SYSTEMS FOR SUBSTRATE, UNO.
- F. PAINT ALL OPEN PLENUM SPACE, INCLUDING DUCTWORK, CONDUIT AND OTHER EQUIPMENT "PT01" DRYFALL, UNO.
- G. RE: DOOR SCHEDULE FOR COLOR OF DOORS AND FRAMES.
- H. RE: ELEVATIONS FOR MILLWORK FINISHES.



**01 ENLARGED CONSTRUCTION PLAN - PICK-UP KIOSK**

SCALE: 1/4" = 1'-0"

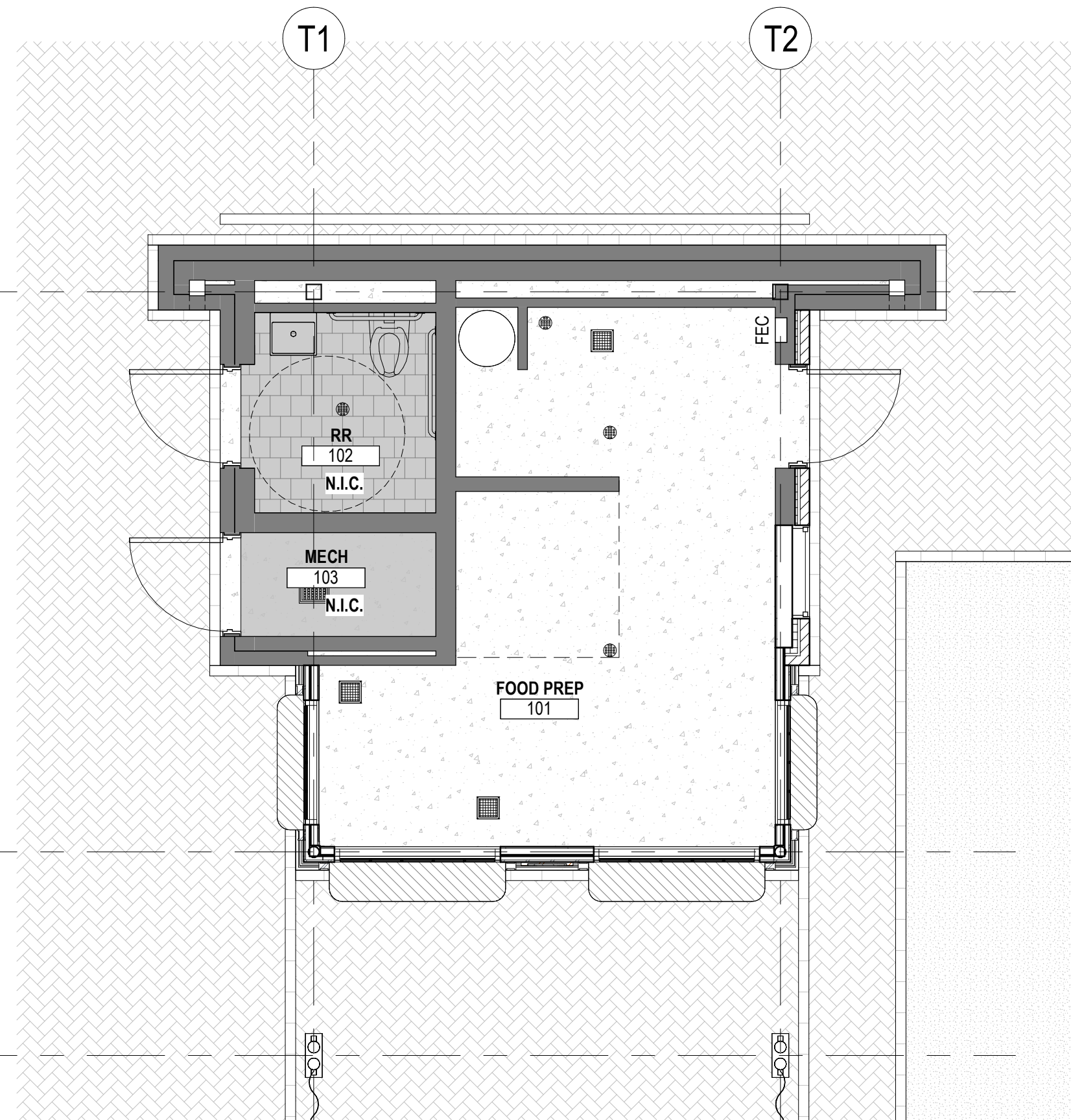
REF: 01 / A1.101

**SHEET NOTES**

- 01 EXISTING THREE-COMPARTMENT SINK, HANDWASH SINK, AND MOP SINK TO REMAIN.
- 03 EXISTING FLOOR DRAINS TO REMAIN, TYP.
- 04 EXISTING VENT HOOD ABOVE.
- 23 EXISTING WATER HEATER TO REMAIN
- 24 NEW FLOOR SINK: RE FOOD SERVICE AND PLUMBING FOR SPEC, AND STRUCTURAL FOR NOTES ON EXISTING SLAB MODIFICATIONS

**GENERAL NOTES**

- A. RE: G0 SHEET SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- B. RE: G1 SHEET SERIES FOR CODE ANALYSIS RELATED TO PROJECT.
- C. RE: A0.300 SERIES FOR PARTITION TYPES AND DETAILS.
- D. DOOR NUMBERS ARE THE SAME AS THE ROOM INTO WHICH THEY SWING. MULTIPLE DOORS INTO A SINGLE ROOM HAVE AN ALPHABETICAL DESIGNATION. RE: A0.400 FOR DOOR SCHEDULE AND TYPES.
- E. ALL EXISTING DOORS, FRAMES AND HARDWARE TO REMAIN ARE DESIGNATED WITH AN "EX" SYMBOL.
- G. COORDINATE AND PROVIDE BLOCKING FOR MILLWORK AND ITEMS ATTACHED OR MOUNTED TO PARTITIONS OR CEILINGS.
- H. PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNO. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESSES AND MOUNTING OF FINISHES.



**04 ENLARGED POWER & COMM PLAN - PICK-UP KIOSK**

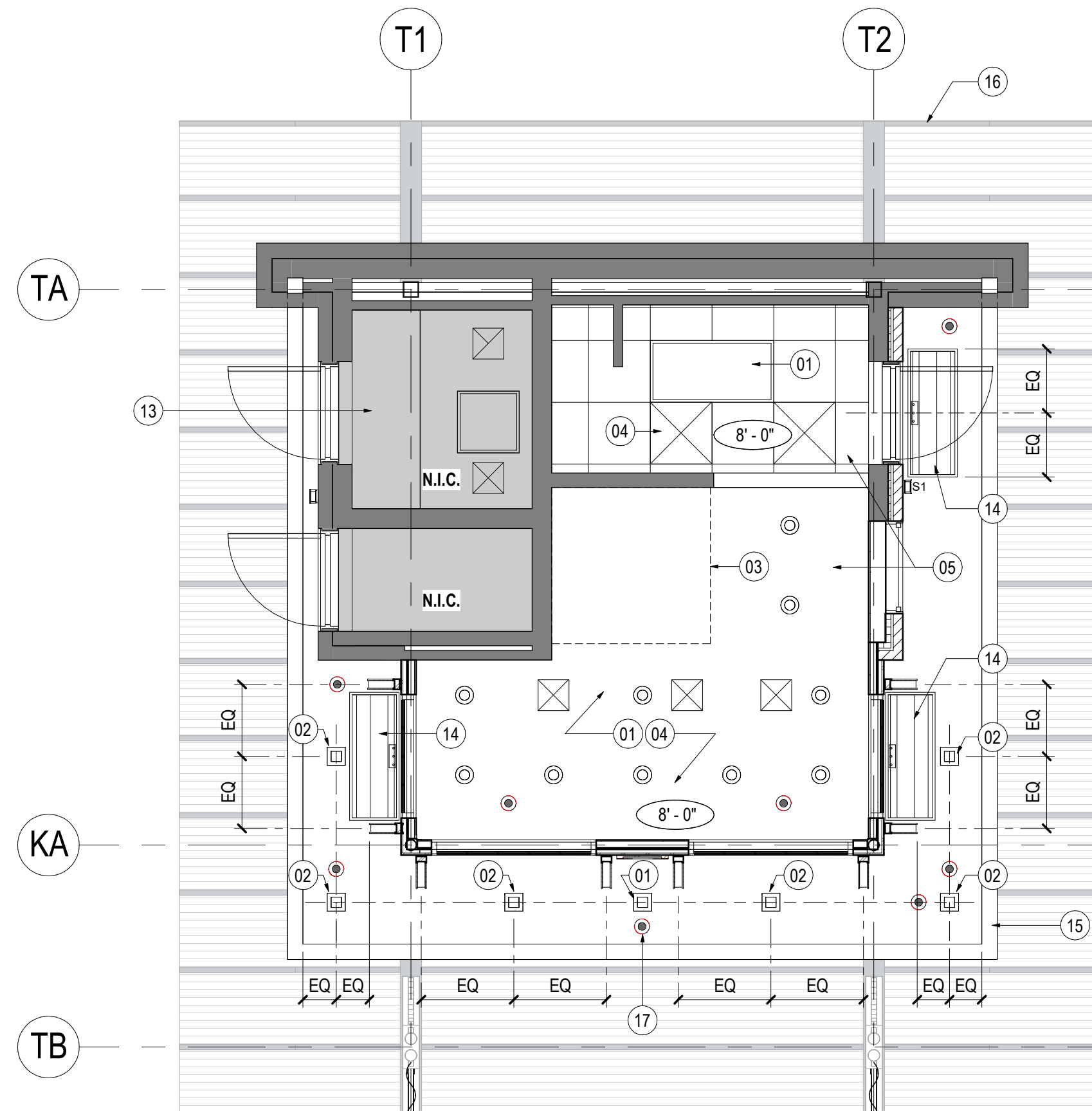
SCALE: 1/4" = 1'-0"

REF: /

**SHEET NOTES**

**GENERAL NOTES**

- A. RE: G0 SHEET SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- B. INDICATED DIMENSIONS ARE TO CENTERLINE OF DEVICE OR CLUSTER OF DEVICES, UNO. REFER TO ELECTRICAL DRAWINGS FOR CONFIGURATIONS.
- C. DEVICES SHOWN STACKED ARE TO ALIGN VERTICALLY.
- D. INSTALL ABOVE-COUNTER AND BELOW-COUNTER OUTLETS HORIZONTALLY, UNO REFER TO ELEVATIONS FOR ADDITIONAL OUTLET INFORMATION.
- E. CONFIRM DEVICE LOCATIONS WITH ARCHITECT PRIOR TO ROUGH-IN.
- F. REFER TO MEP DRAWINGS FOR ADDITIONAL NOTES AND INFORMATION. WHERE CONFLICTS OCCUR, ARCHITECTURAL DRAWINGS TAKE PRECEDENCE FOR LOCATION OF DEVICE.
- G. PRIOR TO CORING SLAB, COORDINATE LOCATIONS WITH OWNER AND/OR PROPERTY MANAGER.
- H. PROVIDE WHITE DECORA STYLE DEVICES AND MATCHING COVER PLATES FOR ALL SWITCHES, ELECTRICAL, TELEPHONE AND DATA OUTLETS, UNO PROVIDE ONE-PIECE TYPE GANG COVER PLATES UNO.
- I. IDENTIFY DEDICATED OR ISOLATED GROUND ELECTRICAL OUTLETS WITH A RED DOT.
- J. VERIFY EQUIPMENT SPECIFICATIONS, POWER AND INSTALLATION REQUIREMENTS WITH MANUFACTURER TO ENSURE PROPER FIT AND FUNCTION.
- K. COORDINATE INSTALLATION OF TELECOM, DATA AND SECURITY SYSTEMS.
- L. PROVIDE PULL STRINGS IN ALL EMPTY CONDUIT AND J-BOXES.



**02 ENLARGED REFLECTED CEILING PLAN - PICK-UP KIOSK**

SCALE: 1/4" = 1'-0"

REF: /

**SHEET NOTES**

- 01 EXISTING LIGHT FIXTURES TO REMAIN - ENSURE PROPER WORKING ORDER AND REPLACE AS NECESSARY
- 02 EXISTING LIGHT FIXTURE RELOCATED TO ALIGN WITH NEW ARCHITECTURE
- 03 EXISTING VENT HOOD TO REMAIN
- 04 EXISTING MECHANICAL DIFFUSERS TO REMAIN
- 05 EXISTING CEILING TO REMAIN
- 13 PATCH AND REPAIR EXISTING CEILING AS REQUIRED FOR MECHANICAL DUCT ADJUSTMENTS, RE: MECHANICAL
- 14 AIR CURTAIN, RE: MECHANICAL
- 15 EXISTING PERIMETER GUTTER TO REMAIN; RE: ELEVATIONS FOR FINISH
- 16 EXISTING TRELLIS AND CANOPY STRUCTURE
- 17 EXISTING SECURITY CAMERAS TO BE REMOVED. VERIFY ALL SPEAKER AND SECURITY DEVICES LOCATIONS WITH ARCHITECT, PROVIDE POWER AS REQUIRED

**GENERAL NOTES**

- A. RE: G0 SHEET SERIES FOR LEGENDS, SYMBOLS AND ABBREVIATIONS.
- B. RE: MEP DRAWINGS FOR DESIGN OF MECHANICAL AND ELECTRICAL SYSTEMS. ARCHITECTURAL PLANS GOVERN FOR LOCATION OF ITEMS INSTALLED IN CEILINGS. NOTIFY ARCHITECT IF CONFLICTS OCCUR.
- C. RE: ELECTRICAL DRAWINGS FOR FIXTURE SCHEDULE, EXIT LIGHTS AND OTHER LIFE SAFETY DEVICES.
- D. ARRANGE CONCEALED ITEMS TO PROVIDE ADEQUATE CLEARANCES FOR CEILING AND ITS DEVICES.
- E. VERIFY ACCESS PANEL LOCATIONS WITH ARCHITECT PRIOR TO LAYOUT OF WORK REQUIRING ACCESS.
- F. PLUMB ALL STEMS, AIRCRAFT CABLES, AND APPURTENANCES USED TO SUPPORT SUSPENDED LIGHT FIXTURES, UNO.
- G. REMOVE ALL PAINT FROM EXPOSED DUCTWORK, CONDUIT AND PIPING. REMOVE ALL TAGS AND LABELS NOT REQUIRED BY CODE.
- H. FINISH HVAC DIFFUSERS, SHADE POCKETS, AND SPEAKER GRILLES TO MATCH ADJACENT FINISH, UNO.

**Downtown  
Redevelopment  
Authority /  
TIRZ No. 3**

1221 McKinney St., Suite 4250  
Houston, TX 77010

**Gensler**

909 Fannin Street  
Suite 200  
Houston, TX 77010  
United States

Tel 713.844.0000  
Fax 713.844.0001



Imeg Corp.  
3700 W Sam Houston Pkwy S  
Suite 100  
Houston, TX 77042  
Tel 832.856.8064  
Fax 816.842.6441



Infinity MEP+S  
10260 Westheimer Road  
Suite 400  
Houston, TX 77042  
Tel 713.429.4949



ProE Consulting  
1334 Britton Rd.  
Suite 2808  
Houston, TX 77043  
Tel 832.714.2568



C&T Design and Equipment Co.  
9555 Bayhorne Dr.  
Suite 200  
Houston, TX 77041  
Tel 713.682.6390

Date	Description
1 10.01.2024	ISSUE FOR PERMIT
A 10.24.2024	ADDENDUM #2
B 10.31.2024	ADDENDUM #3

Seal / Signature



*WMA*

10/31/2024

Project Name

**Market Square Park Kiosk  
Improvements**

Project Number

**002.9349.000**

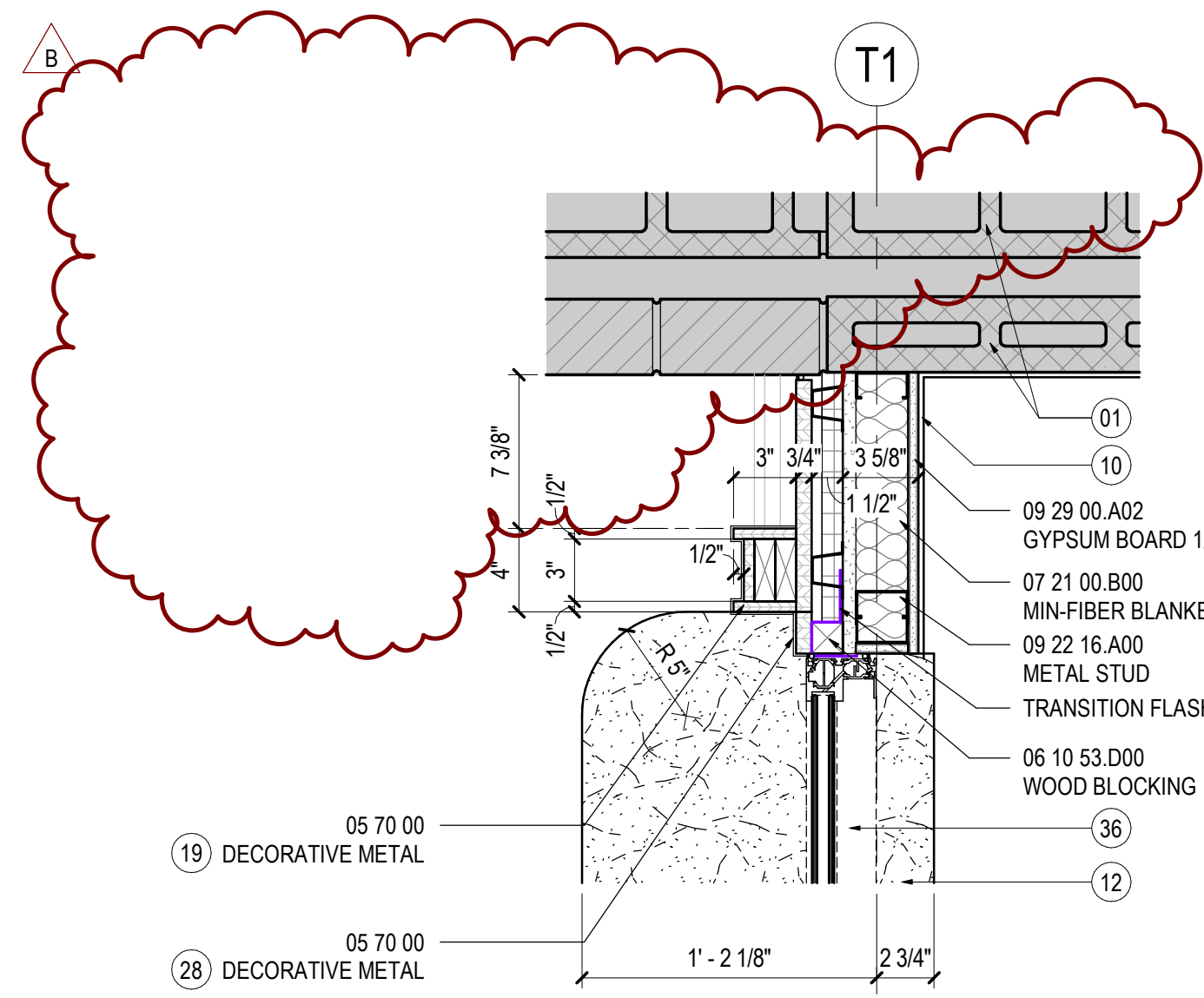
Description

**ENLARGED PLANS - KIOSK**

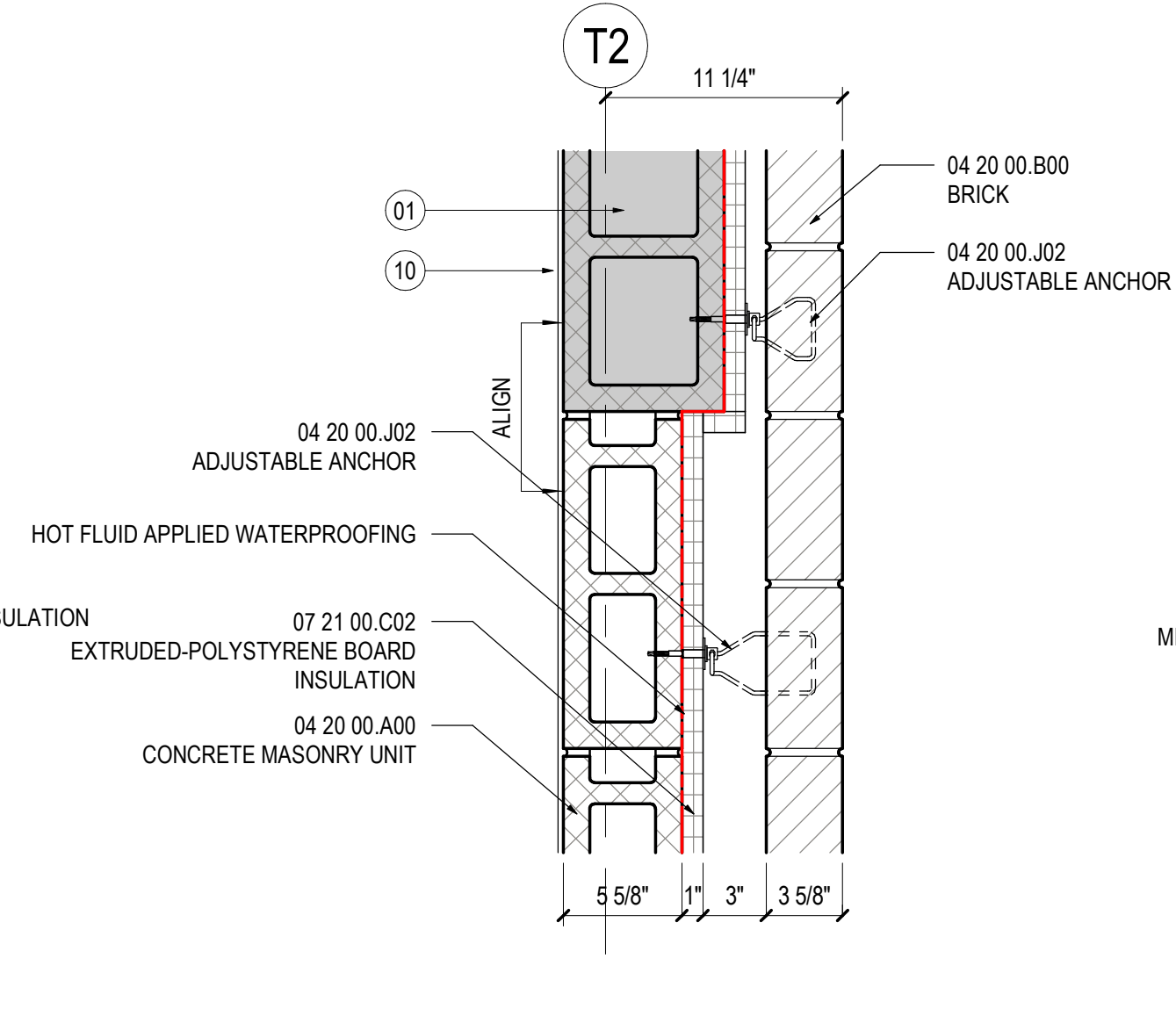
Scale

**1/4" = 1'-0"**

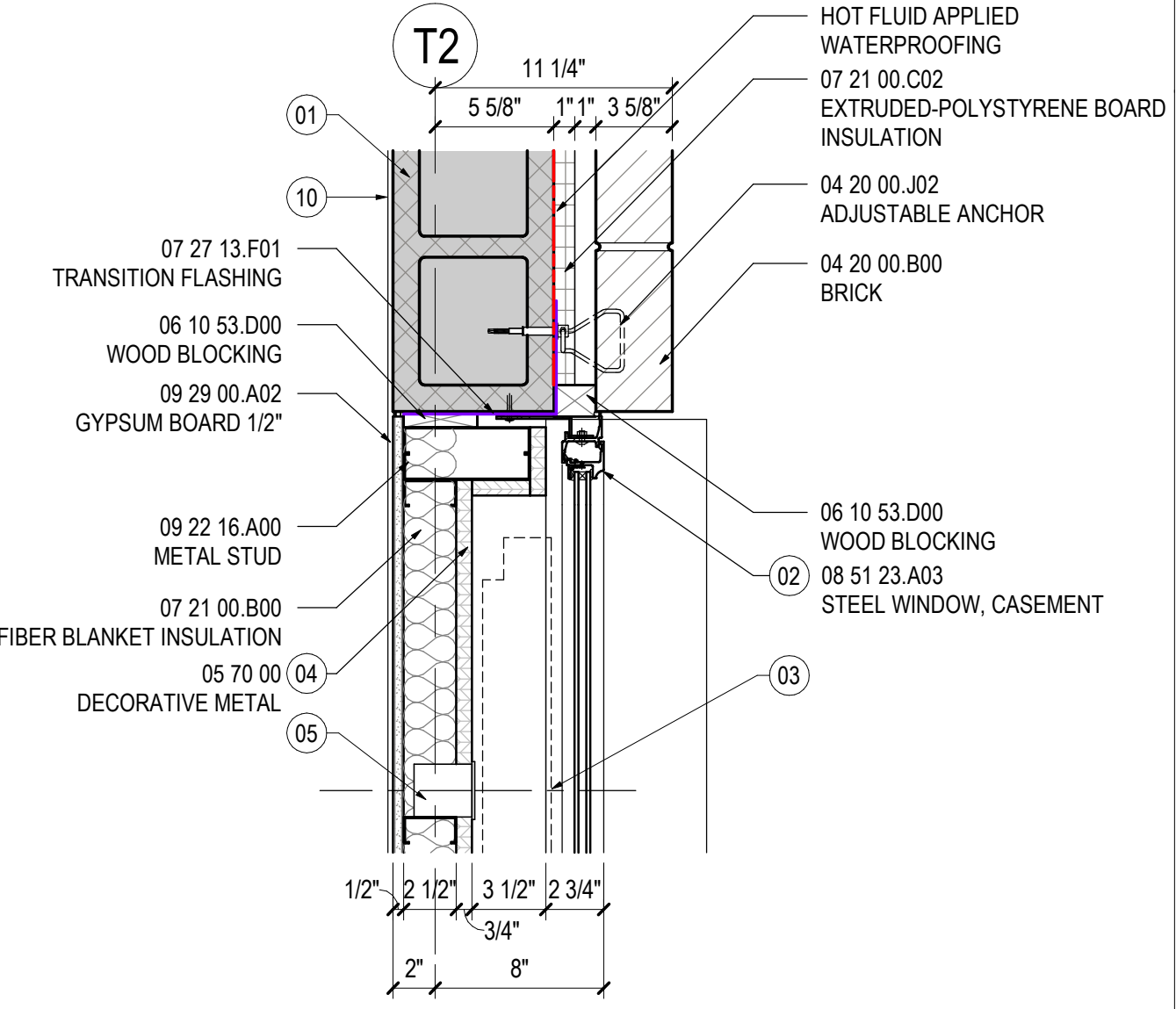
**A5.000**



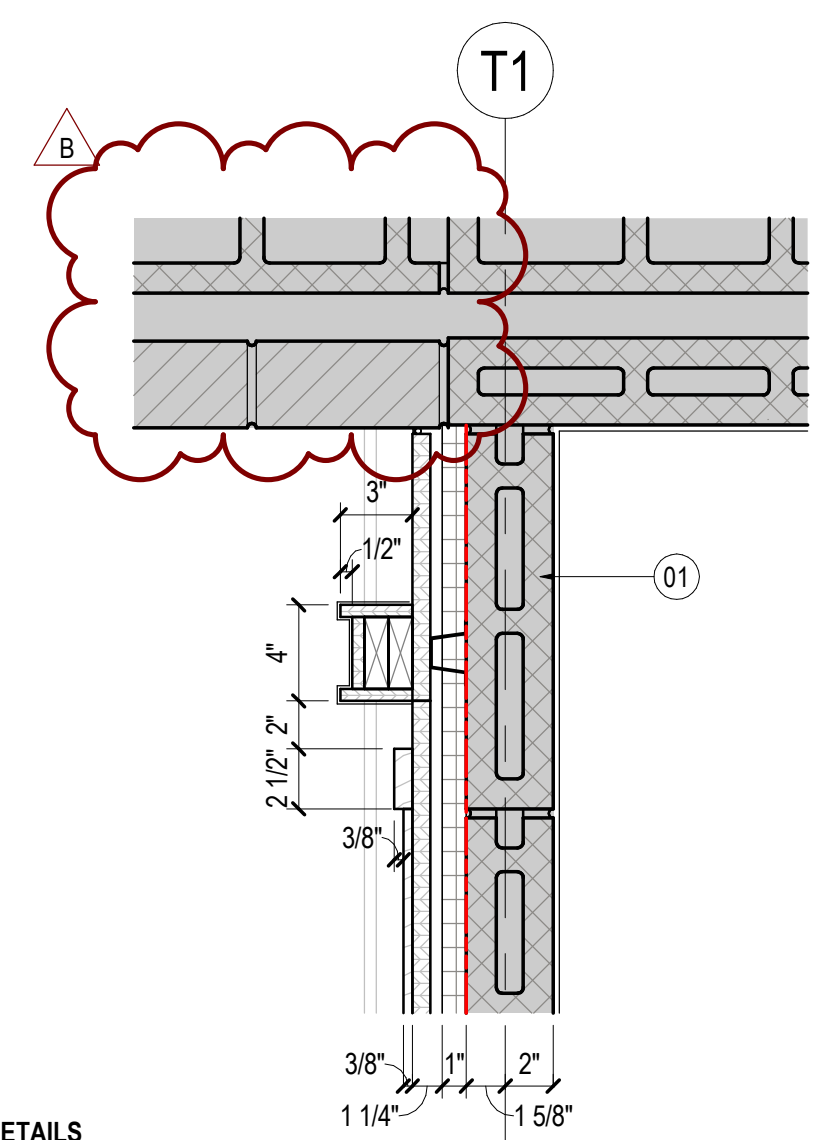
**08 PLAN DETAIL - ABOVE 2'-10"**  
 SCALE: 1 1/2" = 1'-0"  
 REF: 01 / A5.000



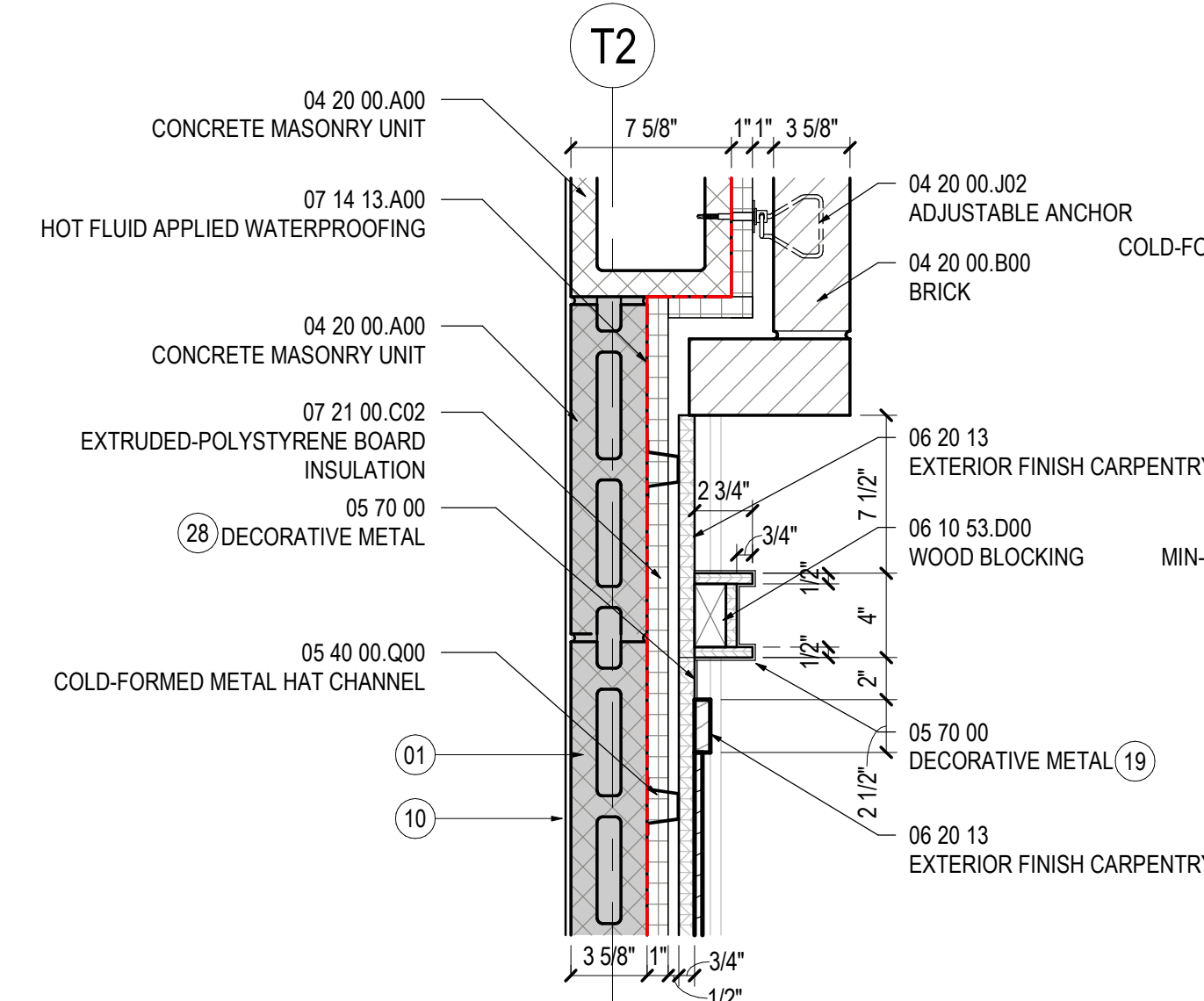
**05 PLAN DETAIL - BELOW 2'-10"**  
 SCALE: 1 1/2" = 1'-0"  
 REF: /



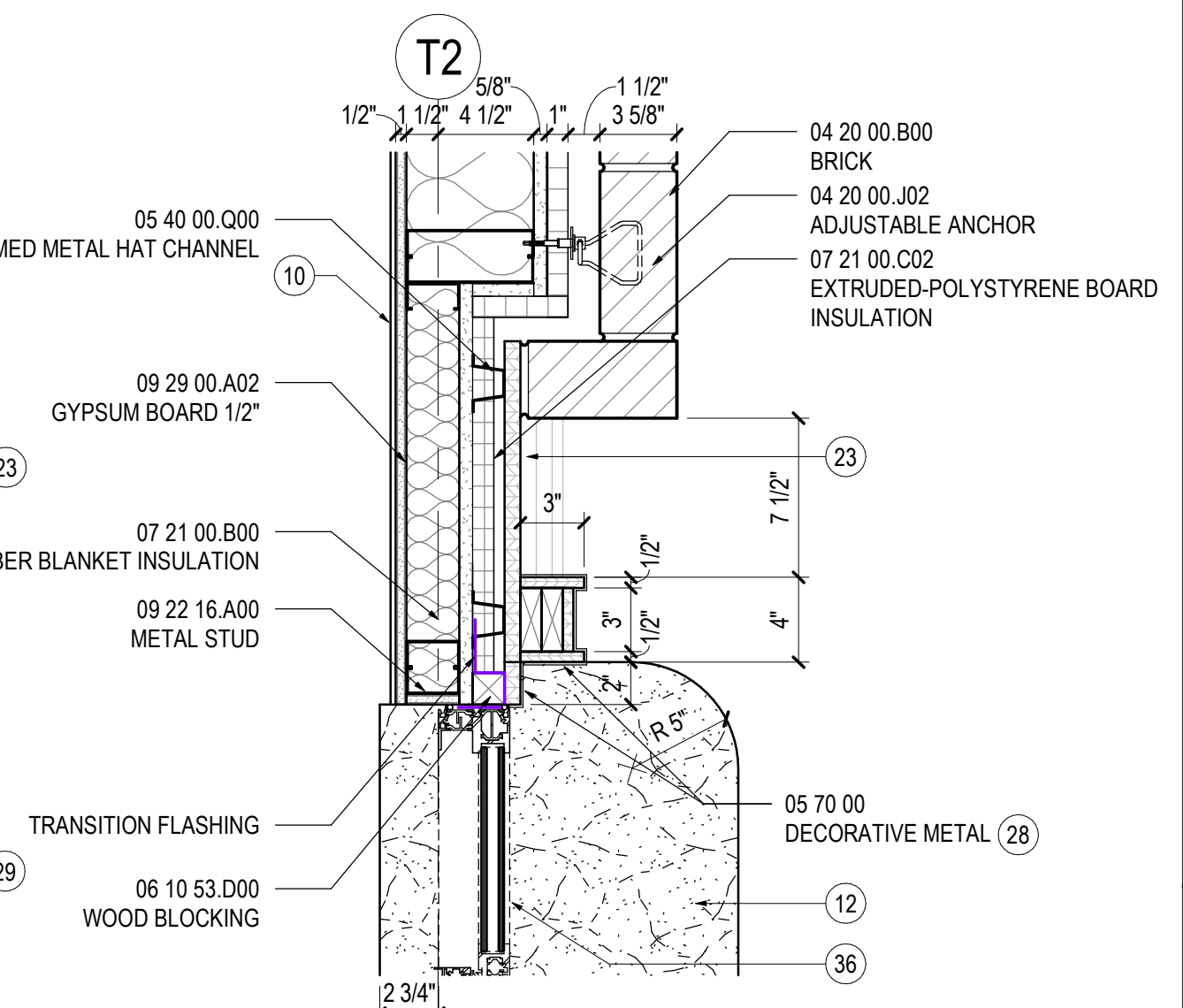
**01 PLAN DETAIL - ABOVE 2'-10"**  
 SCALE: 1 1/2" = 1'-0"  
 REF: 01 / A5.000



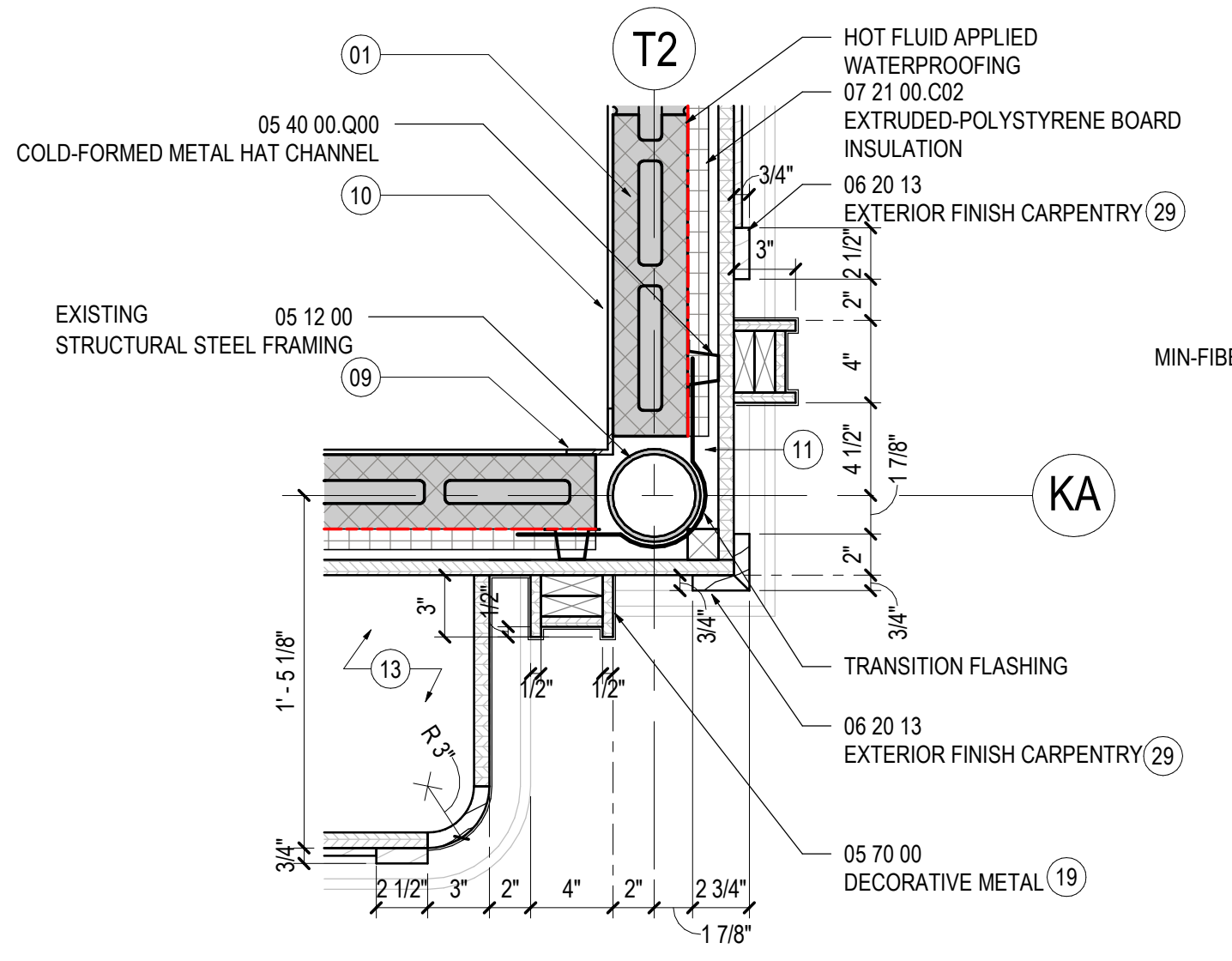
**09 PLAN DETAIL - BELOW 2'-10"**  
 SCALE: 1 1/2" = 1'-0"  
 REF: /



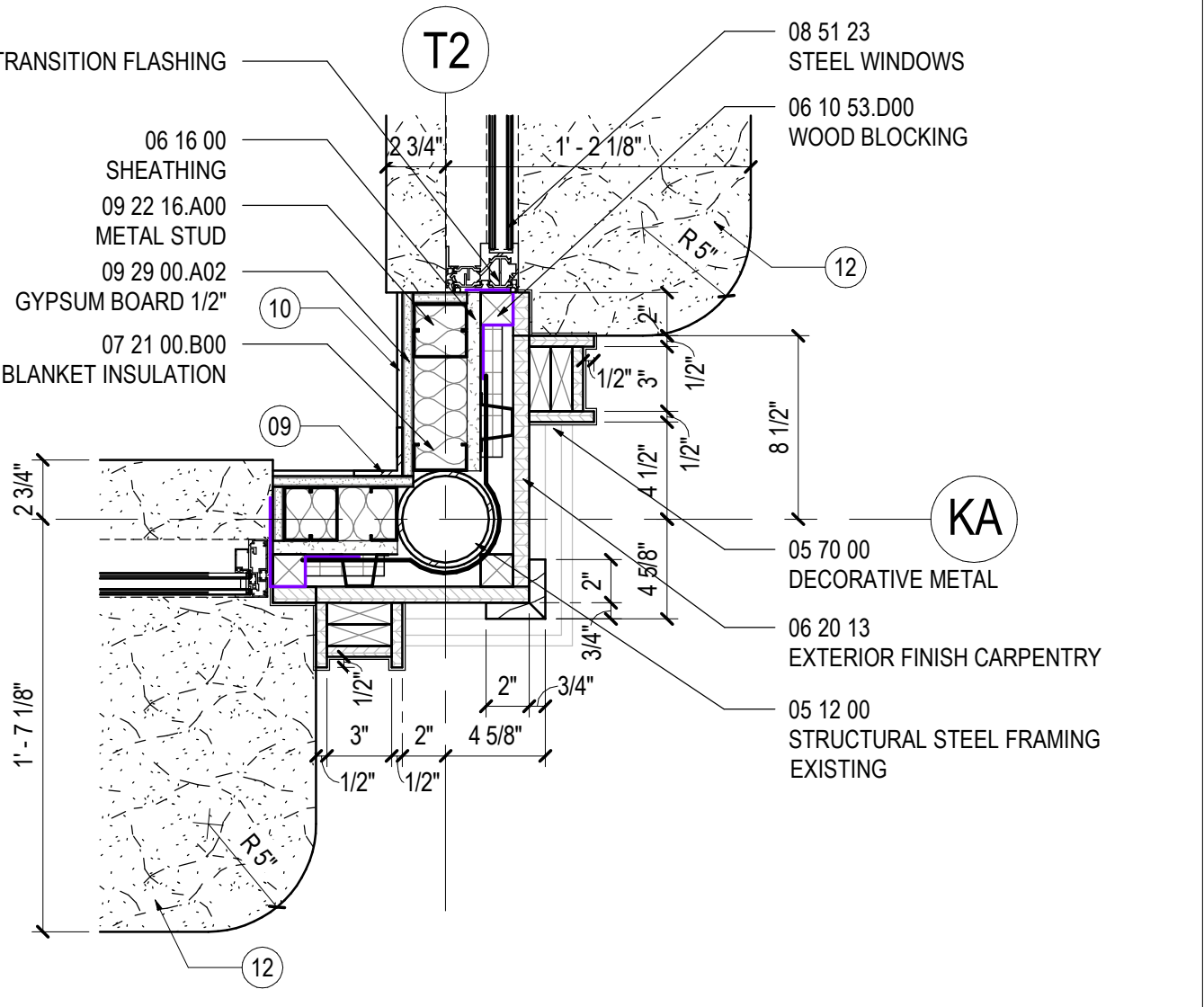
**06 PLAN DETAIL - BELOW 2'-10"**  
 SCALE: 1 1/2" = 1'-0"  
 REF: /



**02 PLAN DETAIL - ABOVE 2'-10"**  
 SCALE: 1 1/2" = 1'-0"  
 REF: 01 / A5.000



**07 PLAN DETAIL - BELOW 2'-10"**  
 SCALE: 1 1/2" = 1'-0"  
 REF: /



**03 PLAN DETAIL - ABOVE 2'-10"**  
 SCALE: 1 1/2" = 1'-0"  
 REF: 01 / A5.000

**SHEET NOTES**

- 01 EXISTING CMU WALL
- 02 STEEL CASEMENT WINDOW WITH LOCK, SWING OPEN TO EXTERIOR.
- 03 DIGITAL DISPLAY CENTERED ON WINDOW, VERIFY DIMENSIONS TO FIT WITHIN OPENING, RE: ELEVATIONS.
- 04 PAINT INTERIOR TO MATCH WINDOW
- 05 PROVIDE POWER AND DATA TO DISPLAY, RE: ELEC.
- 09 EXISTING STEEL ANGLE AT CMU, NEW ANGLE ABOVE CMU TO MATCH, SPAN TO CEILING.
- 10 REPLACE EXISTING INTERIOR WALL FINISH TO MATCH, WHERE REQUIRED
- 11 INFILL CAVITY WITH BATT INSULATION
- 12 STONE COUNTER, RE: ELEVATIONS AND FINISH SCHEDULE
- 13 CABINET INTERIOR, RE: ELEVATIONS AND ENLARGED SECTION DETAILS
- 19 PAINTED DECORATIVE METAL, LAMINATED TO MARINE-GRADE PLYWOOD SUBSTRATE
- 23 MARINE-GRADE PLYWOOD, PAINTED
- 28 DECORATIVE METAL, LAMINATED TO MARINE-GRADE PLYWOOD SUBSTRATE
- 29 STAINED WOOD PANELING AND TRIM
- 36 SELF-CLOSING SLIDING WINDOWS, CUSTOM FINISH, CUSTOM TRANSOM AND GLASS MUNTIN DIVIDERS BY GLAZING SUBCONTRACTOR

**GENERAL NOTES**

**Downtown  
 Redevelopment  
 Authority /  
 TIRZ No. 3**  
 1221 McKinney St., Suite 4250  
 Houston, TX 77010

**Gensler**  
 909 Fannin Street  
 Suite 200  
 Houston, TX 77010  
 United States  
 Tel 713.844.0000  
 Fax 713.844.0001

**IMEG**  
 Imeg Corp.  
 3700 W Sam Houston Pkwy S  
 Suite 100  
 Houston, TX 77042  
 Tel 832.856.8064  
 Fax 816.842.6441

**INFINITY**  
 INFINITY  
 MEP CONSULTANTS  
 Infinity MEP+S  
 10260 Westheimer Road  
 Suite 400  
 Houston, TX 77042  
 Tel 713.429.4949

Date	Description
1 10.01.2024	ISSUE FOR PERMIT
A 10.24.2024	ADDENDUM #2
B 10.31.2024	ADDENDUM #3



Project Name  
**Market Square Park Kiosk  
 Improvements**

Project Number  
**002.9349.000**  
 Description  
**EXTERIOR DETAILS - PLAN**

Scale  
 1 1/2" = 1'-0"

**A6.000**